



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2023/143**

LOCATION OF AFFECTED AREA

**3 BORONIA PLACE, GAGEBROOK**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**MULTIPLE DWELLINGS (2)**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **03/10/2023**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au).

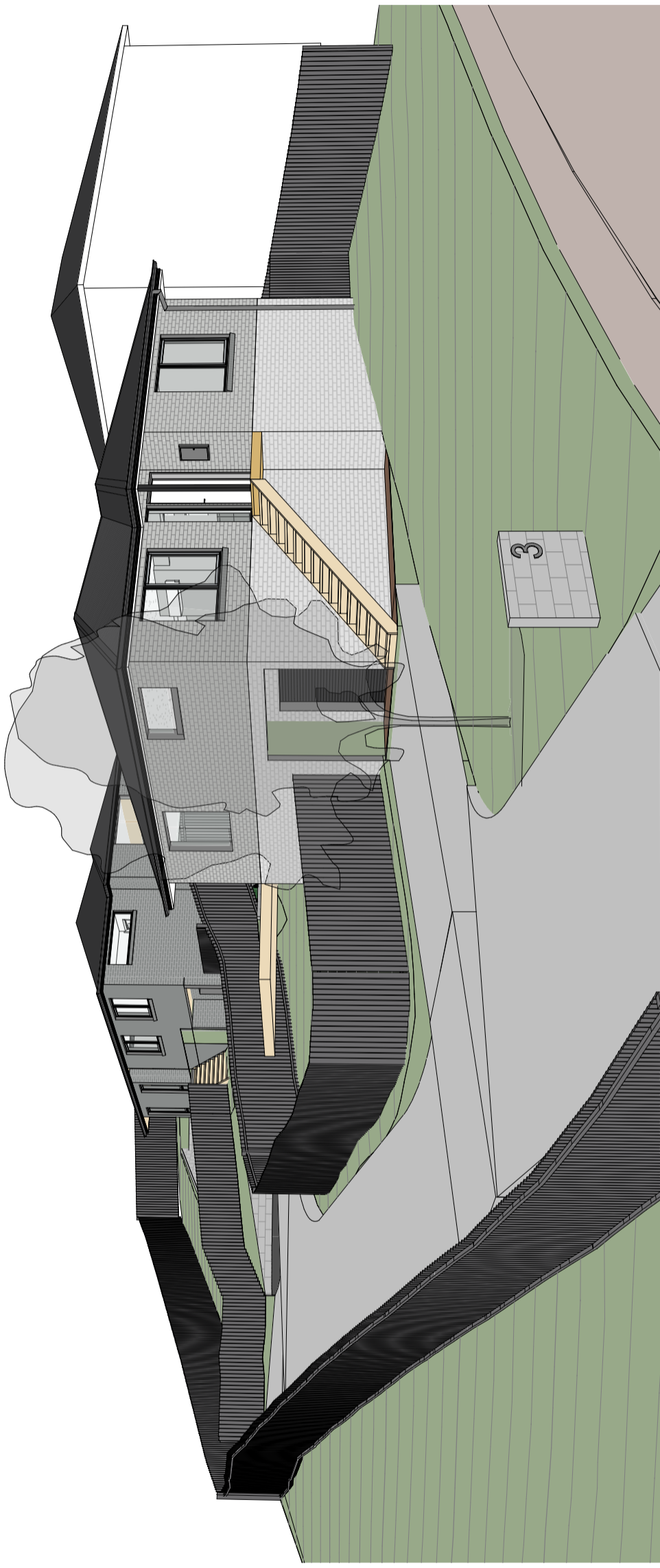
REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**General Manager**



**Brighton**  
going places

# UNIT DEVELOPMENT 3 BORONIA PLACE, GAGEBROOK



## ARCHITECTURAL

DA00	COVER SHEET	DA06	UNIT 2 - FLOORPLAN	DA12	B99 TURNING PATH	DA19	SHADOW DIAGRAM 1
DA01	LOCATION PLAN	DA07	UNIT 2 - ELEVATIONS	DA14	SITE LANDSCAPE PLAN	DA20	SHADOW DIAGRAM 2
DA02	EXISTING SURVEY	DA08	SITE SETBACKS	DA15	SITE WATER RETICULATION PLAN	DA22	SITE SECTIONS 1
DA03	SITE PLAN	DA09	SITE LEVELS	DA16	SITE SEWER PLAN	DA23	SITE SECTIONS 2
DA04	UNIT 1 - FLOORPLAN	DA10	SITE PARKING	DA17	SITE STORMWATER DRAINAGE	DA24	SITE BUILDING PADS & RETAINING WALLS
DA05	UNIT 1 - ELEVATIONS	DA11	B85 TURNING PATH	DA18	SITE POWER & LIGHTING	DA25	AERIAL PERSPECTIVE
						DA28	EXTERNAL COLOURBOARD

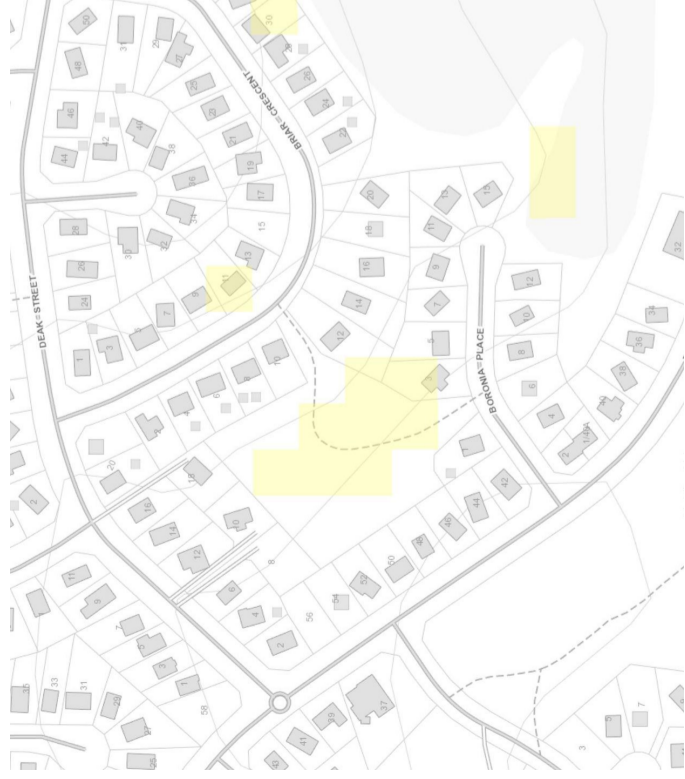
**rh**architecture

**DEVELOPMENT APPLICATION**





AERIAL PHOTO



LANDSLIP HAZARD OVERLAY (LOW RISK)

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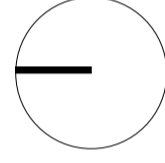
PO BOX 306, NEW NORFOLK, TASMANIA 7000  
LIC. NO.: 249326760

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REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASMATER RFI
1	13/08/23	DA APPLICATION

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Client/ Project Name  
**UNIT DEVELOPMENT**

Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**

drawn RH  
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date 06/23  
scale AS  
project no. indicated

**23-056**

**DA01**

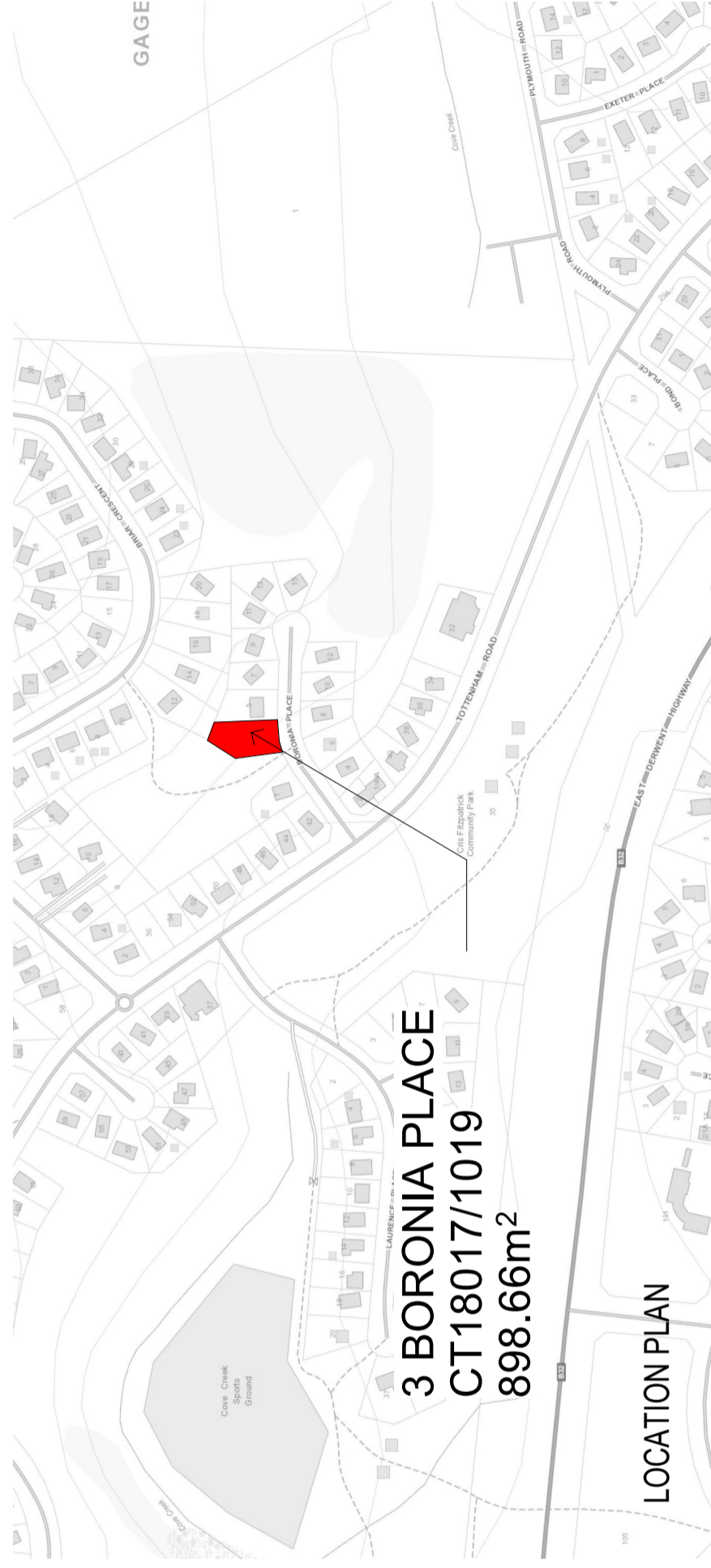
**2**

revision: 12/09/2023 9:38:21 AM

**SITE INFORMATION**

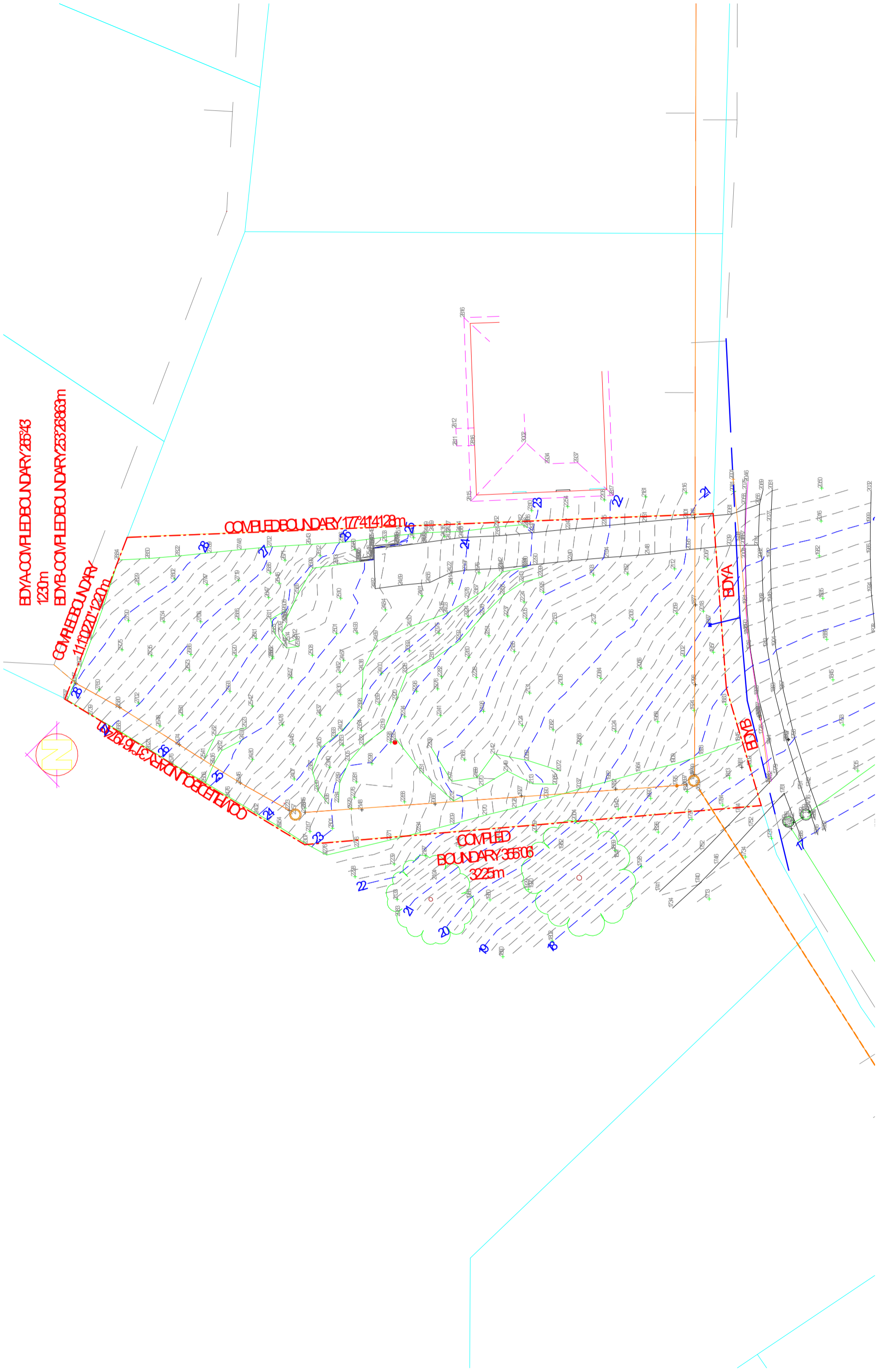
TITLE REFERENCE:	CT180171019
WIND CLASSIFICATION	N2
SOIL CLASSIFICATION	M
CLIMATE ZONE	7
BAL LEVEL	n/a
ALPINE AREA	n/a
CORROSION ENVIRONMENT	n/a
SITE AREA:	898.66m <sup>2</sup>
PLANNING OVERLAY	LANDSLIP HAZARD
NOTES:	

**DEVELOPMENT APPLICATION**



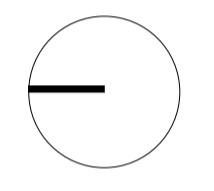
sheet  
**LOCATION PLAN**





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sheet no. **23-056** DA02  
project no. **23-056** DA02


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date 06/23  
scale 1 : 250

sheet no. **23-056** DA02  
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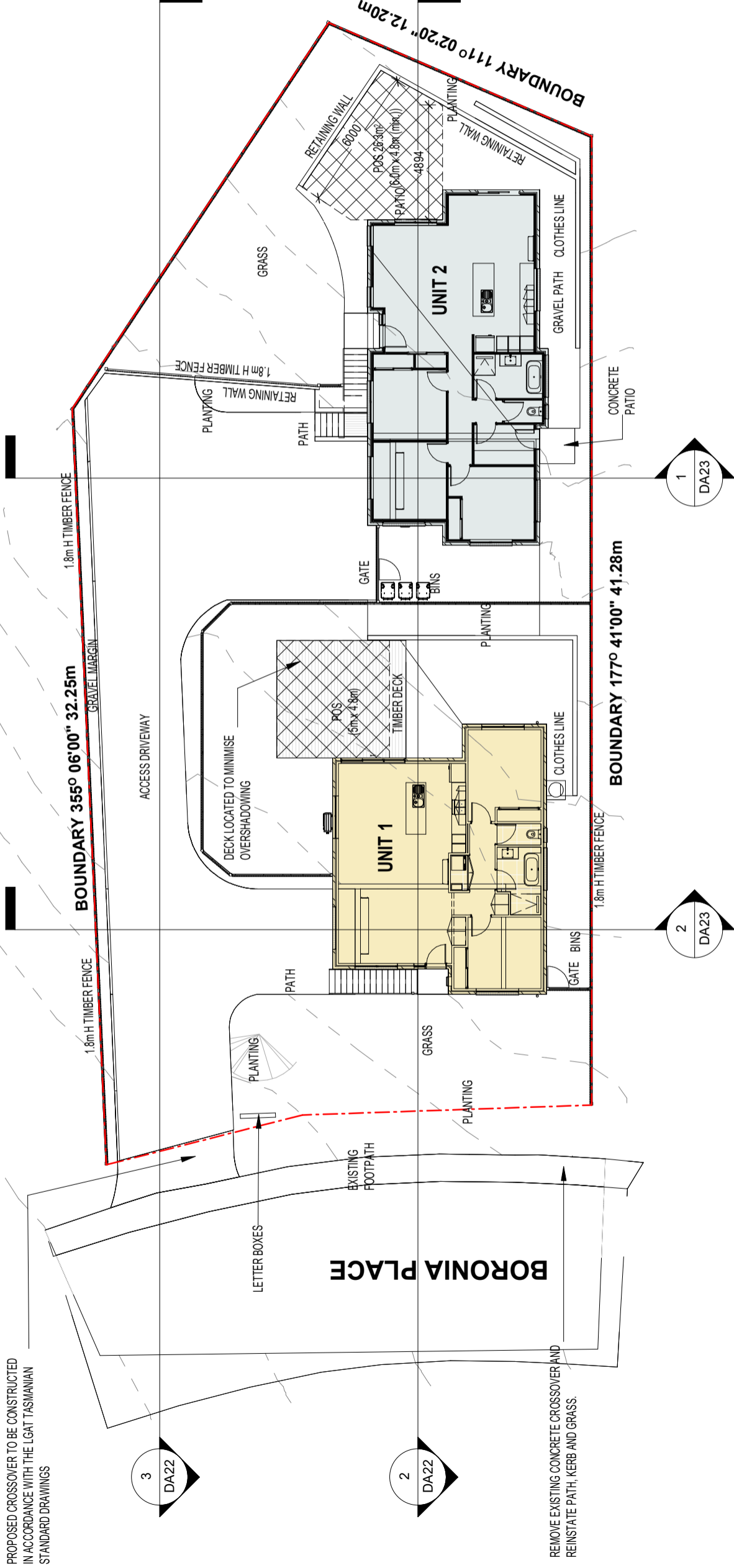


# LEGEND

	<b>TYPE 1 - 2-BED</b>	SINGLE STOREY GARAGE (UNDER)	91.594m <sup>2</sup> 21.392m <sup>2</sup>	<b>TOTAL AREA</b>	<b>112.986m<sup>2</sup></b>
	<b>TYPE 2 - 3 BED</b>	SINGLE STOREY GARAGE (UNDER)	104.527m <sup>2</sup> 22.725m <sup>2</sup>	<b>TOTAL AREA</b>	<b>127.252m<sup>2</sup></b>

**8.4.1 RESIDENTIAL DENSITY FOR MULTIPLE DWELLINGS**  
 A1 -  
 (A) MULTIPLE DWELLINGS MUST HAVE A SITE AREA PER DWELLINGS OF NOT LESS THAN 325M<sup>2</sup>  
 898.660M<sup>2</sup> / 2 UNITS = 449.33M<sup>2</sup> (TOTAL ALLOWED UNITS (2))

**8.4.3 SITE COVERAGE**  
 A1 -  
 TOTAL SITE COVERAGE = 240.238m<sup>2</sup>/898.660m<sup>2</sup> = 26.7%



drawn RH  
checked RH  
date 07/23  
scale 1 : 200

sheet SITE PLAN

project no. **23-056**

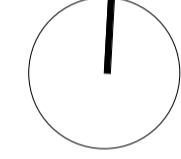
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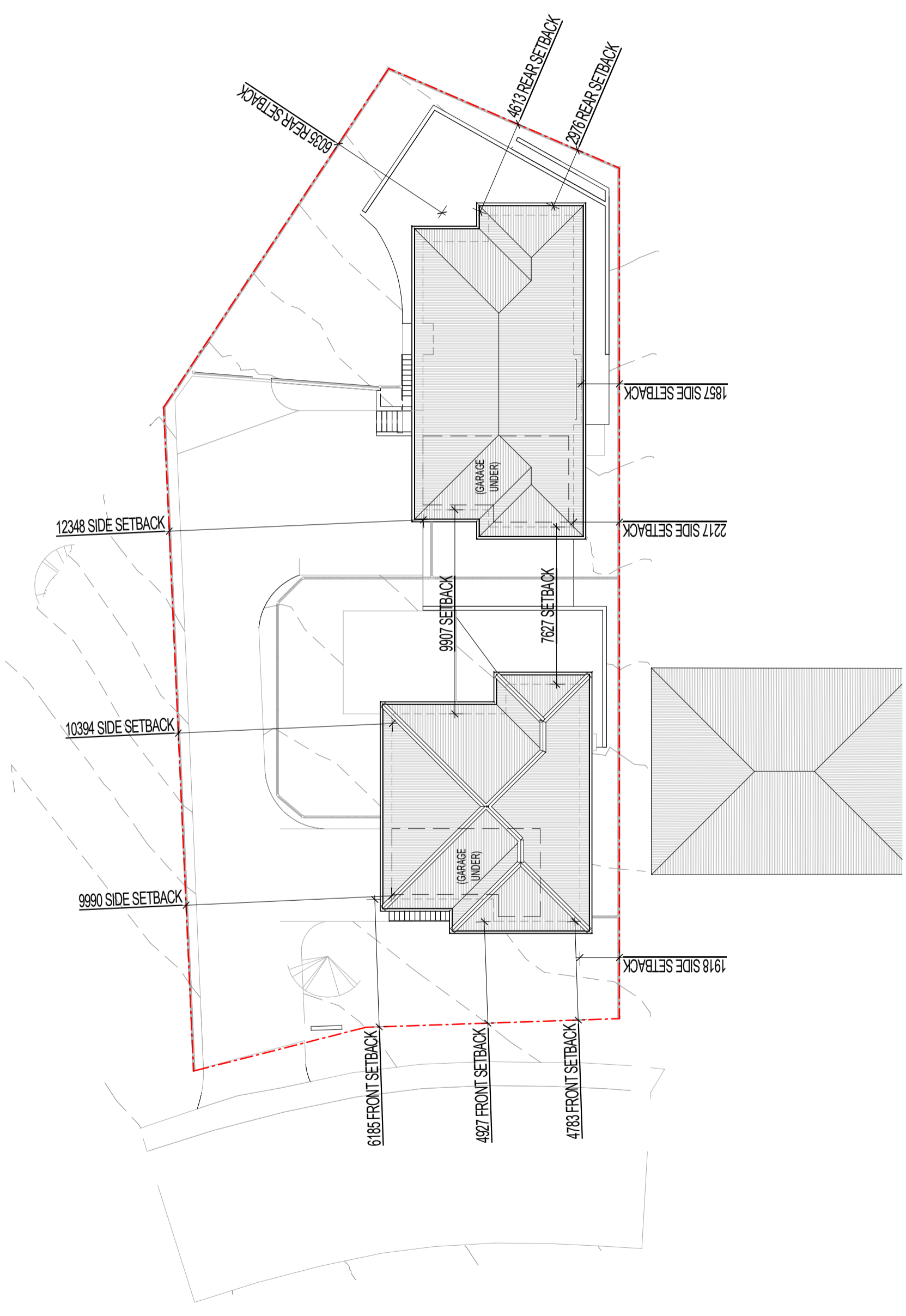
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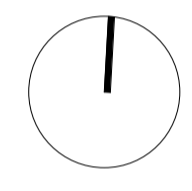
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sheet SITE SETBACKS  
project no. 23-056  
sheet no. DA08  
revision: 2  
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CRASH RAILS TO BE USED WHERE THE DROP IN LEVEL ADJACENT TO THE DRIVEWAYS IS GREATER THAN 600mm

EXISTING SEWER MANHOLE TO BE MODIFIED TO SUIT NEW PROPOSED SITE LEVELS

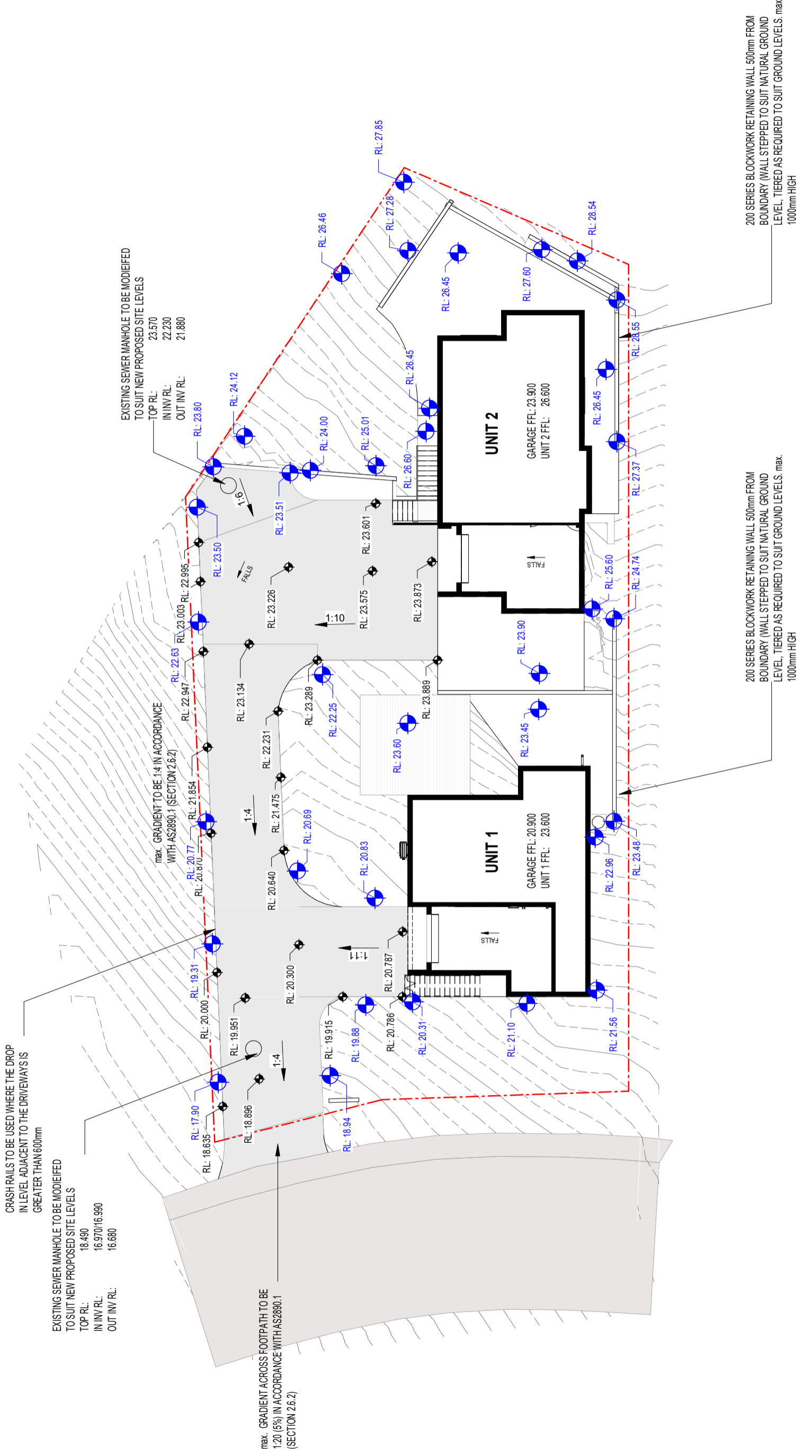
TOP RL: 18.490  
IN INV RL: 16.970/16.990  
OUT INV RL: 16.680

EXISTING SEWER MANHOLE TO BE MODIFIED TO SUIT NEW PROPOSED SITE LEVELS

TOP RL: 23.570  
IN INV RL: 22.230  
OUT INV RL: 21.880

max. GRADIENT ACROSS FOOTPATH TO BE 1:20 (5%) IN ACCORDANCE WITH AS2890.1 (SECTION 2.6.2)

max. GRADIENT TO BE 1:4 IN ACCORDANCE WITH AS2890.1 (SECTION 2.6.2)



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sheet no. **23-056**  
project no. **DA09**

# LEGEND - PARKING

## C2.6.2 DESIGN AND LAYOUT OF PARKING AREAS

A1.1 -

(A) MAXIMUM GRADIENT OF ACCESS WAY IS 1:4 (25%) IN ACCORDANCE WITH AS2880, WITH MAX. GRADIENT ACROSS FOOTPATH TO BE 1:20 (5%) IN ACCORDANCE WITH AS2890.1 (SECTION 2.6.2)

ALL VEHICLES TO ENTER AND EXIT THE SITE IN A FORWARD DIRECTION.

### TABLE C2.1 - CAR PARKING REQUIREMENTS

UNIT 1 PARKING	2 SPACES PROVIDED
UNIT 2 PARKING	2 SPACES PROVIDED
VISITOR PARKING	1 SPACE PROVIDED

TOTAL SPACES REQUIRED = 5  
TOTAL PROVIDED = 5

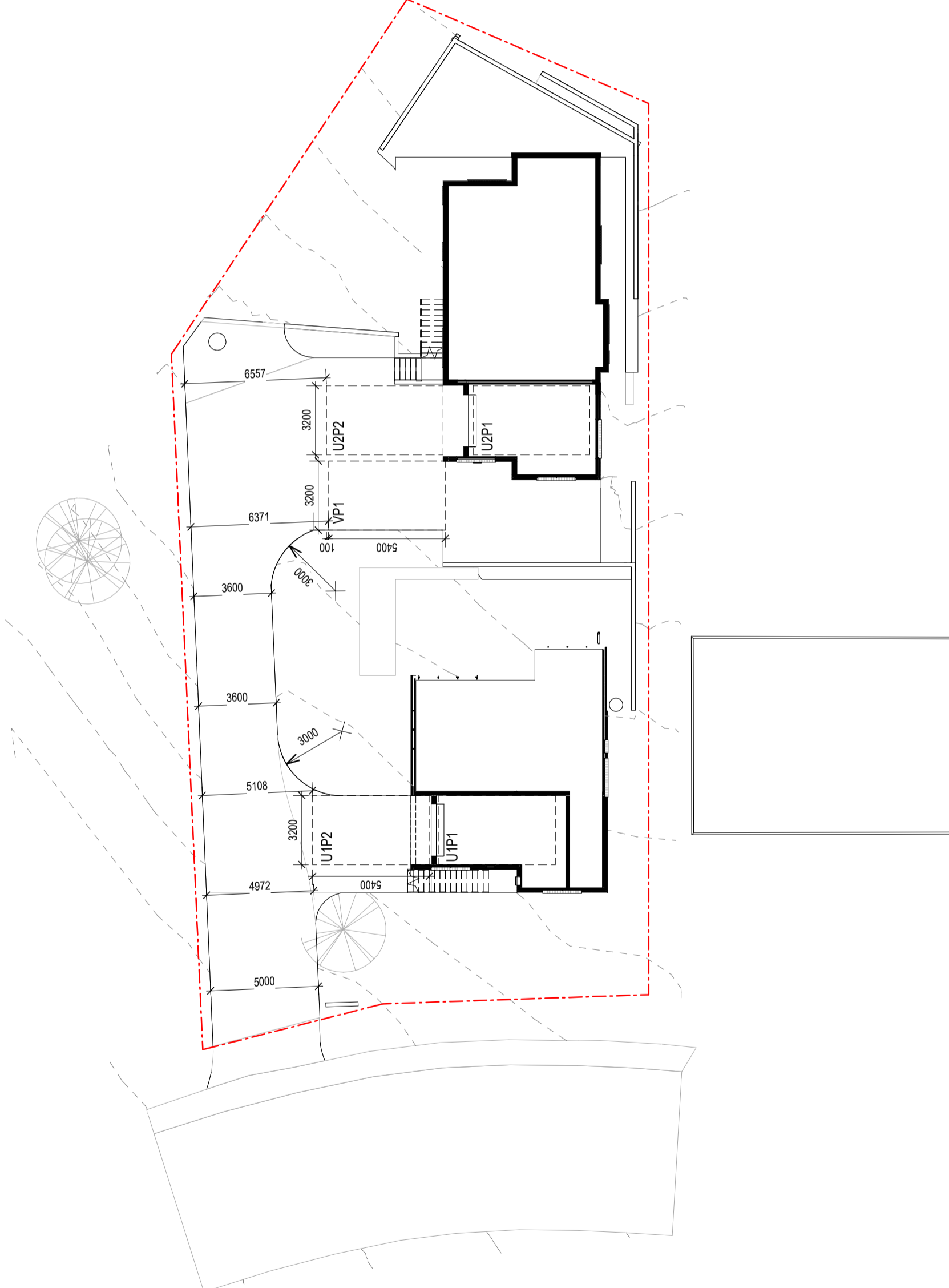
NO REQUIREMENT FOR BICYCLE OR MOTORCYCLE PARKING

### TABLE C2.2 - INTERNAL ACCESS WAY

INTERNAL ACCESS WIDTH TO BE A MIN. 3.5m WIDE.  
WIDTH OF ACCESS DRIVEWAY TO BE MIN. 4.5m WIDE FOR THE FIRST 7.0m FROM THE ROAD CARRIAGEWAY

### TABLE C2.3 - CAR PARKING SPACES AND MANOEUVRING SPACE

ALL PARKING SPACES ARE TO BE 3.2m WIDE BY 5.4m IN LENGTH  
MANOEUVRING SPACES TO BE IN ACCORDANCE WITH B85  
VEHICLE TURNING PATHS FOR DWELLINGS AND VISITOR PARKS TO BE IN ACCORDANCE WITH B89 TURNING PATHS AS ILLUSTRATED



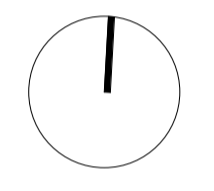
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sheet SITE PARKING

project no. 23-056  
sheet no. DA10  
revision: 2  
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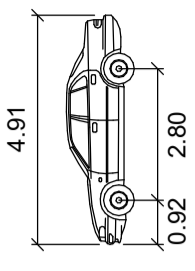
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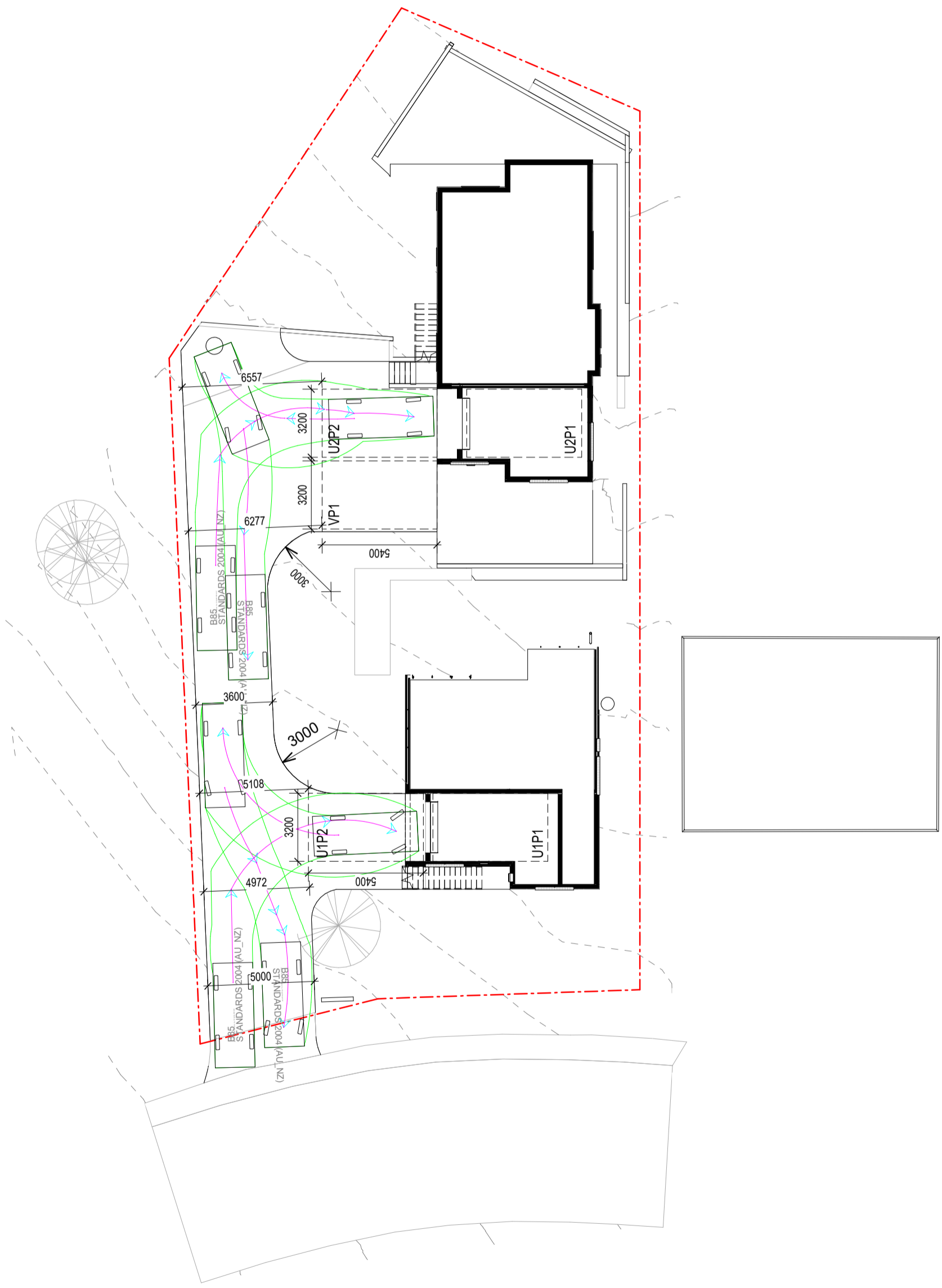
# LEGEND - PARKING

B85 TURNING SPACE AS PER AS2890.2



**B85**

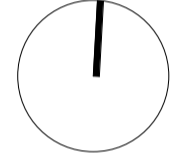
- Meters
- Width : 1.87
  - Track : 1.77
  - Lock to Lock Time : 6.0 s
  - Steering Angle : 34.1 deg



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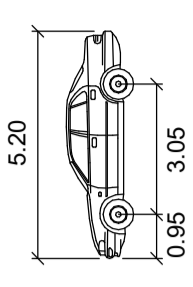
Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**

drawn RH  
checked RH  
date 08/23  
scale AS  
indicated

sheet B85 TURNING PATH  
project no. **23-056**  
sheet no. **DA11**

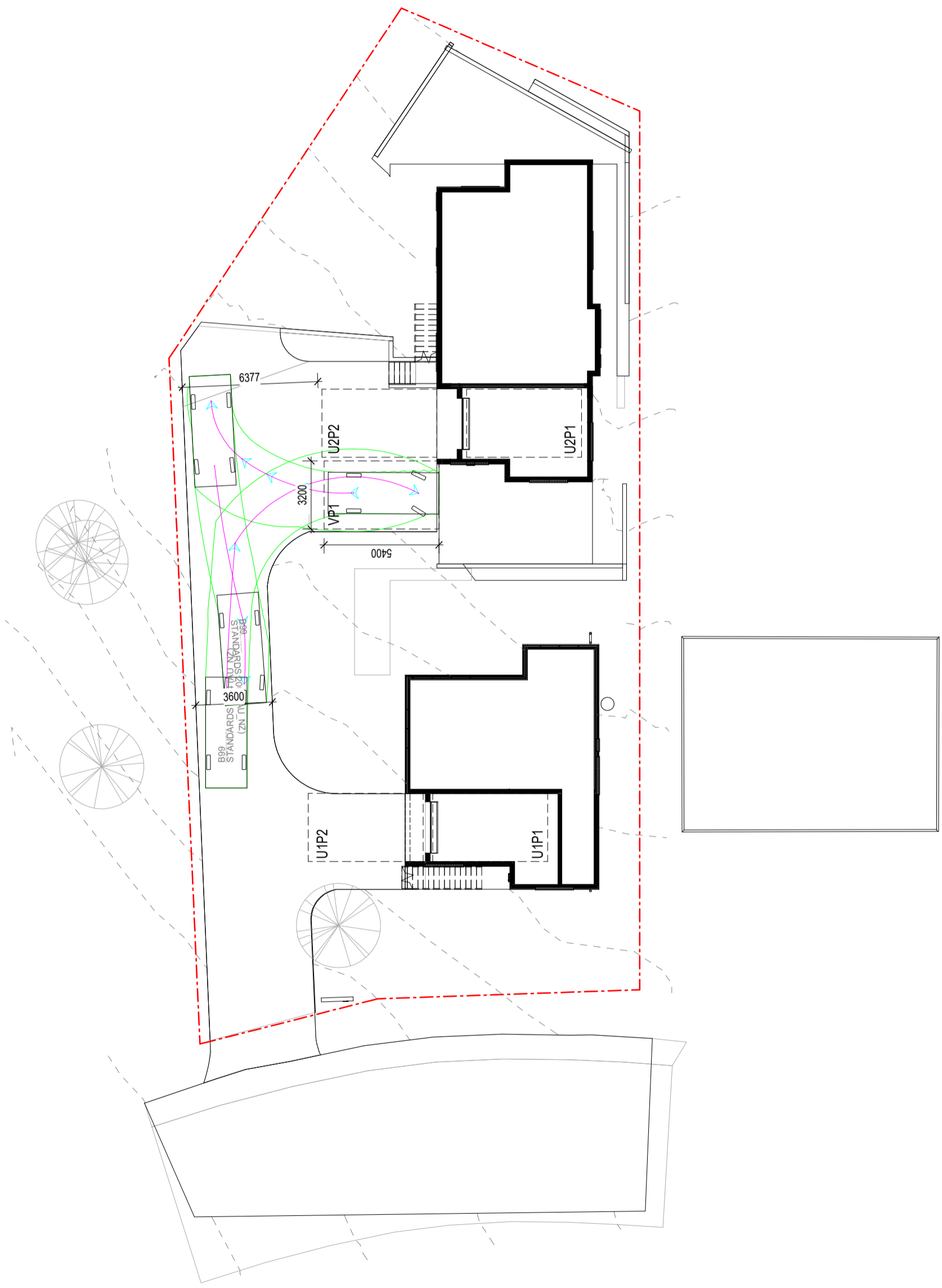
# LEGEND - PARKING

B99 TURNING SPACE AS PER AS2890.2



**B99**

- Meters
- Width : 1.94
  - Track : 1.84
  - Lock to Lock Time : 6.0 s
  - Steering Angle : 33.9 deg



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GAGEBROOK, TAS**

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date 08/23

scale AS

indicated

sheet B99

TURNING PATH

**23-056**

project no.

**DA12**

sheet no.

**2**

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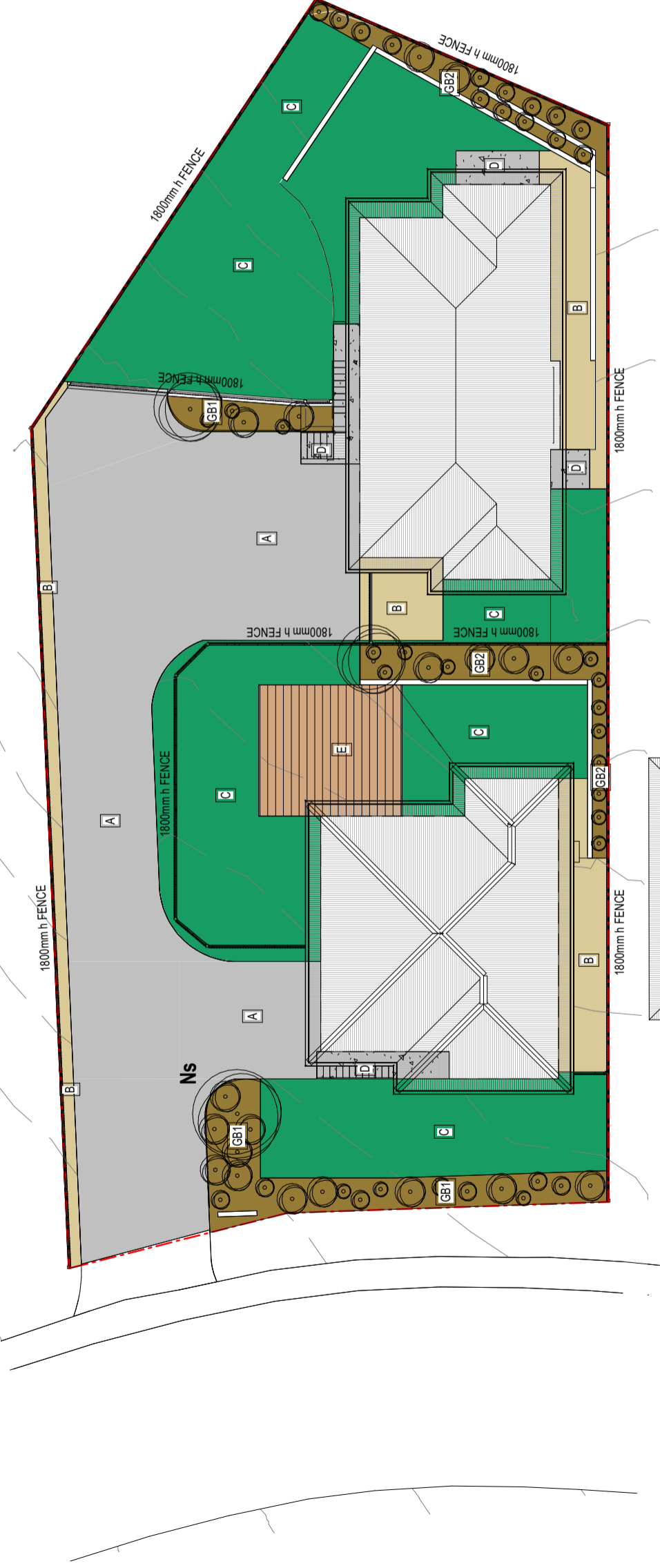
# LEGEND

**FENCING**  
FENCING WITHIN 4.5m OF THE FRONT BOUNDARY TO BE A MAXIMUM OF 1200mm HIGH

## LANDSCAPING SURFACE FINISHES

### HARD SURFACES

- A - CONCRETE TYPE 1**  
GENERAL PURPOSE CONCRETE WITH PLATE FINISH, TROWELLED EDGE FOR PEDESTRIAN FOOTPATH, CHANNEL AND KERB TO PRIMER
- B - GRAVEL TYPE 1**  
20mm ICE ROCK
- C - GRASSED**  
GENERAL COMMUNAL GARDENS AND BACK GARDENS TO BE SEEDED LAWN OR TURF
- D - CONCRETE TYPE 2**  
GENERAL PURPOSE CONCRETE WITH EXPOSED AGGREGATE, TROWELLED EDGE FOR PRIVATE GARDENS.
- E - TIMBER DECK**  
TREATED TIMBER DECK WITH STEEL POSTS AND STAINLESS STEEL WIRE BALUSTRADE
- GB - GARDEN BEDS WITH PLANTS**  
75mm COMPOSTED HARDWOOD MULCH



# DEVELOPMENT APPLICATION



**Nysa sylvatica**



**Dianella tasmanica**



**Westringia brevifolia**



**Grevillea australis**



**Myoporum parvifolium**



**Austrostipa stipoides**



**Leucophya brownii**

## TYPE GB1 - COMMUNAL GARDENS

## TYPE GB2 - PRIVATE GARDEN

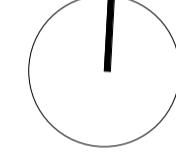
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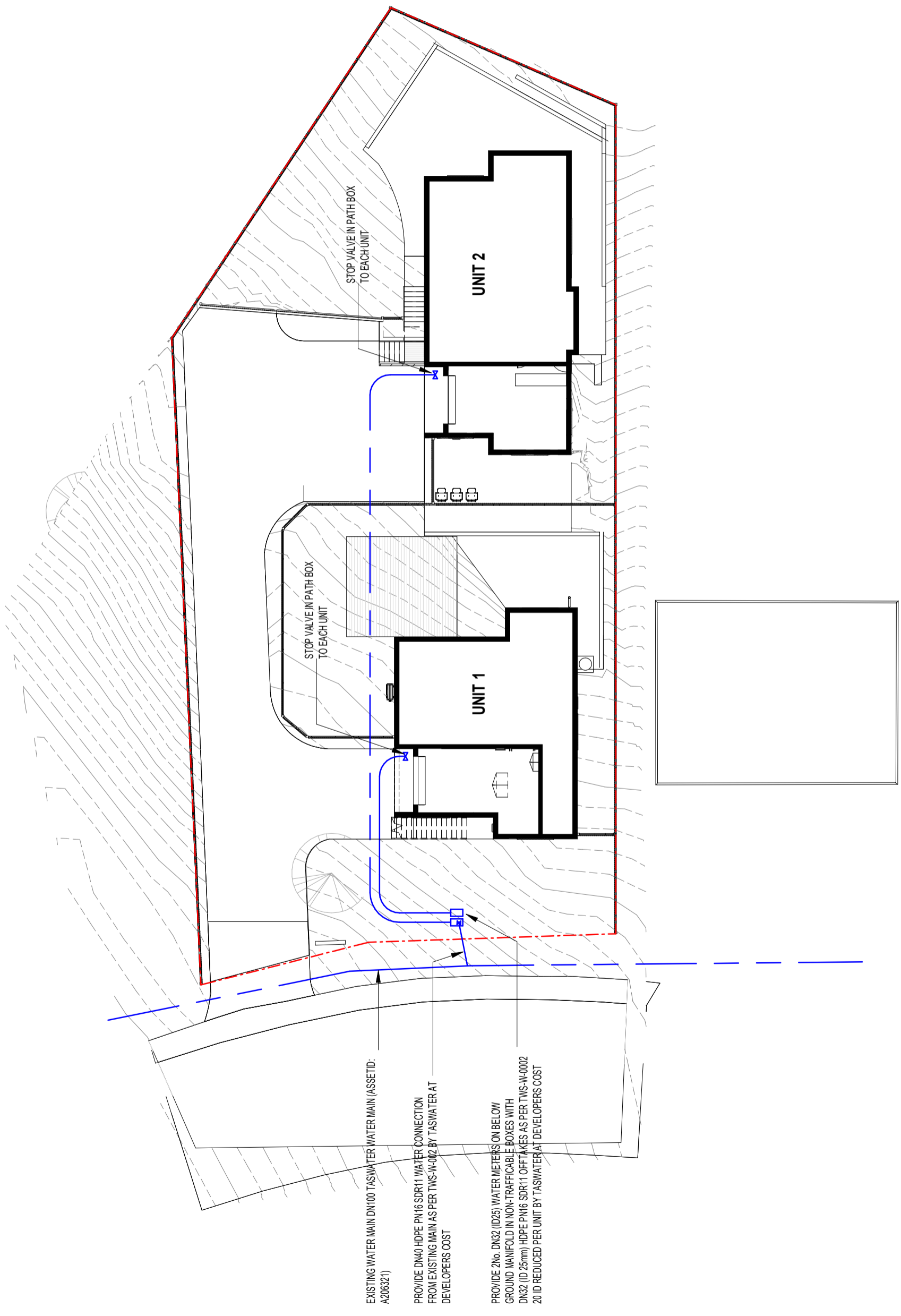
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sheet SITE LANDSCAPE PLAN

project no. **23-056**  
sheet no. **DA14**

revision: **2**  
12/09/2023 9:38:30 AM



EXISTING WATER MAIN DN100 TASWATER WATER MAIN (ASSETID: A206321)

PROVIDE DN40 HDPE PN16 SDR11 WATER CONNECTION FROM EXISTING MAIN AS PER TWS-W-002 BY TASWATER AT DEVELOPERS COST

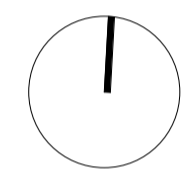
PROVIDE 2No. DN32 (ID25) WATER METERS ON BELOW GROUND MANIFOLD IN NON-TRAFFICABLE BOXES WITH DN32 (ID 25mm) HDPE PN16 SDR11 OFFSETS AS PER TWS-W-0002 20 ID REDUCED PER UNIT BY TASWATER AT DEVELOPERS COST

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scale 1 : 200

sheet SITE WATER RETICULATION PLAN  
project no. 23-056  
sheet no. DA15  
revision: 2  
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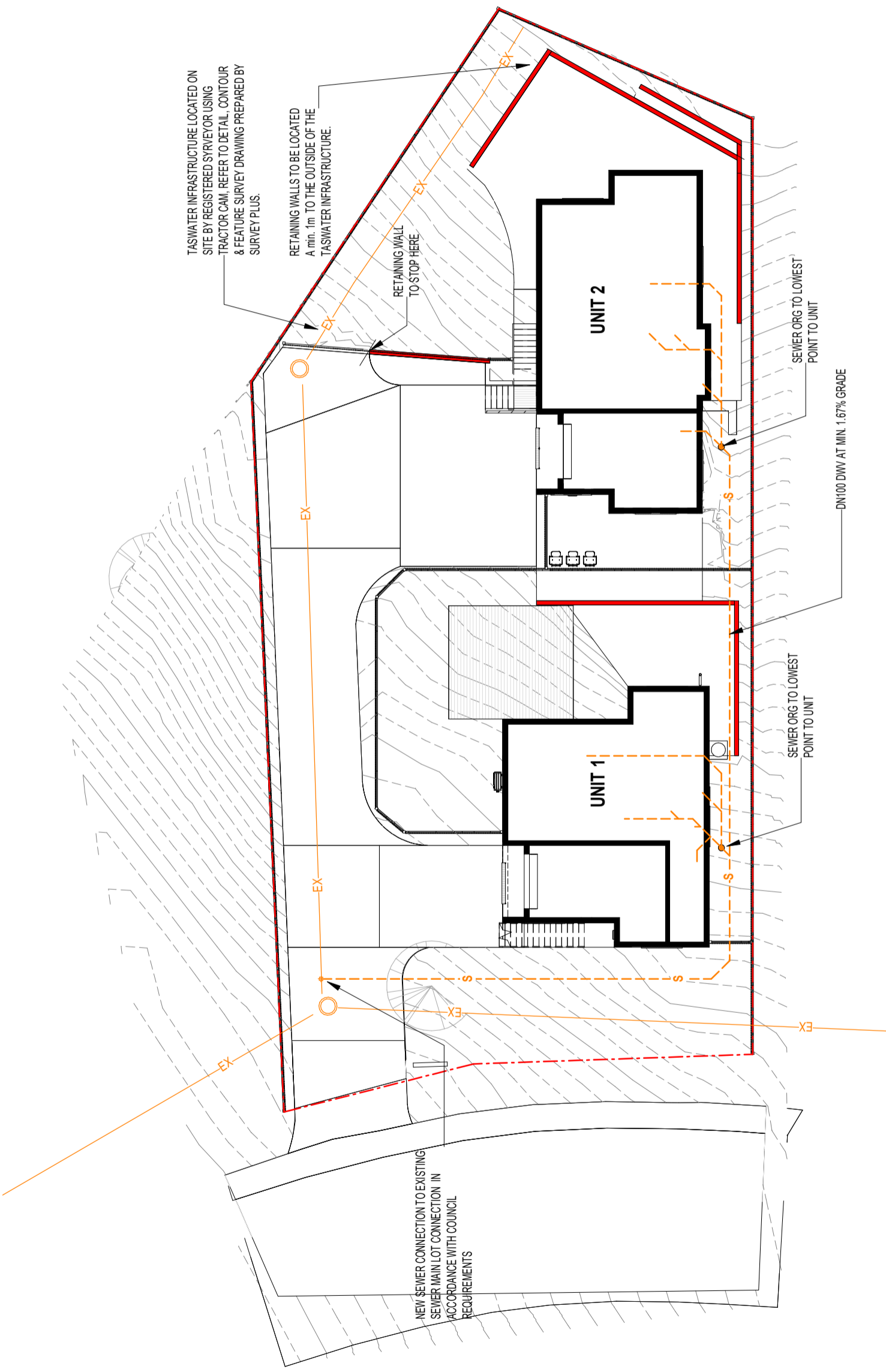


# LEGEND - SEWER

1. WORKS ASSOCIATED WITH SEWER ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE WSA PARTS 02 & 03 (WATER AND SEWERAGE CODES OF AUSTRALIA), TASWATER SUPPLEMENTS TO THE SAME, AND TO THE SATISFACTION OF TASWATER.
2. ALL CONNECTIONS TO EXISTING MAINS ARE TO BE CARRIED OUT BY THE REGULATING AUTHORITY AT COST TO DEVELOPER.
3. SEWER LAYOUT AS SHOWN IS NOTIONAL; THE LAYOUT IS TO BE CONFIRMED ON SITE BY THE PLUMBER
4. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
5. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH AS3500 AND THE NCC VOLUME 3 (PCA)
6. ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED WITH COMPACTED FCR.
7. MINIMUM COVER FOR PRIVATE DRAINAGE PIPES SHALL BE 500mm FOR SEWER U.N.O.
8. TASWATER SEWER MAINS TO BE MINIMUM DWV CLASS SN8 DN150 RRI WITH MINIMUM CLASS SN10 DN100 PROPERTY CONNECTIONS.
9. ALL PIPEWORK TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILL.

## LEGEND

- S--- NEW PROPOSED DN100 DWV AT MIN 1.67% GRADE
- EX--- EXISTING SEWER INFRASTRUCTURE
- EXISTING SEWER INFRASTRUCTURE; REFER TO SURVEY FOR INVERT LEVELS
- NEW PROPOSED OVERFLOW RELIEF GULLY TO BE LOCATED AT THE LOWEST POINT OF EACH UNIT.



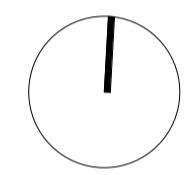
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sheet SITE SEWER PLAN  
project no. 23-056 DA16  
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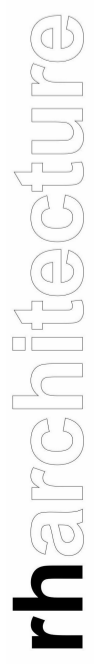
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# LEGEND - STORMWATER

- INSPECTION OPENINGS TO BE PROVIDED AT max. 30m INTERVALS IN ACCORDANCE WITH AS3500.2.
- BUILDER TO EXPOSE EXISTING STORMWATER PROPERTY CONNECTION TO CONFIRM LEVELS PRIOR TO CONSTRUCTION.
- ALL 450mm SQ PITS ARE TO BE GALVANISED STEEL CLASS 'B' TRAFFICABLE GRATE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- ALL 150mm STRIP DRAINS ARE TO BE GALVANISED STEEL CLASS 'B' TRAFFICABLE GRATE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS

### NOTES:

ALL WORKS TO BE IN ACCORDANCE WITH CURRENT NCC AND AUSTRALIAN STANDARDS AS3500

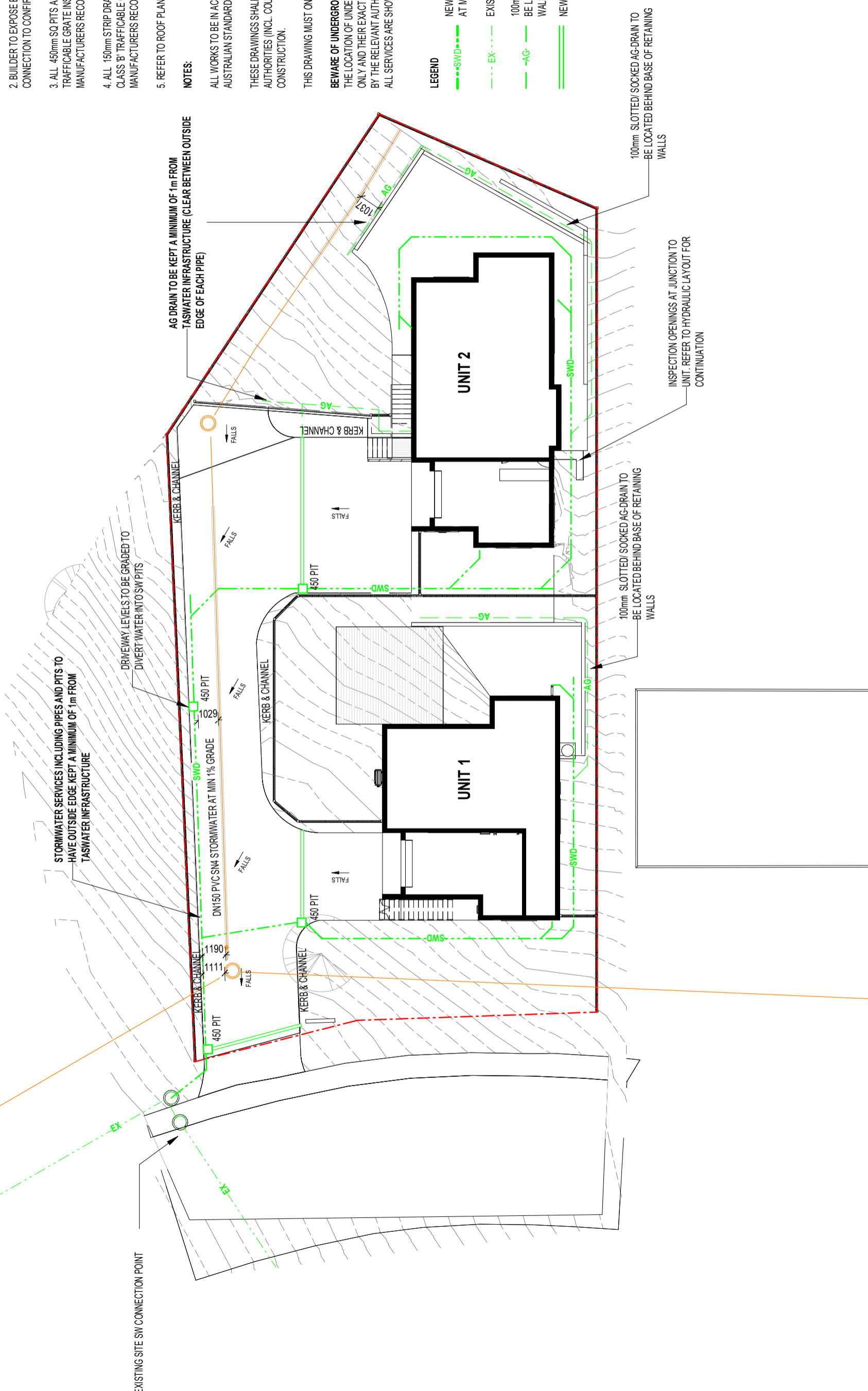
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR.

**BEWARE OF UNDERGROUND SERVICES**  
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

### LEGEND

- NEW PROPOSED DN150 PVC S<sub>N4</sub> STORMWATER AT MIN 1% GRADE
- EXISTING STORMWATER INFRASTRUCTURE
- 100mm SLOTTED/ SOCKED AG-DRAIN TO BE LOCATED BEHIND BASE OF RETAINING WALLS
- NEW PROPOSED 150 STRIP DRAIN

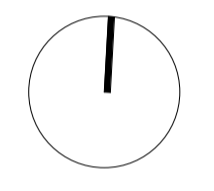


drawn RH  
checked RH  
date 06/23  
scale AS  
indicated

sheet no. **23-056**  
project no. **DA17**  
revision: **2**  
12/09/2023 9:38:34 AM

Client/ Project Name  
**UNIT DEVELOPMENT**

Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**



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RH  
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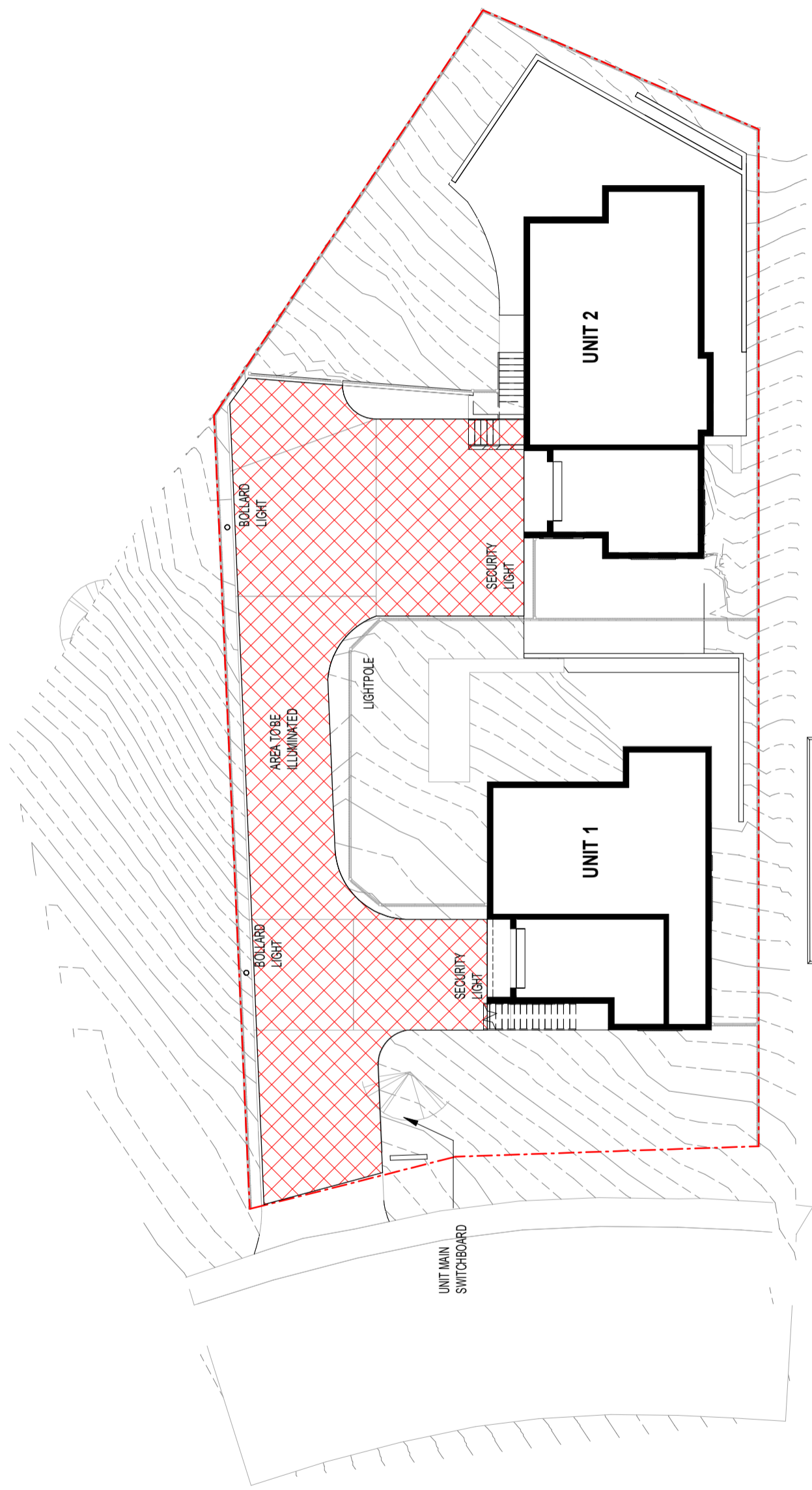
REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASWATER RFI
1	13/08/23	DA APPLICATION

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LIC. NO.: 249326760

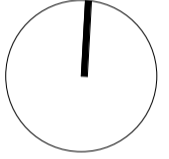
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# DEVELOPMENT APPLICATION



REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASMATER RFI
1	13/06/23	DA APPLICATION

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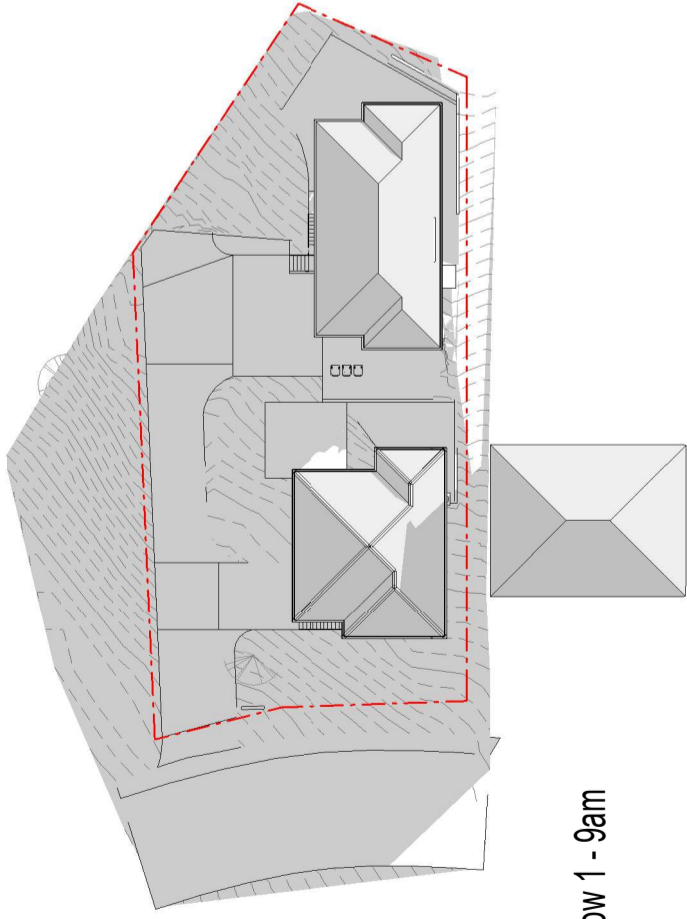
Client/ Project Name  
**UNIT DEVELOPMENT**

Project Address  
**3 BORONIA PLACE,  
 GAGEBROOK, TAS**

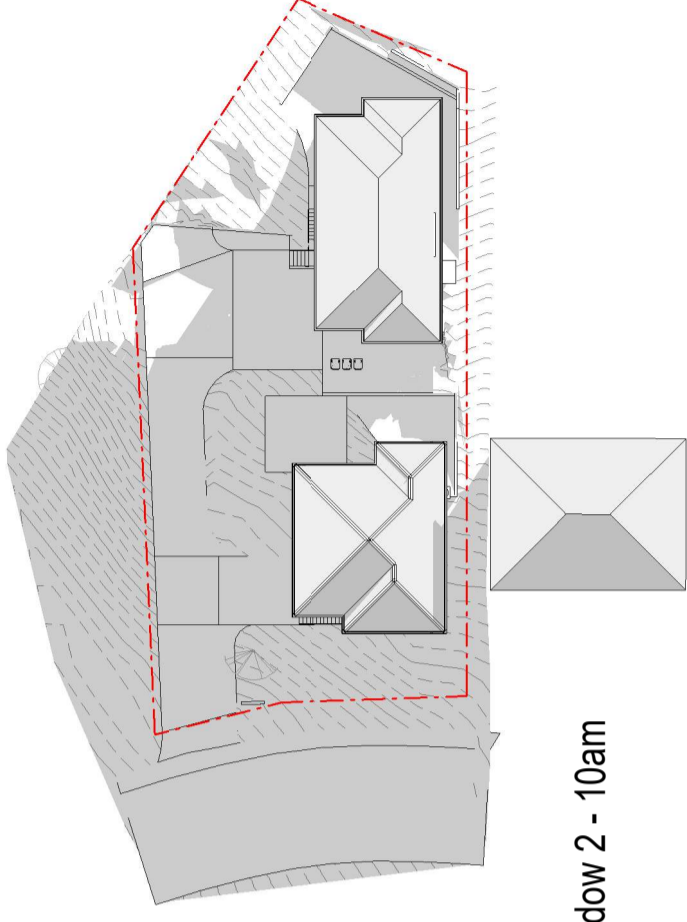
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date 06/23  
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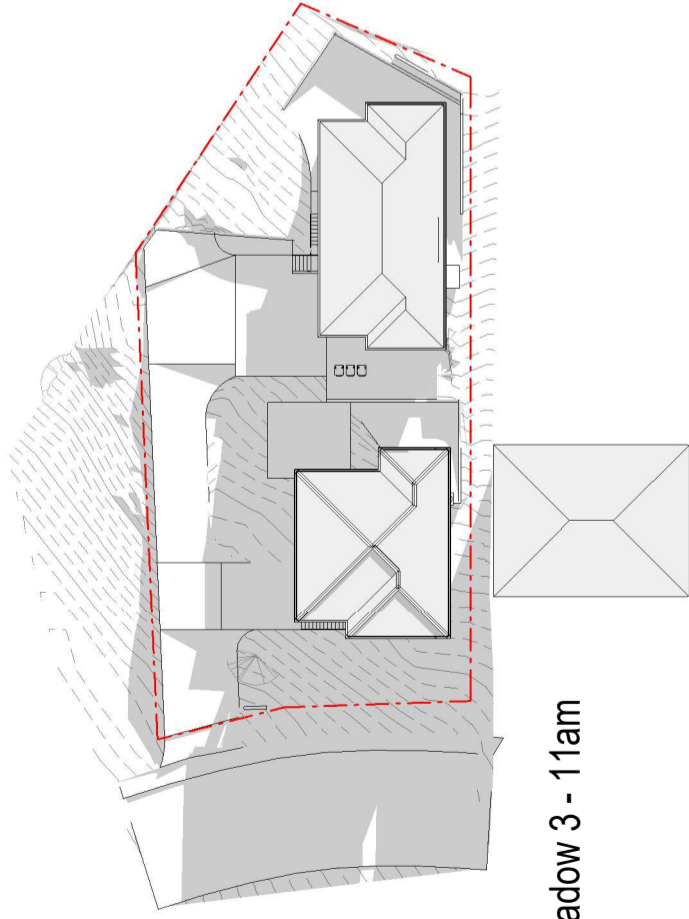
sheet SITE POWER & LIGHTING  
 project no. **23-056**  
 sheet no. **DA18**  
 revision: **2**  
 12/09/2023 9:38:36 AM



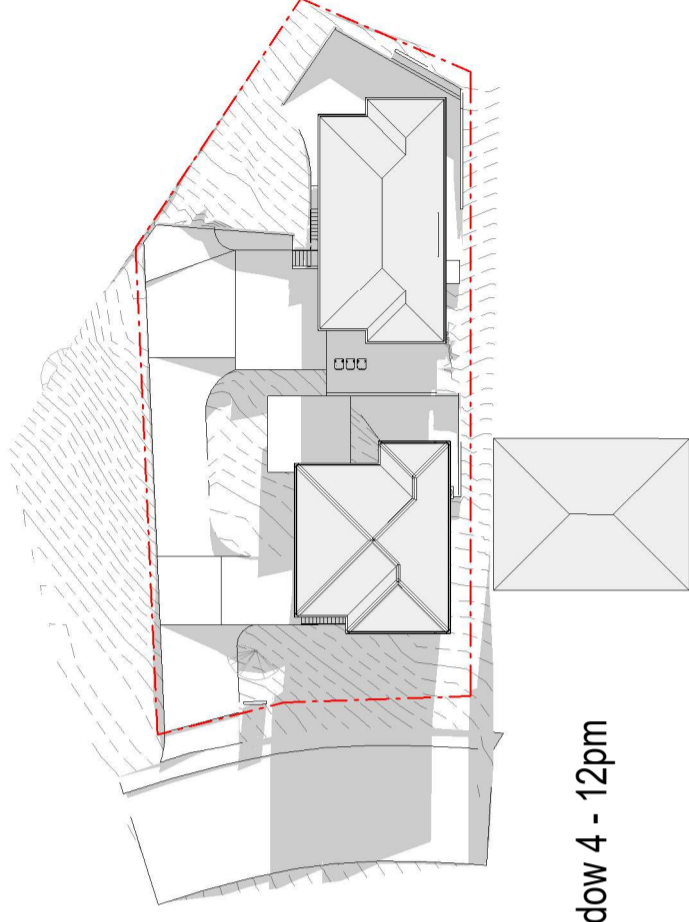
Site Plan Shadow 1 - 9am



Site Plan Shadow 2 - 10am



Site Plan Shadow 3 - 11am

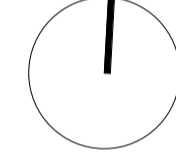


Site Plan Shadow 4 - 12pm

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REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASMATER RFI
1	13/08/23	DA APPLICATION

RH  
RH  
INIT.



Client/ Project Name  
**UNIT DEVELOPMENT**

Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**

drawn RH  
checked RH  
date 06/23  
scale 1 : 500

sheet SHADOW DIAGRAM 1

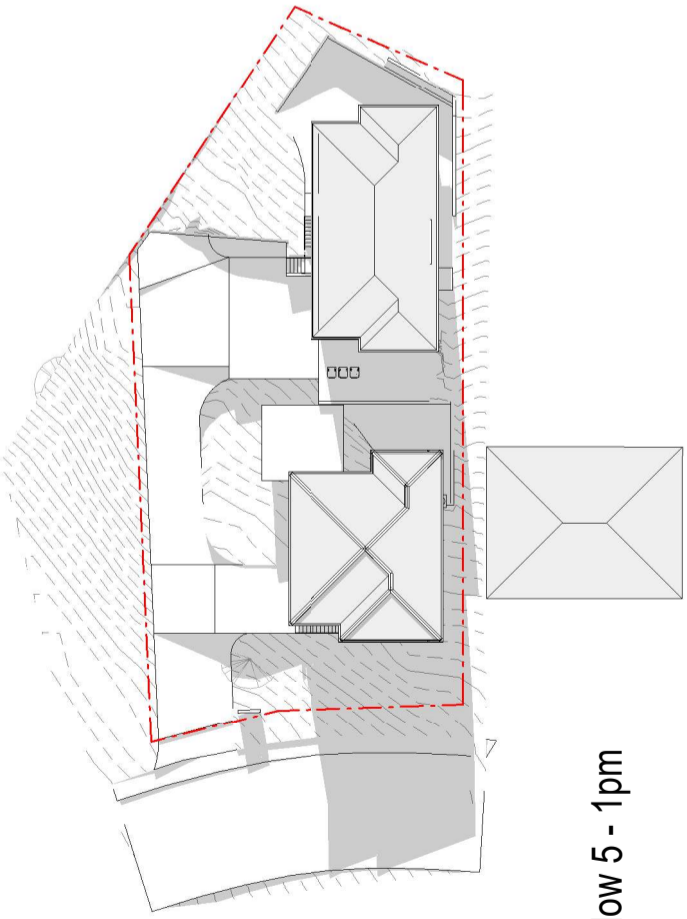
project no. **23-056**

sheet no. **DA19**

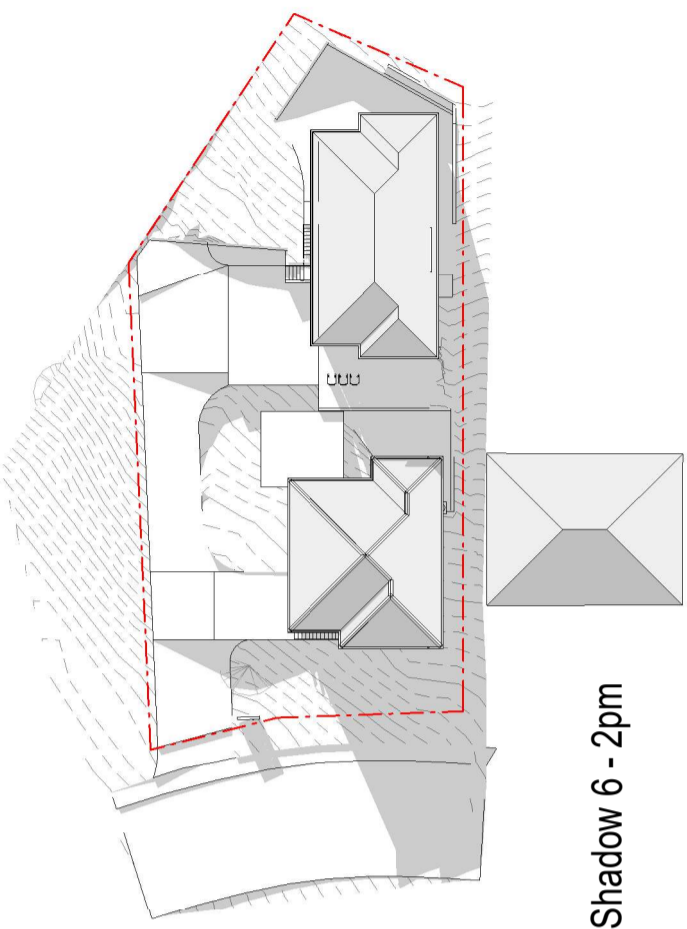
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12/09/2023 9:38:37 AM





Site Plan Shadow 5 - 1pm



Site Plan Shadow 6 - 2pm

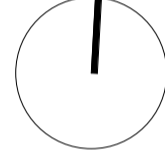


Site Plan Shadow 7 - 3pm

REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASMATER RFI
1	13/08/23	DA APPLICATION

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Client/ Project Name  
**UNIT DEVELOPMENT**

Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**

drawn RH  
checked RH

date 06/23

scale 1 : 500

sheet SHADOW DIAGRAM 2

project no. **23-056**

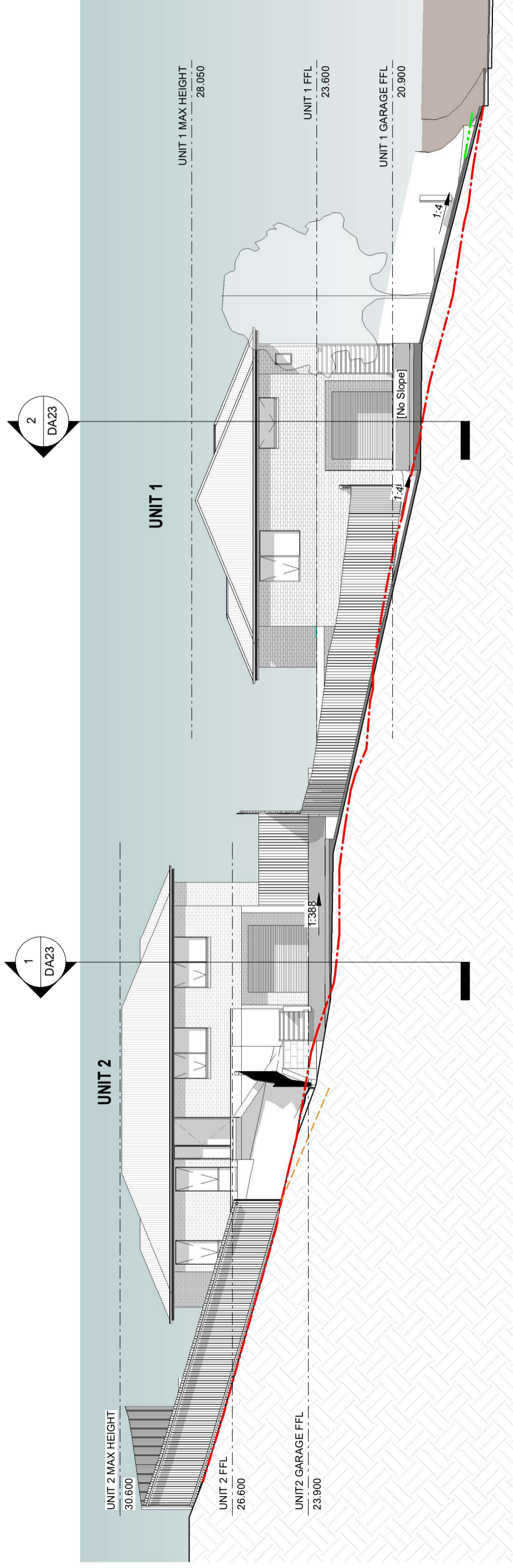
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**DA20**

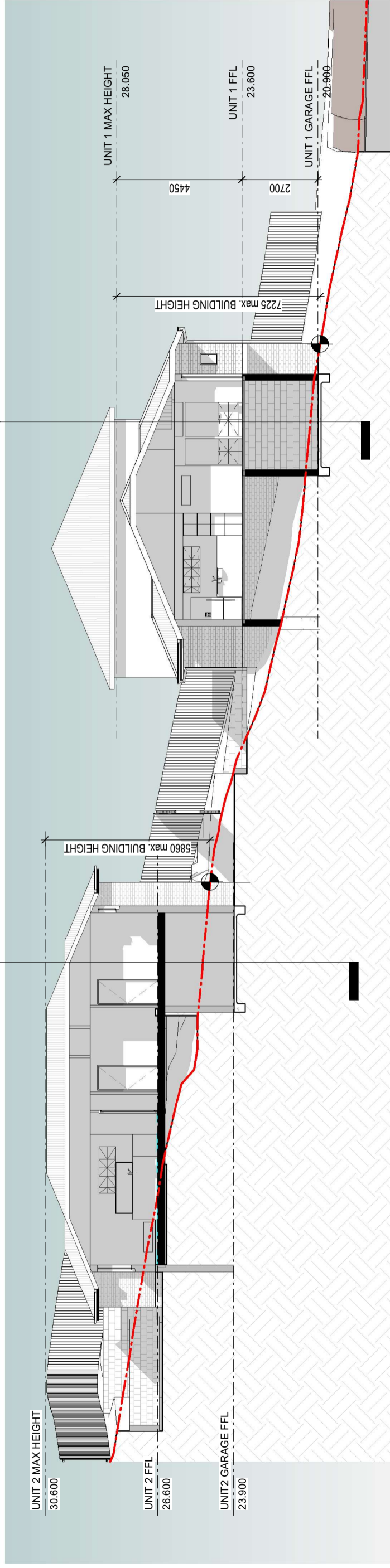
revision:

**2**

12/09/2023 9:38:39 AM



SECTION AA



SECTION BB

**ALL MAXIMUM BUILDING HEIGHTS ARE TAKEN FROM EXISTING NATURAL GROUND LEVEL**

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REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASMATER RFI
1	13/08/23	DA APPLICATION

RH  
RH  
INIT.

Client/ Project Name  
**UNIT DEVELOPMENT**

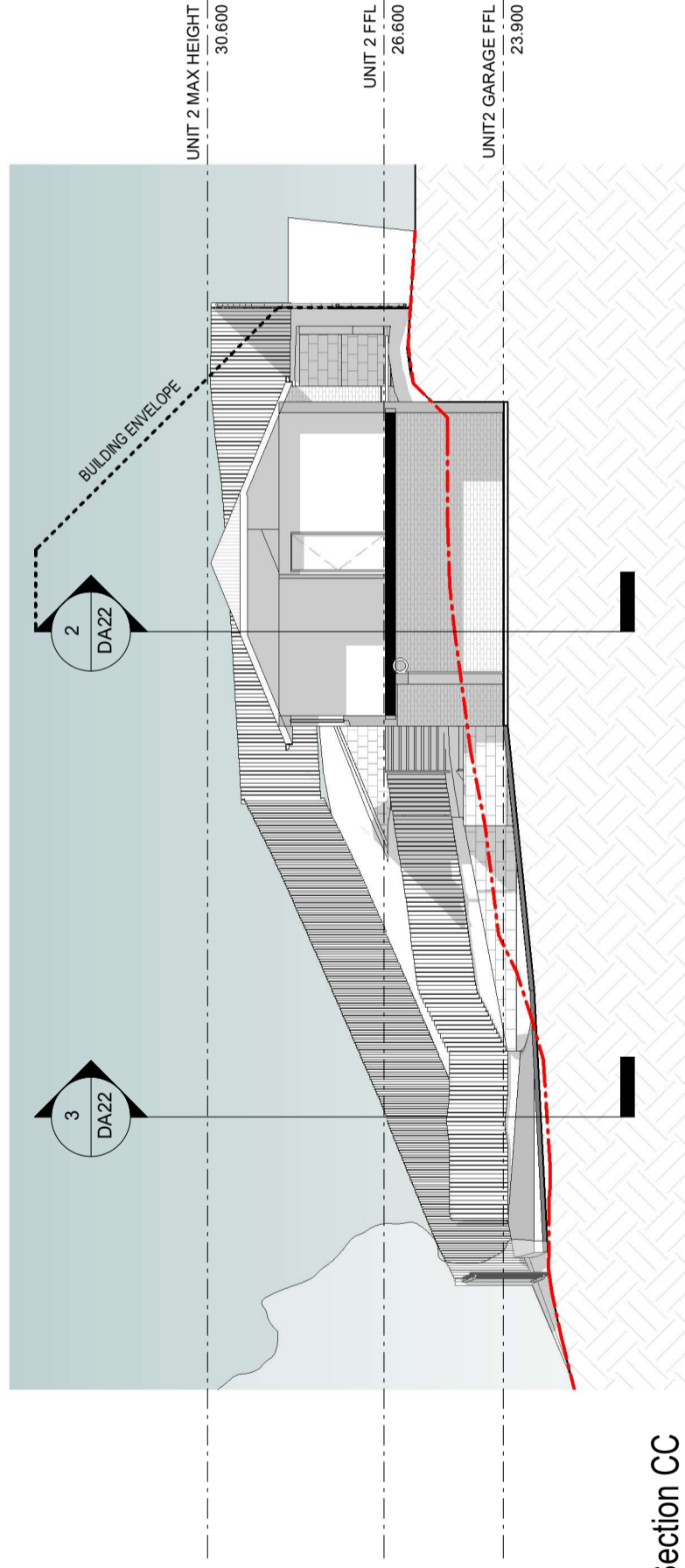
Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**

drawn RH  
checked RH  
date 06/23  
scale 1 : 150

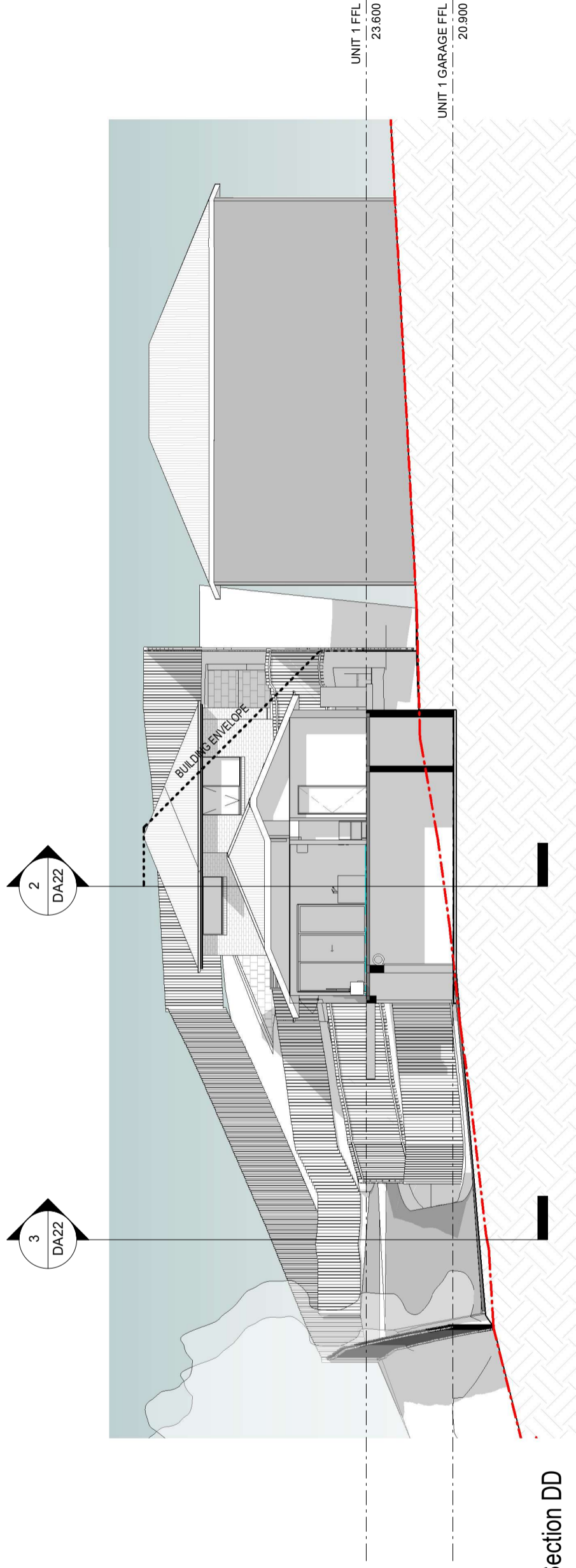
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project no. **DA22**

revision: **2**  
12/09/2023 9:38:41 AM





Section CC



Section DD

**ALL MAXIMUM BUILDING HEIGHTS ARE TAKEN FROM EXISTING NATURAL GROUND LEVEL**

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REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASMATER RFI
1	13/06/23	DA APPLICATION

RH  
RH  
INIT.

Client/ Project Name  
**UNIT DEVELOPMENT**

Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**

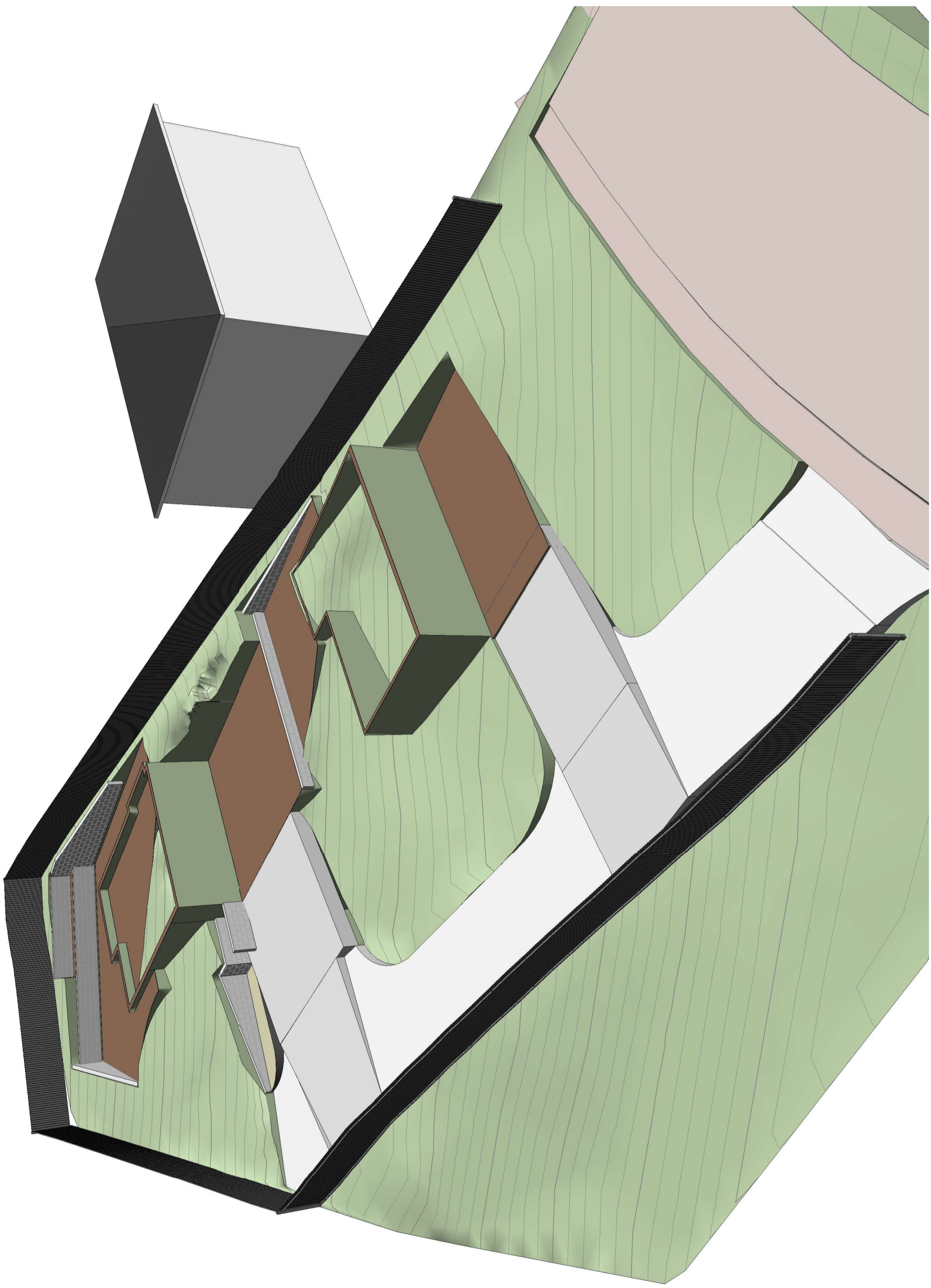
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date 06/23  
scale 1 : 150

sheet no. **23-056**  
project no. **DA23**

revision: **2**  
12/09/2023 9:38:43 AM

**DEVELOPMENT APPLICATION**





**ALL GROUND LEVELS SHOWN DIAGRAMMATICALLY**

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LIC. NO.: 249326760

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REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASMATER RFI
1	13/06/23	DA APPLICATION

RH  
RH  
INIT.

Client/ Project Name  
**UNIT DEVELOPMENT**

Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**

drawn RH  
checked RH  
date 06/23  
scale

sheet SITE BUILDING PADS & RETAINING WALLS  
project no. **23-056**  
sheet no. **DA24**  
revision: **2**  
12/09/2023 9:38:44 AM





**rh**architecture

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LIC. NO.: 249326760

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REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASMATER RFI
1	13/06/23	DA APPLICATION

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RH  
INIT.

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Client/ Project Name  
**UNIT DEVELOPMENT**

Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**

drawn RH  
checked RH

date 06/23  
scale

sheet  
**AERIAL PERSPECTIVE**

project no.  
**23-056**

sheet no.  
**DA25**

revision:  
**2**

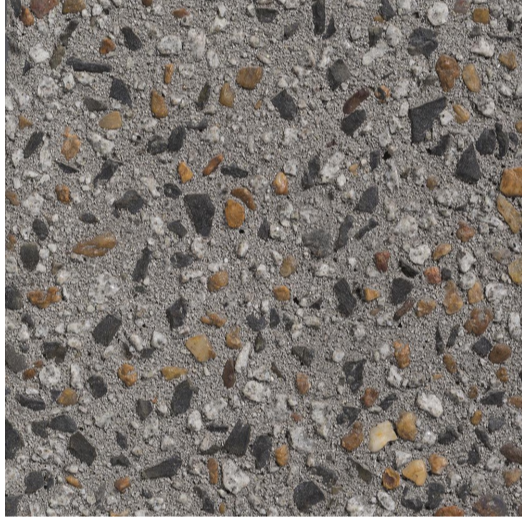
12/09/2023 9:38:48 AM

**DEVELOPMENT APPLICATION**

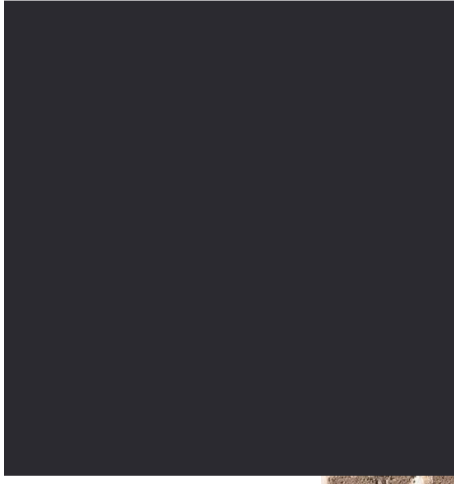




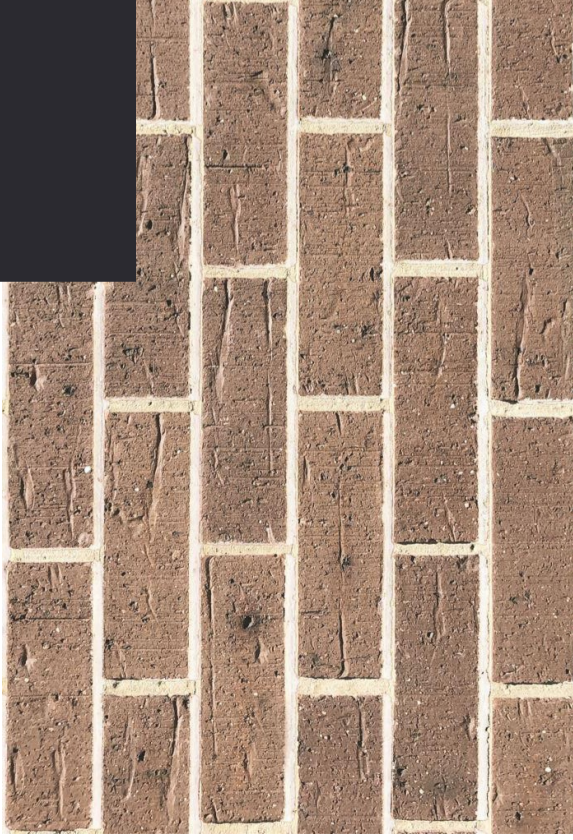
BROOM FINISHED CONCRETE  
DRIVE/ CARPARKS



EXPOSED CONCRETE AGGREGATE  
PATHS/ STAIRS/ LANDINGS



COLORBOND MONUMENT  
WINDOW FRAMES/ ROOF/ FASCIA AND  
GUTTER



AUSTRAL BRICKS: YARRA TOORAK

20mm PINK ROCK GRAVEL TO PATHS,  
PLANTBEDS WHERE NOTED.



HARDWOOD MULCH TO PLANTBEDS

### COLOURS INDICATIVE, FINAL COLOURS TO BE CONFIRMED

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REV	DATE	DETAILS
2	11/09/23	UPDATES FOR TASWATER RFI
1	13/08/23	DA APPLICATION

RH  
RH  
INIT.

Client/ Project Name  
**UNIT DEVELOPMENT**

Project Address  
**3 BORONIA PLACE,  
GAGEBROOK, TAS**

drawn RH  
checked RH  
date 06/23  
scale

sheet no. **23-056**

project no. **DA28**

revision: **2**

12/09/2023 9:38:49 AM



Kelly Min  
Planning Officer  
Brighton Council  
1 Tivoil Road,  
Old Beach  
TAS 7017

12<sup>th</sup> September 2023

Dear Kelly

**RE: 3 BORONIA PLACE, GAGEBROOK – TASWATER RFI DATED 04/09/2023**

In regard to the TASWATER RFI (TWDA 2023/01172-BTN), our response is as follows;

1. **As I has been indicated, a DN150mm sewer main is located in the vicinity of the proposed retaining walls. Section 56W of the Water and Sewerage Industry Act 2008 prohibits the construction of prescribed structures within TasWater easements and/or over or within two metres of TasWater infrastructure without consent. Please submit amended plans which show the following:**

- a. **A note added on the plan stating how the pipe was located (e.g. TasWater infrastructure located on site by private contractor/registered surveyor etc.).**

A note has been added to drawing 23-056-DA16, the survey was undertaken by a registered surveyor who as part of their engagement identified “the depth and location of the sewer, stormwater and water lot connections for this area.”

- b. **b. The proposed retaining walls must be located no closer than 1.0m to the outside of the TasWater Infrastructure;**

(ITEM 1) We have revised the location of the retaining walls along the rear (northern) boundary to maintain a 1m min. zone between the out side edge of infrastructure and out side edge of new services. Please refer to drawing DA17 (rev.2) which clearly annotates the dimensions between services (please note these dimensions are external edge to external edge).

(ITEM 2) The RFI noted that a small retaining wall was constructed over infrastructure, please note that we have revised the levels in this area to both batter the soil locally and to raise the level of the driveway locally (refer to drawing DA09 (rev.2) the result is that there is now no requirement for any retaining wall in this location.

- c. **Drawing title block(s) amended to show revision number, revision date & revision description.**

All drawings have been given new revision numbers (REVISION 2)

2. **Please provide an amended drawing noting clearance between the proposed private stormwater drainage and the TasWater sewer main. There must be a minimum clearance of 1.0m.**

Please refer to our revised drawing DA17 (rev.2) this now clearly shows the sewer pipe with diameter and the new stormwater pipe a min. of 1m away from each other (please note that all dimensions are taken from outside edge of pipe to outside edge of pipe).

---

To achieve the required separation as per the Taswater Guidelines, the access driveway was increase to 3.6m wide, the stormwater pits have been drawn to scale and set out to ensure that the minimum clearances are achieved.

We hope that this information along with the updated drawings are sufficient to address the concerns raised in the Taswater RFI and if any further clarification is required then please don't hesitate to contact the undersigned.

Yours faithfully

A handwritten signature in black ink, appearing to read "R. Higman". The signature is written in a cursive, flowing style.

Roy Higman.  
DIRECTOR

## Submission to Planning Authority Notice

<b>Council Planning Permit No.</b>	DA 2023 / 00143	<b>Council notice date</b>	28/08/2023
<b>TasWater details</b>			
<b>TasWater Reference No.</b>	TWDA 2023/01172-BTN	<b>Date of response</b>	15/09/2023
<b>TasWater Contact</b>	Timothy Carr	<b>Phone No.</b>	0419 306 130
<b>Response issued to</b>			
<b>Council name</b>	BRIGHTON COUNCIL		
<b>Contact details</b>	development@brighton.tas.gov.au		
<b>Development details</b>			
<b>Address</b>	3 BORONIA PL, GAGEBROOK	<b>Property ID (PID)</b>	5052299
<b>Description of development</b>	Multiple Dwellings x 2		
<b>Schedule of drawings/documents</b>			
<b>Prepared by</b>	<b>Drawing/document No.</b>	<b>Revision No.</b>	<b>Date of Issue</b>
rh architecture	Site Plan – 23-056-DA03	2	11/09/2023
rh architecture	Site Stormwater Drainage – 23-056-DA17	2	11/09/2023
<b>Conditions</b>			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater’s satisfaction and be in accordance with any other conditions in this permit.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer’s cost.</li> <li>3. Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.</li> </ol> <p><b>INFRASTRUCTURE WORKS (MAINTENANCE HOLES)</b></p> <ol style="list-style-type: none"> <li>4. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer’s cost.</li> <li>5. The sewer maintenance hole works, changing of finished surface levels and the installation of trafficable covers (as they will be located in the new driveway area). These works can be carried out by the developers contractor at the developers cost, under TasWater supervision or by TasWater at the developers cost.</li> </ol> <p><b>56W CONSENT</b></p> <ol style="list-style-type: none"> <li>6. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the <i>Water and Sewerage Industry Act 2008</i> for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of</li> </ol>			



TasWater infrastructure.

#### **DEVELOPER CHARGES**

7. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$702.80 to TasWater for water infrastructure for 0.4 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
8. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$1,317.75 to TasWater for sewerage infrastructure for 0.75 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

#### **DEVELOPMENT ASSESSMENT FEES**

9. The applicant or landowner as the case may be, must pay a development assessment fee of \$234.64 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

#### **Advice**

##### **General**

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

##### **Developer Charges**

For information on Developer Charges please visit the following webpage - <https://www.taswater.com.au/building-and-development/developer-charges>

##### **Water Submetering**

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website ([www.taswater.com.au](http://www.taswater.com.au)) within our Sub-Metering Policy and Water Metering Guidelines.

##### **Service Locations**

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

**56W Consent**

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater’s infrastructure, and to TasWater’s satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater’s pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- (a) Existing pipe depth and proposed finished surface levels over the pipe;
- (b) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
- (c) A note on the plan indicating how the pipe location and depth were ascertained.
- (d) The location of the property service connection and sewer inspection opening (IO).

**Declaration**

The drawings/documents and conditions stated above constitute TasWater’s Submission to Planning Authority Notice.

**TasWater Contact Details**

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au