



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2023/058**

LOCATION OF AFFECTED AREA

**1 LETITIA GROVE, BRIDGEWATER**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**STORAGE (WAREHOUSE)**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **12/09/2023**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au).

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JANINE BANKS**  
**ACTING General Manager**



**Brighton**  
going places



ALEX W SHEDDEN & CO  
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PROPOSED WAREHOUSE

1 LETITIA GROVE

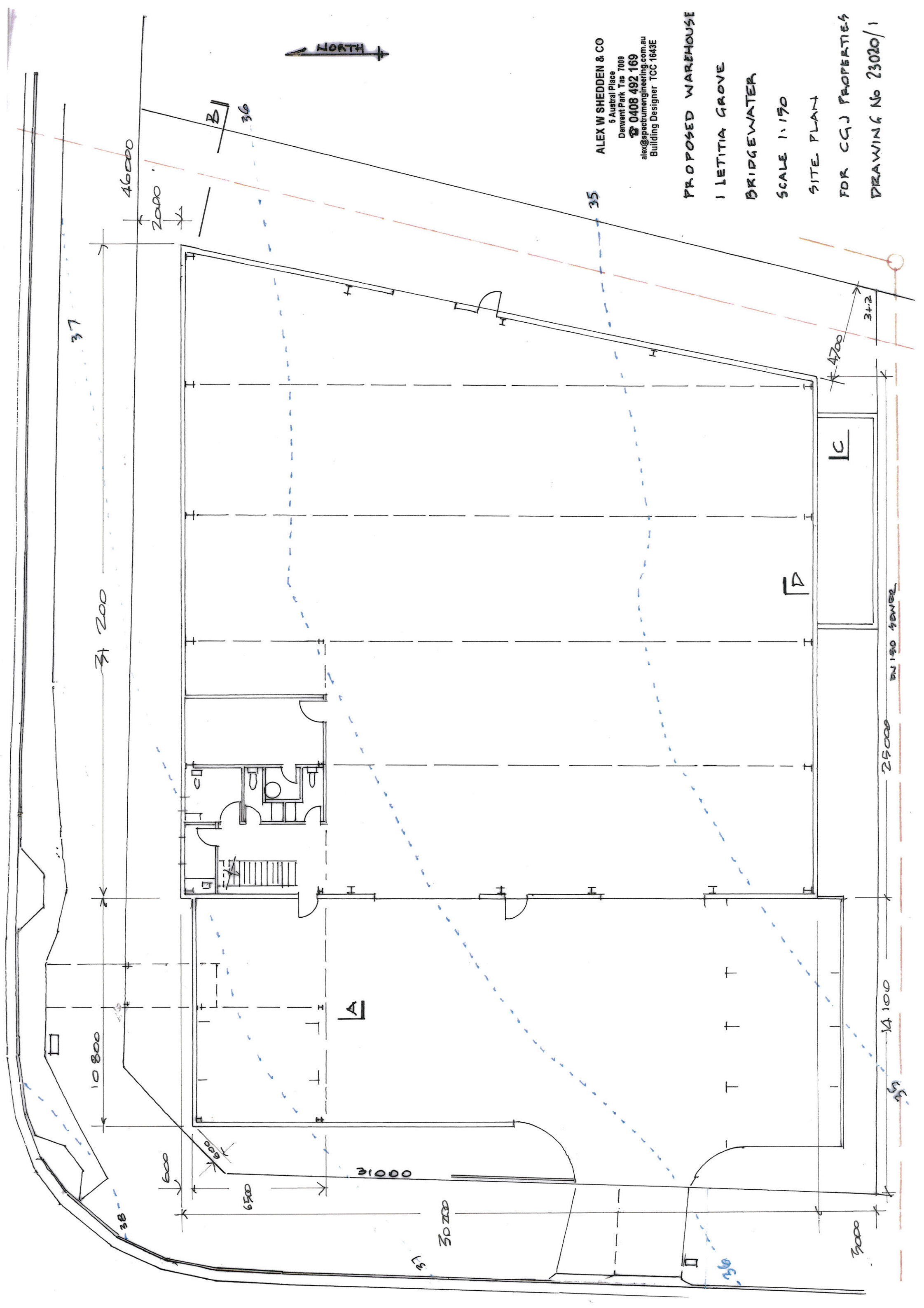
BRIDGEWATER

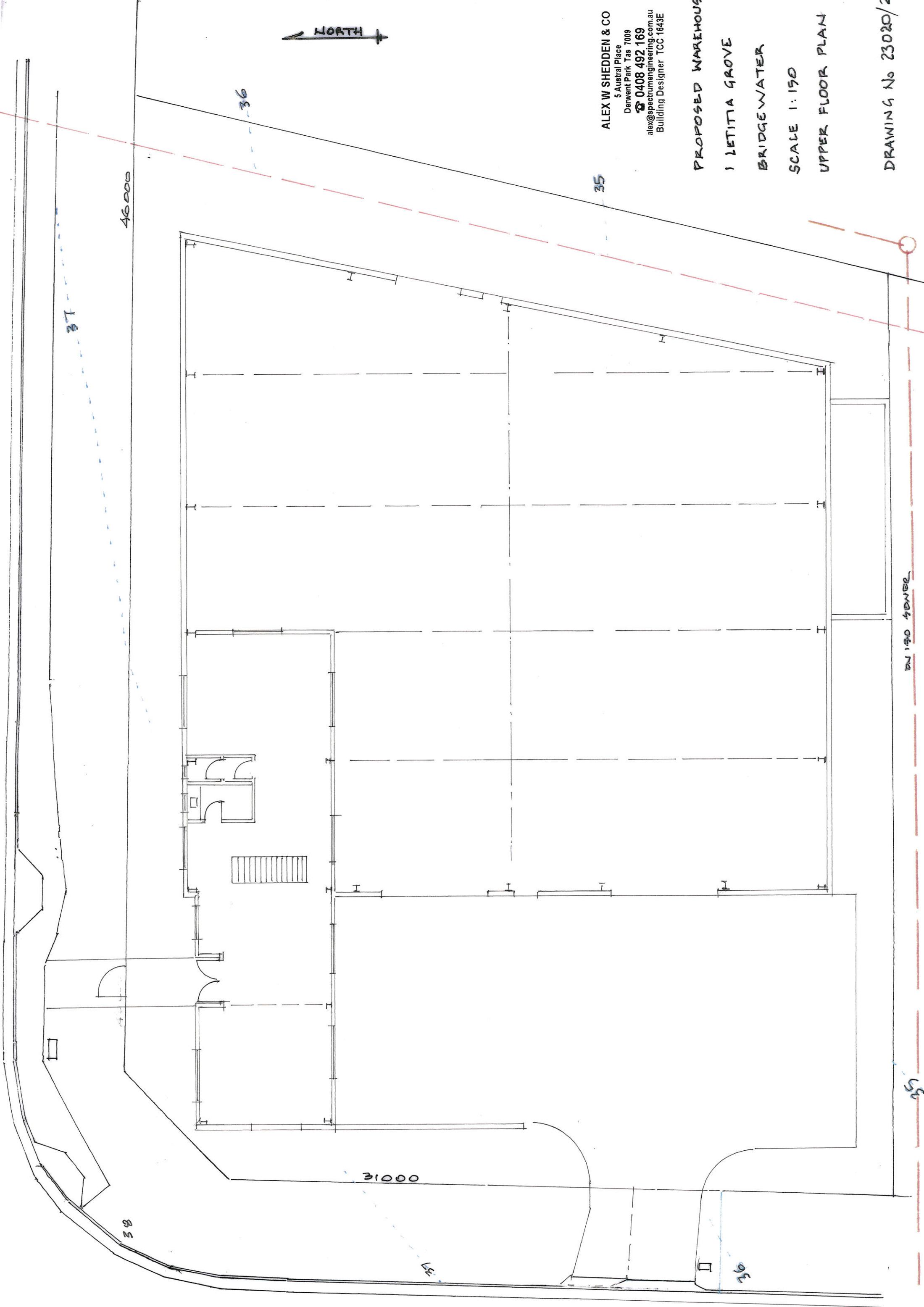
SCALE 1:150

SITE PLAN

FOR CQJ PROPERTIES

DRAWING No 23020/1





NORTH

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PROPOSED WAREHOUSE

1 LETITIA GROVE

BRIDGEWATER

SCALE 1:150

UPPER FLOOR PLAN

DRAWING No 23020/2

DN 150 SOWER

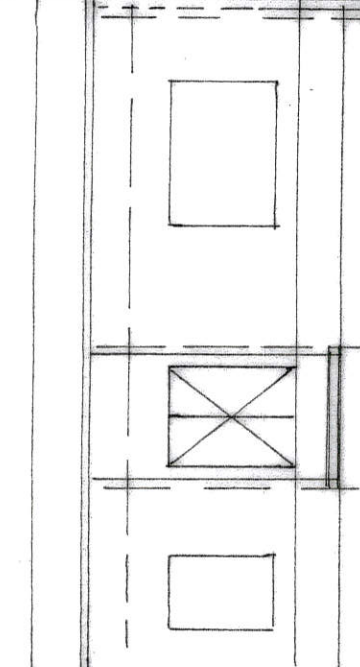
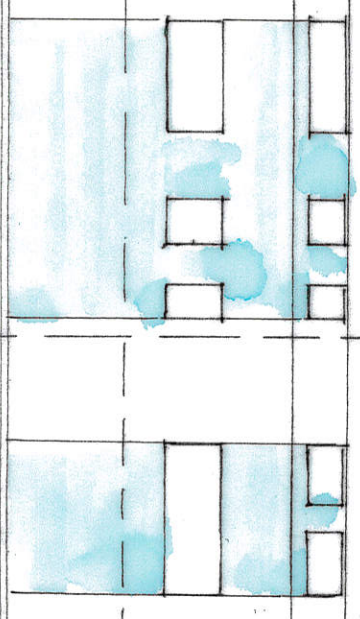
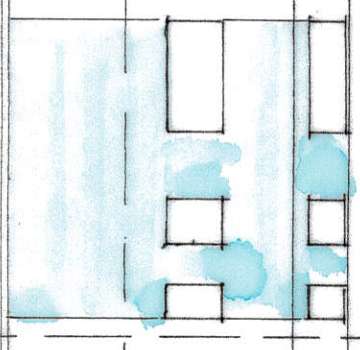


BLUEGUM  
CORROBORO  
TIMBER  
ROOF &  
WALL  
CLADDING

PROPOSED  
MONUMENT  
FEATURE  
PANEL

PROPOSED  
MONUMENT  
FEATURE  
PANEL

PROPOSED BLUEGUM AXON CLADDING



1800 BLOCK WALL

### NORTH ELEVATION

BLUEGUM AXON CLADDING  
& MONUMENT WINDOWS

BLUEGUM CORROBORO TIMBER ROOF & WALL CLADDING

2000 HIGH NATURAL GREY BLOCK BADO WALL

2000 HIGH BLACK  
SHS FENCE

### SOUTH ELEVATION

NATURAL BLOCK WALLS TO 240 FILTER

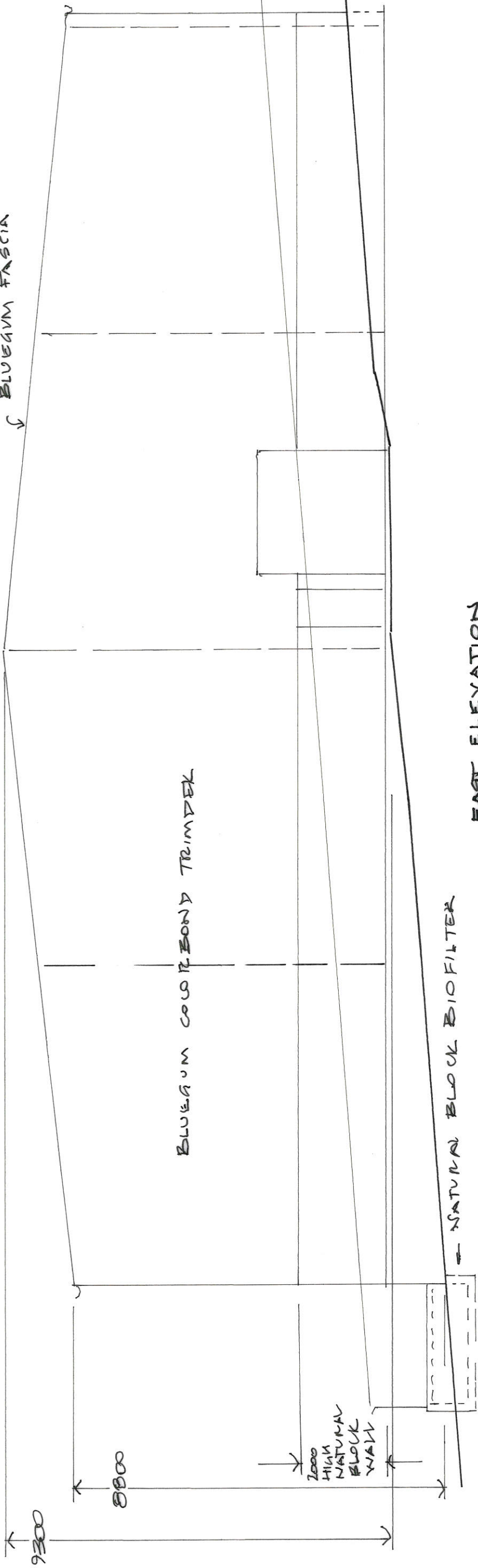
EXISTING  
2000 HIGH  
GREY SHS  
FENCE

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AMDT A 21/7/23 FEATURE PANEL  
**PROPOSED WAREHOUSE**  
1 LETITIA GROVE, BRIDGEWATER  
FOR CQJ PROPERTIES

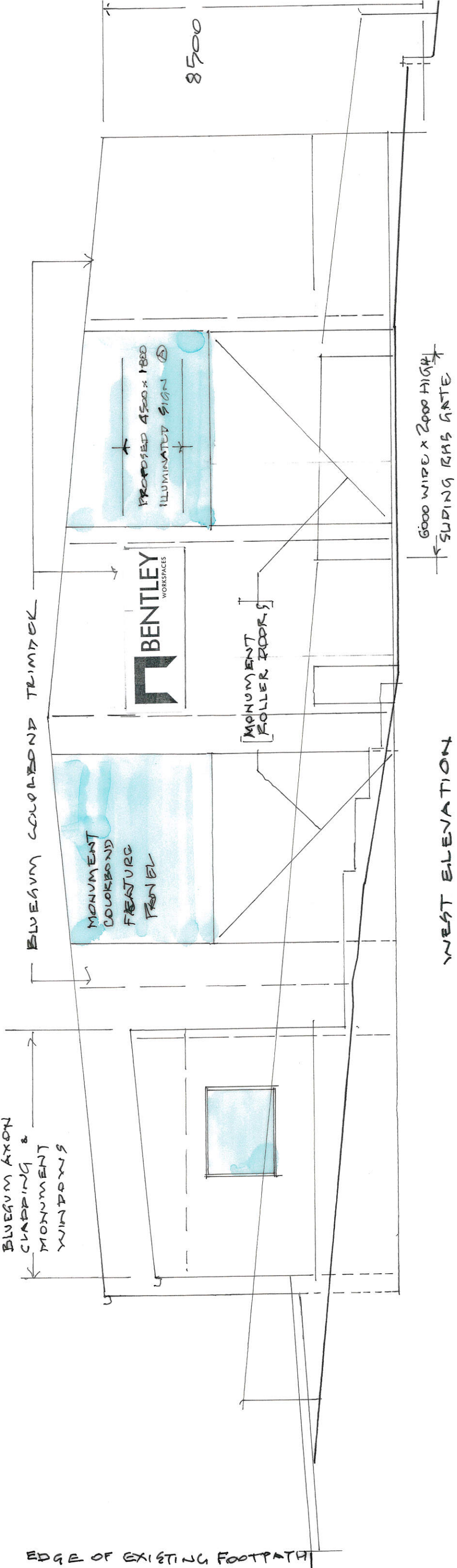


BLUEGUM FASCIA



EAST ELEVATION

BLUEGUM AXON  
CLIPPING &  
MONUMENT  
WINDOWS



WEST ELEVATION

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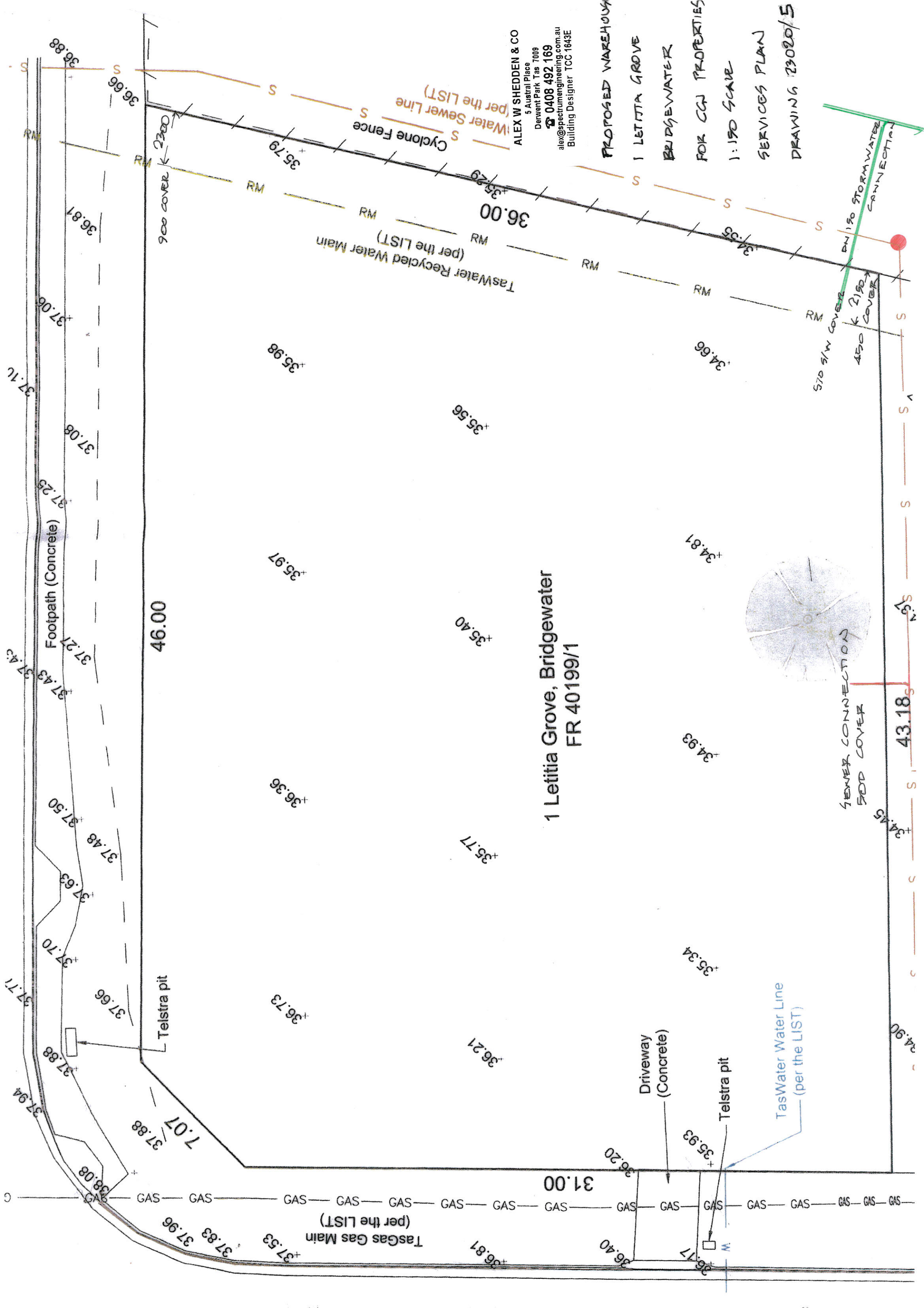
Building Designer TCC 1643E

PROPOSED WAREHOUSE FOR CGJ PROPERTIES

1 LETITIA STREET, BRIDGEWATER

ANSET A 21/7/23 SIGN

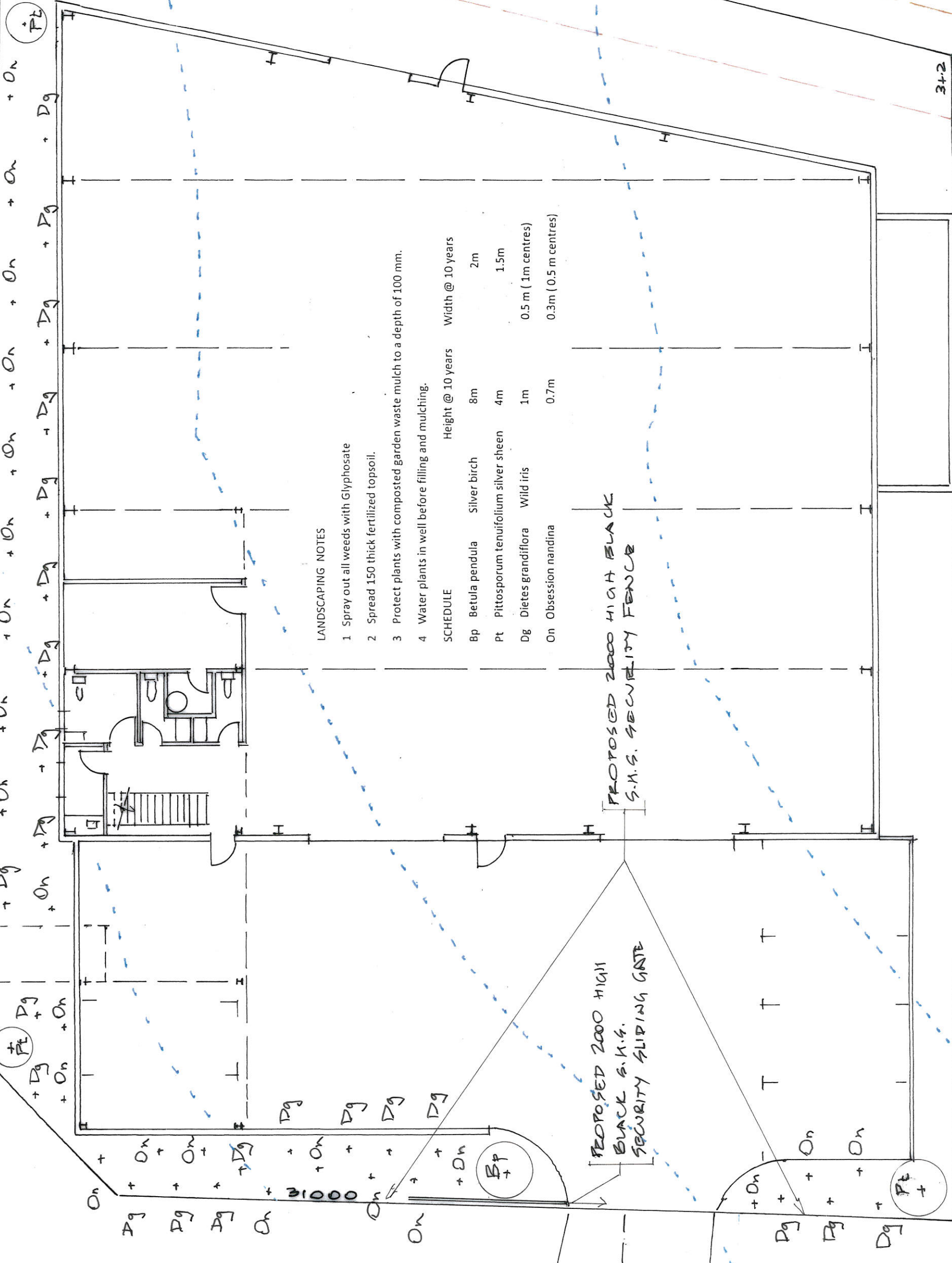
1:100 EAST & WEST ELEVATIONS DRAWING 23020/A





← 2000 WIDE 1/14 CONCRETE RAMP UP TO UPPER LEVEL

← PROPOSED 2000 HIGH BLACK SHS SECURITY FENCE



LANDSCAPING NOTES

- 1 Spray out all weeds with Glyphosate
- 2 Spread 150 thick fertilized topsoil.
- 3 Protect plants with composted garden waste mulch to a depth of 100 mm.
- 4 Water plants in well before filling and mulching.

SCHEDULE	Height @ 10 years	Width @ 10 years
Bp Betula pendula	8m	2m
Pt Pittosporum tenuifolium silver sheen	4m	1.5m
Dg Dietes grandiflora	1m	0.5 m (1m centres)
On Obsession nandina	0.7m	0.3m (0.5 m centres)

PROPOSED 2000 HIGH BLACK S.H.S. SECURITY SLIDING GATE

PROPOSED 2000 HIGH BLACK S.H.S. SECURITY FENCE



EXISTING 2000 HIGH GREY SHS FENCE TO SCHOOL

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PROPOSED WAREHOUSE  
1 LETITIA GROVE  
BRIDGEWATER  
SCALE 1:150  
LANDSCAPING PLAN  
FOR CQJ PROPERTIES  
DRAWING No 23020/6

PROPOSED 2000 HIGH BLACK SHS SECURITY FENCE





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# PROPOSED WAREHOUSE

1 LETITIA GROVE

BRIDGEWATER

SCALE 1:150

PAVING PLAN

FOR CQJ PROPERTIES

DRAWING No 23020/7

## PAVING NOTES

1. Remove 200 mm of existing vegetated topsoil.
2. Place 40 mm crushed rock with vibrating roller in 100 mm thick layers.
3. Blind with 50 mm thick fine crushed rock.
4. Lay SL 82 reinforcing fabric on 75 mm chairs @ 800 mm centres each way.
5. Fabric side lap 150mm & 250 mm end lap. 40 mm fabric top cover.
6. Epoxy embed 600 mm long N 12 bars 100 mm into warehouse slab @ 600 mm centres. Tie to SL 82 fabric.
7. Place 130 mm thick N 32 / 70 mm slump concrete & moist cure for 7 days.
8. Form 32 mm deep x 3 mm wide "Soff-cut" joints @ 8 hours @ 6 000 mm centres each way.

35.8 SLAB LEVEL

BIOFILTER

DN 150 SOWER

3+2

3+2

38

37

36

35

35.75

35.75

35.70

35.72

+ 35.62

35.8

+ 35.5

35.40

35.2

35.4

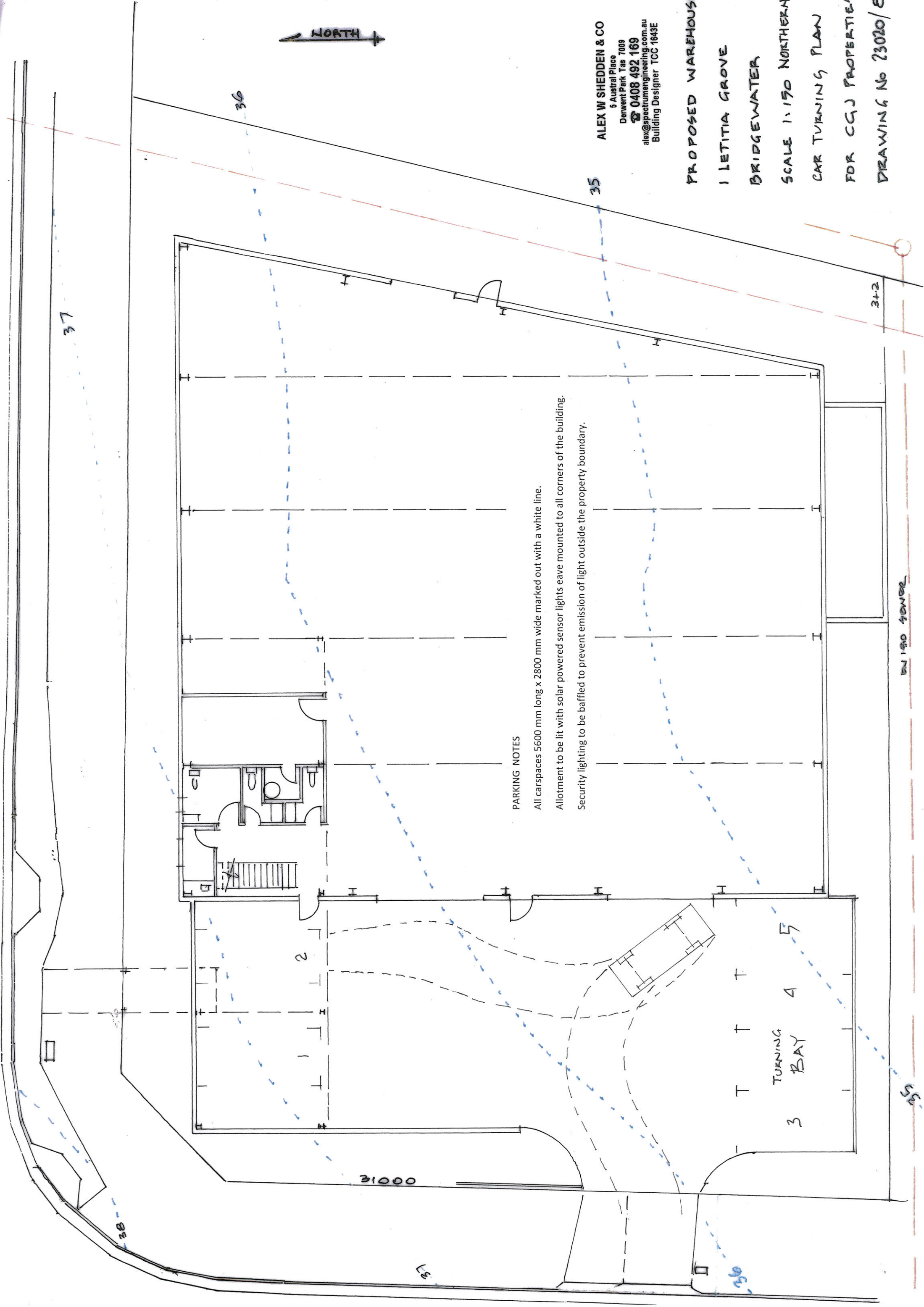
35.4

00012

36.70

36.00





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PROPOSED WAREHOUSE  
1 LETITIA GROVE  
BRIDGEWATER  
SCALE 1:150 NORTHERN  
CAR TURNING PLAN  
FOR CQJ PROPERTIES  
DRAWING No 23020/B

PARKING NOTES

All carspaces 5600 mm long x 2800 mm wide marked out with a white line.  
Allotment to be lit with solar powered sensor lights eave mounted to all corners of the building.  
Security lighting to be baffled to prevent emission of light outside the property boundary.

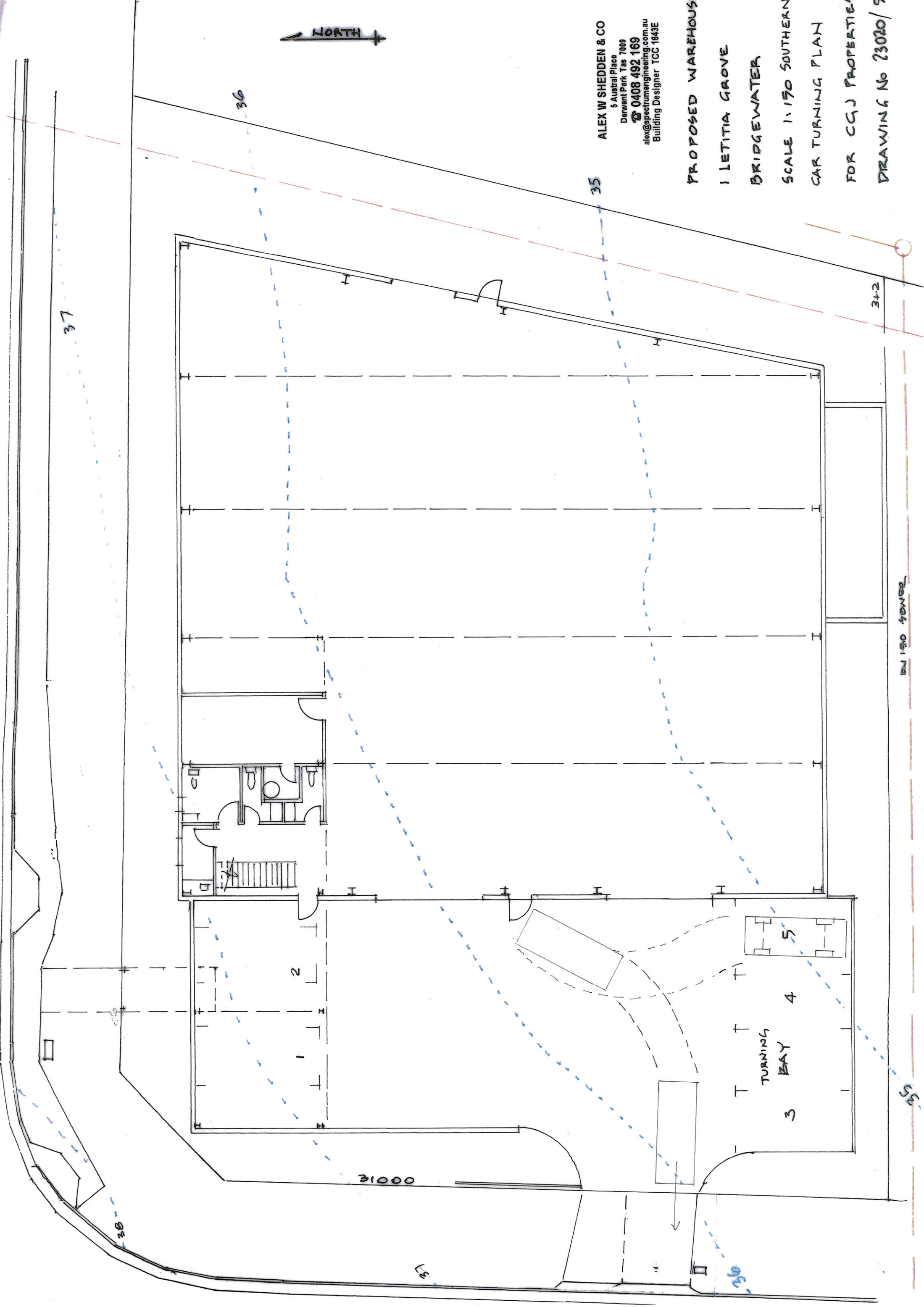
TURNING BAY  
3 4 5

BN 150 POWER

NORTH

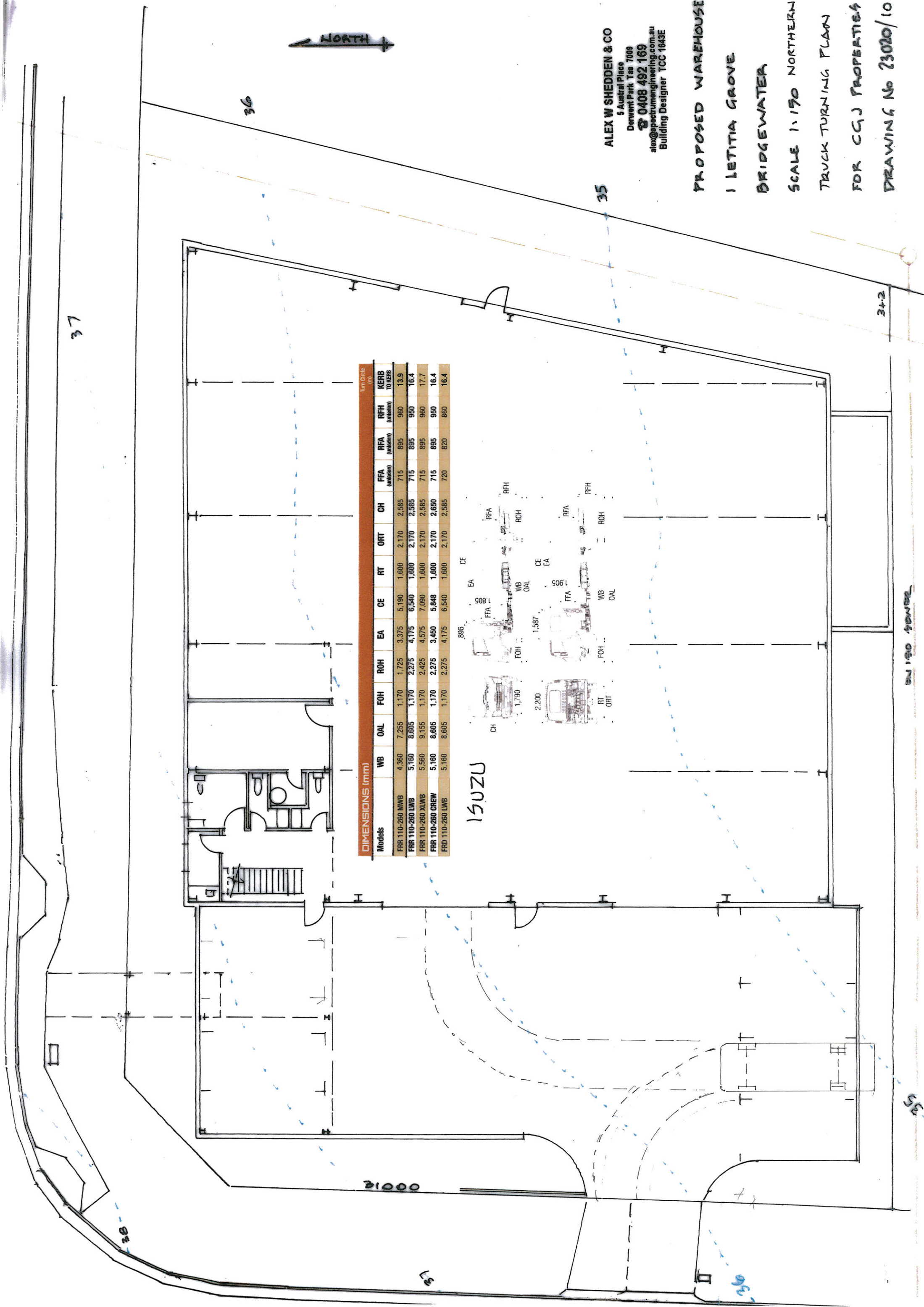
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Building Designer TCC 1643E

PROPOSED WAREHOUSE  
1 LETITIA GROVE  
BRIDGEWATER  
SCALE 1:150 SOUTHEAN  
CAR TURNING PLAN  
FOR CQJ PROPERTIES  
DRAWING No 23020/9



1:150 SOUTHERN





NORTH

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PROPOSED WAREHOUSE  
1 LETITIA GROVE  
BRIDGEWATER  
SCALE 1:150 NORTHERN  
TRUCK TURNING PLAN  
FOR CQJ PROPERTIES  
DRAWING No 23020/10

DIMENSIONS (mm)													Turn Circle (m)
Models	WB	OAL	FOH	ROH	EA	CE	RT	ORT	CH	FFA (unladen)	RFA (unladen)	RFH (unladen)	KERB TO KERB
FRR 110-260 MWB	4,360	7,255	1,170	1,725	3,375	5,190	1,600	2,170	2,585	715	895	960	13.9
FRR 110-260 LWB	5,160	8,605	1,170	2,275	4,175	6,540	1,600	2,170	2,585	715	895	950	16.4
FRR 110-260 XLWB	5,560	9,155	1,170	2,425	4,575	7,090	1,600	2,170	2,585	715	895	960	17.7
FRR 110-260 CREW	5,160	8,605	1,170	2,275	3,450	5,848	1,600	2,170	2,650	715	895	950	16.4
FRD 110-260 LWB	5,160	8,605	1,170	2,275	4,175	6,540	1,600	2,170	2,585	720	820	860	16.4

ISUZU

1:150 POWER



NORTH

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PROPOSED WAREHOUSE  
1 LETITIA GROVE  
BRIDGEWATER  
SCALE 1:150 SOUTHERN  
TRUCK TURNING PLAN  
FOR CGJ PROPERTIES  
DRAWING No 23020/11

DIMENSIONS (mm)													Turn Circle (m)
Models	WB	OAL	FOH	ROH	EA	CE	RT	ORT	CH	FFA (unladen)	RFA (unladen)	RFH (unladen)	KERB TO KERB
FRR 110-260 MWB	4,360	7,255	1,170	1,725	3,375	5,190	1,600	2,170	2,585	715	895	960	13.9
FRR 110-260 LWB	5,160	8,605	1,170	2,275	4,175	6,540	1,600	2,170	2,585	715	895	950	16.4
FRR 110-260 XLWB	5,560	9,155	1,170	2,425	4,575	7,090	1,600	2,170	2,585	715	895	960	17.7
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FRD 110-260 LWB	5,160	8,605	1,170	2,275	4,175	6,540	1,600	2,170	2,585	720	820	860	16.4

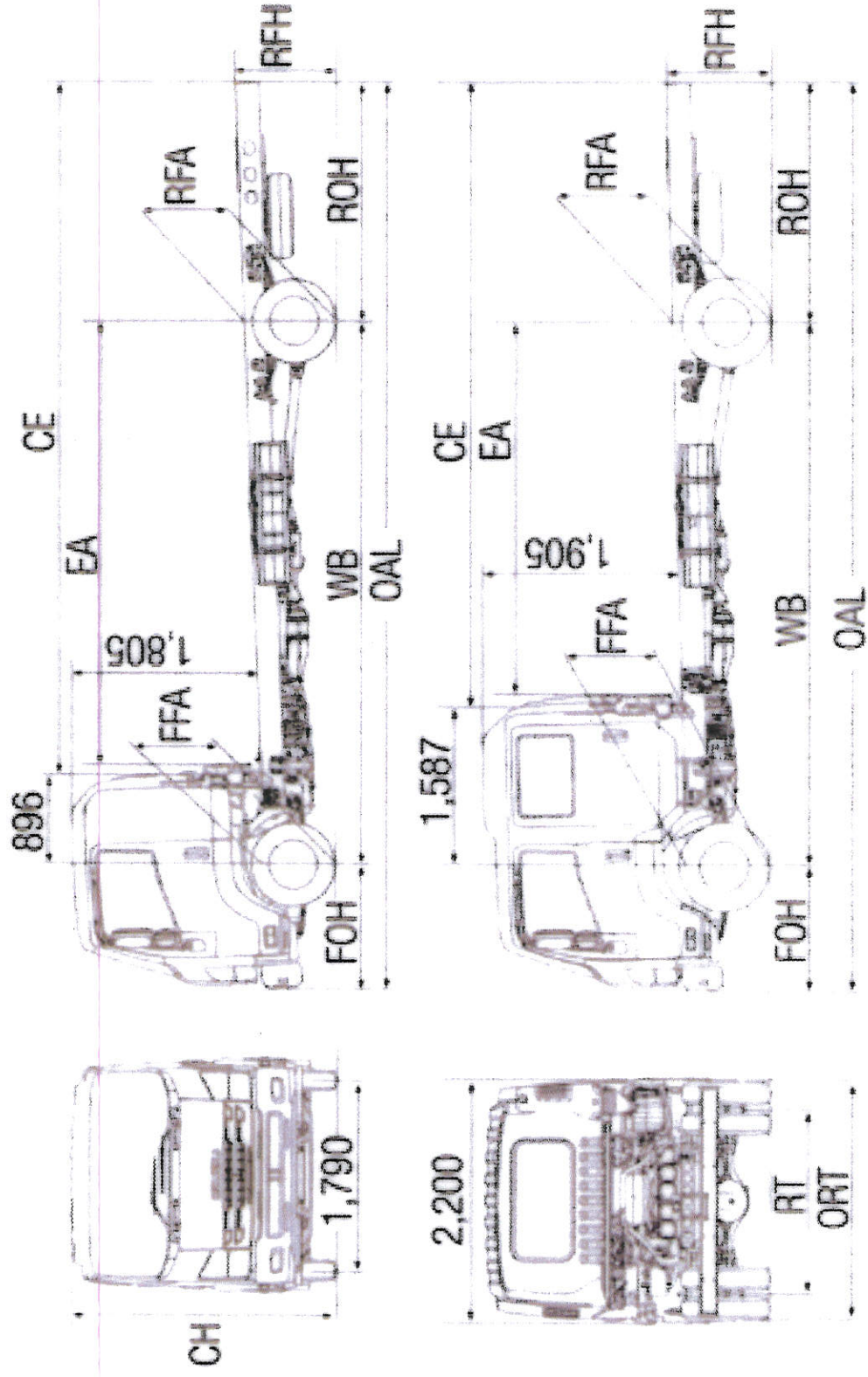
ISUZU



1:150 SOUTHERN



DIMENSIONS (mm)													Turn Circle (m)
Models	WB	OAL	FOH	ROH	EA	CE	RT	ORT	CH	FFA (unladen)	RFA (unladen)	RFH (unladen)	KERB TO KERB
FRR 110-260 MWB	4,360	7,255	1,170	1,725	3,375	5,190	1,600	2,170	2,585	715	895	960	13.9
FRR 110-260 LWB	5,160	8,605	1,170	2,275	4,175	6,540	1,600	2,170	2,585	715	895	950	16.4
FRR 110-260 XLWB	5,560	9,155	1,170	2,425	4,575	7,090	1,600	2,170	2,585	715	895	960	17.7
FRR 110-260 CREW	5,160	8,605	1,170	2,275	3,450	5,848	1,600	2,170	2,650	715	895	950	16.4
FRD 110-260 LWB	5,160	8,605	1,170	2,275	4,175	6,540	1,600	2,170	2,585	720	820	860	16.4



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PROPOSED WAREHOUSE  
 1 LETITIA GROVE, BRIDGEWATER  
 FOR C.G.J. PROPERTIES  
 DRAWING No 23020/12

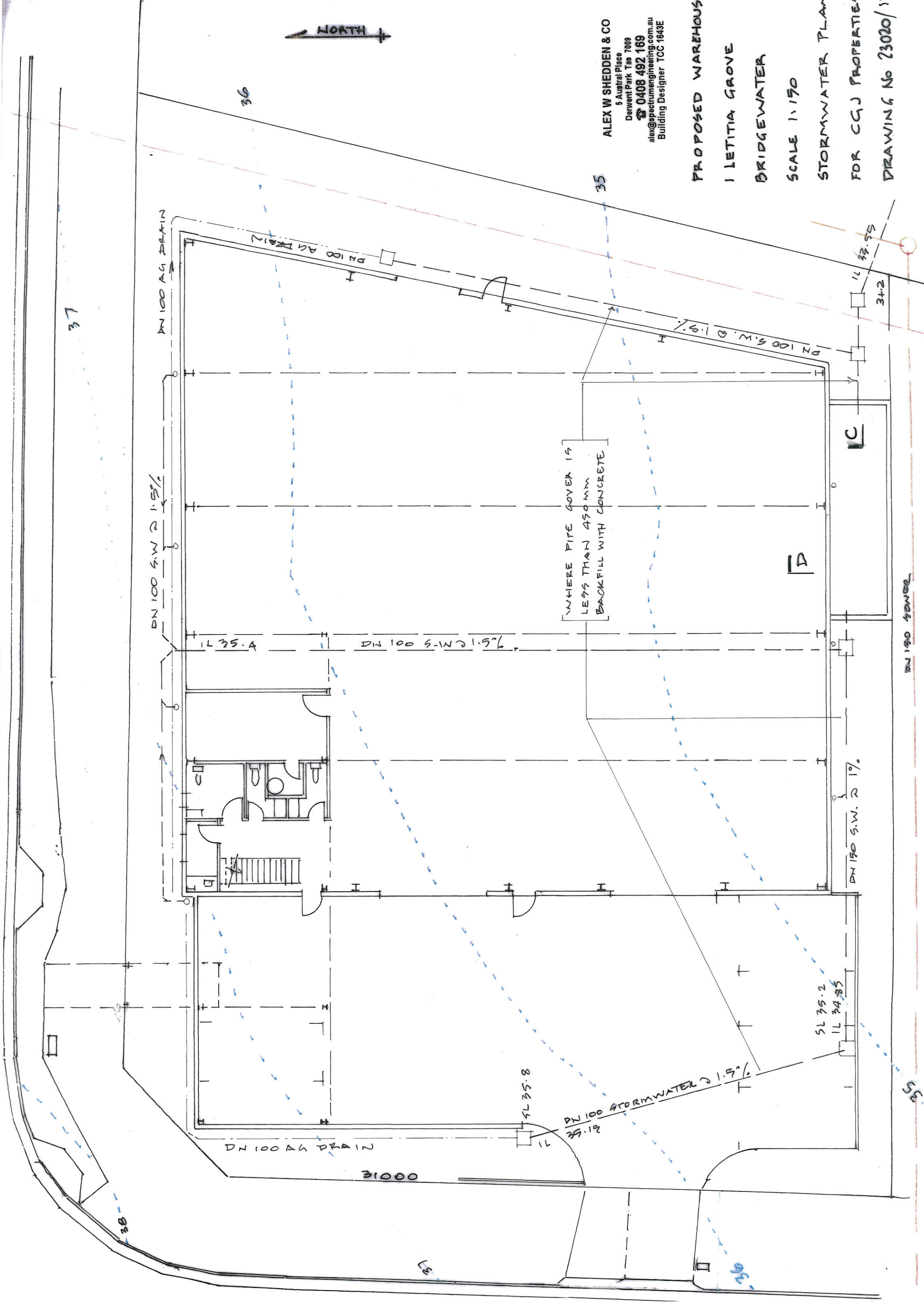
1902U FRR 110-260 MWB DATA





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PROPOSED WAREHOUSE  
1 LETITIA GROVE  
BRIDGEWATER  
SCALE 1:150  
STORMWATER PLAN  
FOR CQJ PROPERTIES  
DRAWING No 23020/13









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# PROPOSED WAREHOUSE

1 LETITIA GROVE

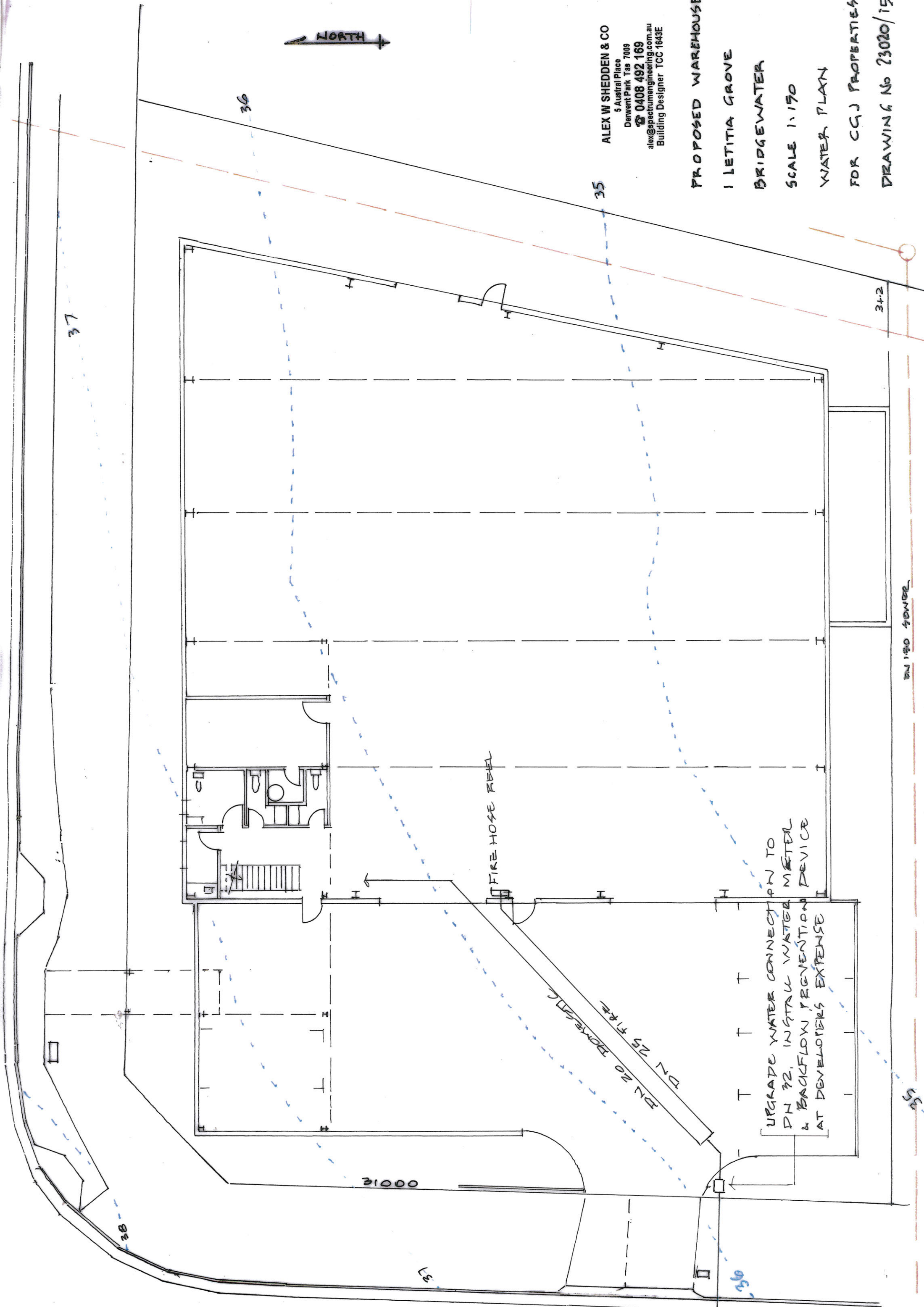
BRIDGEWATER

SCALE 1:150

WATER PLAN

FOR CQJ PROPERTIES

DRAWING No 23020/15



DN 150 POWER

UPGRADE WATER CONNECTION TO  
DN 32, INSTAL WATER METER  
& BACKFLOW PREVENTION DEVICE  
AT DEVELOPERS EXPENSE

FIRE HOSE REEL



LINE OF WAREHOUSE BEYOND

43.3

2000 HIGH BLACK SHS FENCE & GATE TO  
1 IN 14 CONCRETE RAMP

EXISTING  
FOOTPATH

2700  
CEILING  
HEIGHT

38.5

35.8

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Building Designer TCC 1643E

PROPOSED WAREHOUSE

1 LETITIA GROVE, BRIDGEWATER

FOR CQJ PROPERTIES

1:40 SECTION A

DRAWING No 23020/16

EXISTING 2000 HIGH  
BOUNDARY SECURITY FENCE

EXISTING DN 200 TAG WATER  
RE USE MAIN

2000 HIGH 20.48 REINFORCED BLOCK WALL

45.8

7

45°

PROPOSED WAREHOUSE

1) LETITIA GROVE, BRIDGEWATER  
FOR CGJ PROPERTIES

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1:20 SECTION B DRAWING No 23020/17



CONCRETE CLADDING

← 2000 HIGH BLOCK WALL

35.8 SLAB LEVEL

PROPOSED 450 SQ STORMWATER PIT

200 DA TAP WATER REUSE MAIN

OUTLINE OF FOOTING BEYOND

▽34.9

BIO FILTER

DN 150 STORMWATER

50 MINIMUM GAP

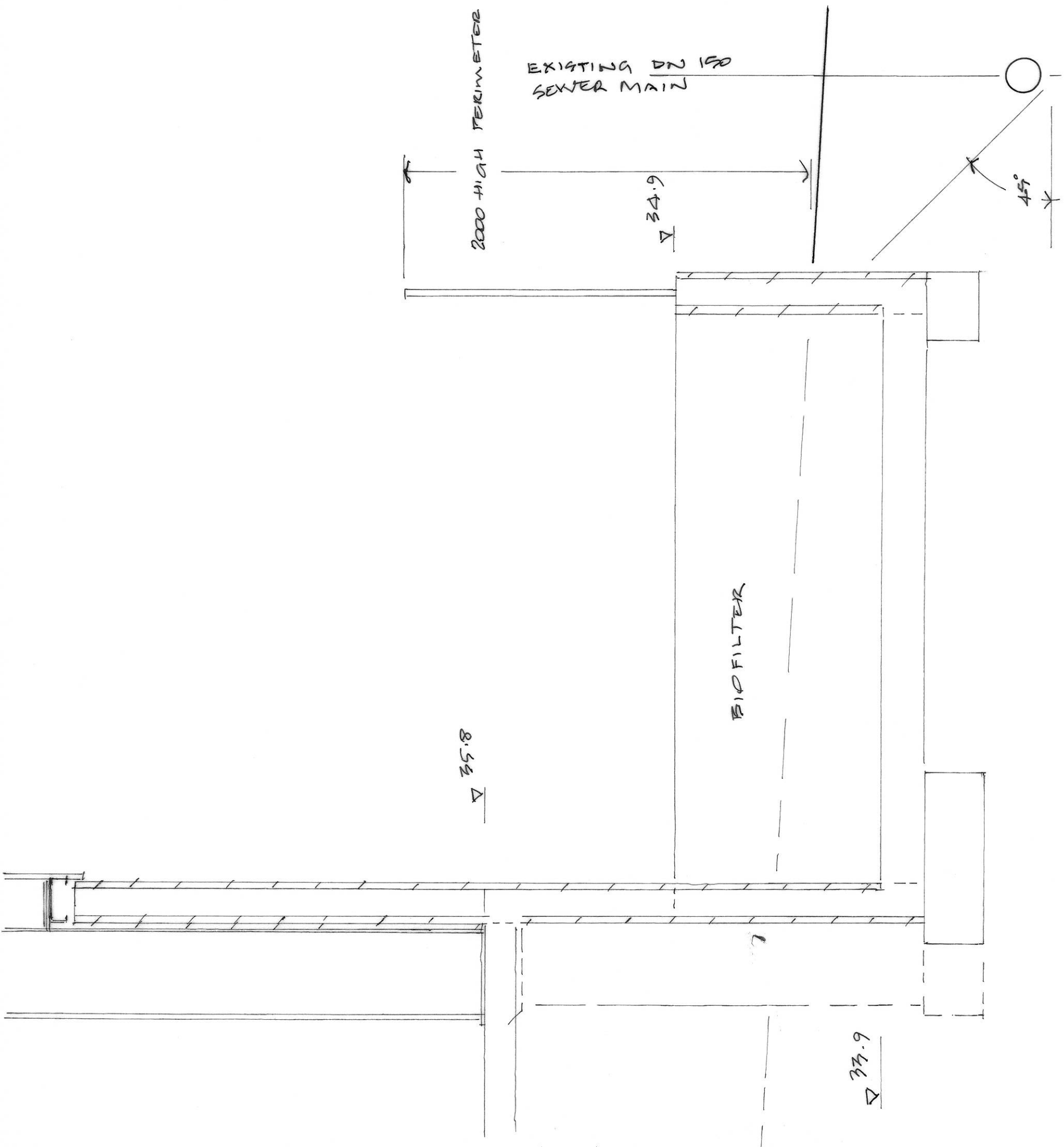
450 MINIMUM COVER

EXISTING STORMWATER

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PROPOSED WAREHOUSE  
1 LETITIA GROVE, BRIDGEWATER  
FOR CGJ PROPERTIES  
DRAWING No 23020/18

1:20 SECTION C



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PROPOSED WAKEHOUSE  
1 LETITIA GROVE, BRIDGEWATER  
FOR C.G.J. PROPERTIES  
1:20 SECTION D  
DRAWING No 23020/19

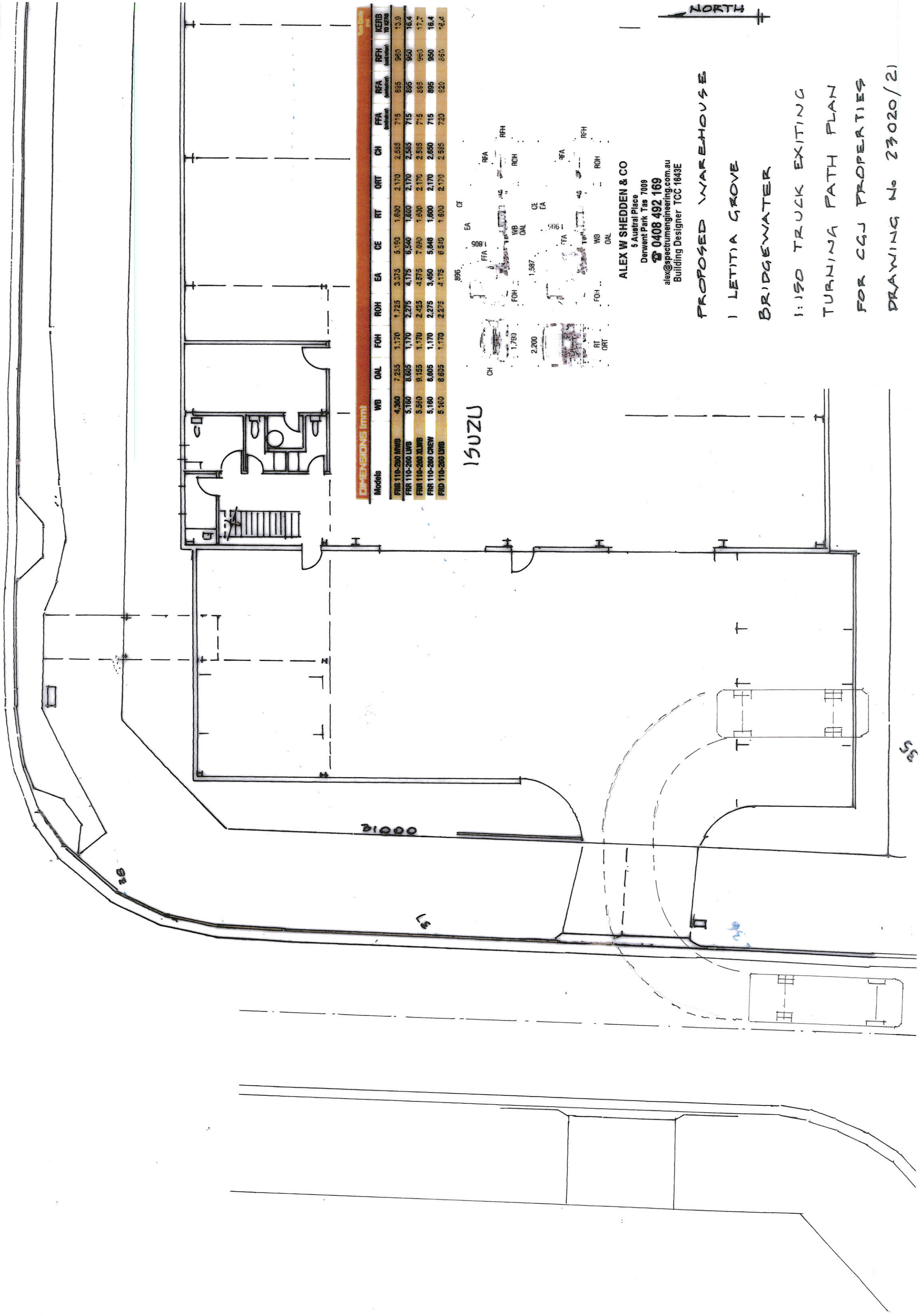


[illegible]

PROPOSED WAREHOUSE  
1 LETITIA GROVE  
BRIDGEWATER  
1:150 TRUCK ENTERING  
TURNING PATH PLAN  
FOR CGJ PROPERTIES  
DRAWING No 23020/20



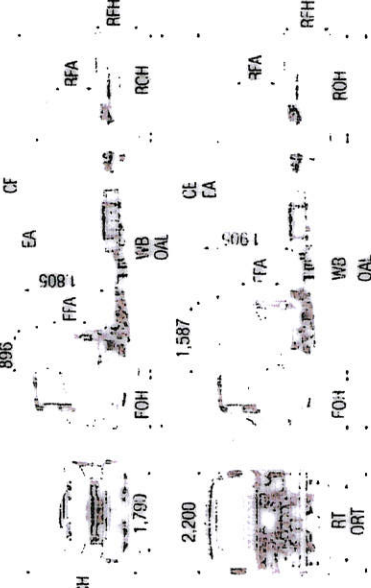




**DIMENSIONS (mm)**

Models	WB	OAL	FOH	ROH	EA	CE	RT	ORT	CH	FFA	RFA	RFH	KERB TO KERB
FRR 110-280 MWB	4,360	7,255	1,170	1,725	3,375	5,190	1,600	2,170	2,585	715	895	950	13.9
FRR 110-280 LWB	5,160	8,605	1,170	2,275	4,175	6,540	1,600	2,170	2,585	715	895	950	16.4
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FRD 110-280 LWB	5,160	8,605	1,170	2,275	4,175	6,540	1,600	2,170	2,585	720	820	850	16.4

ISUZU

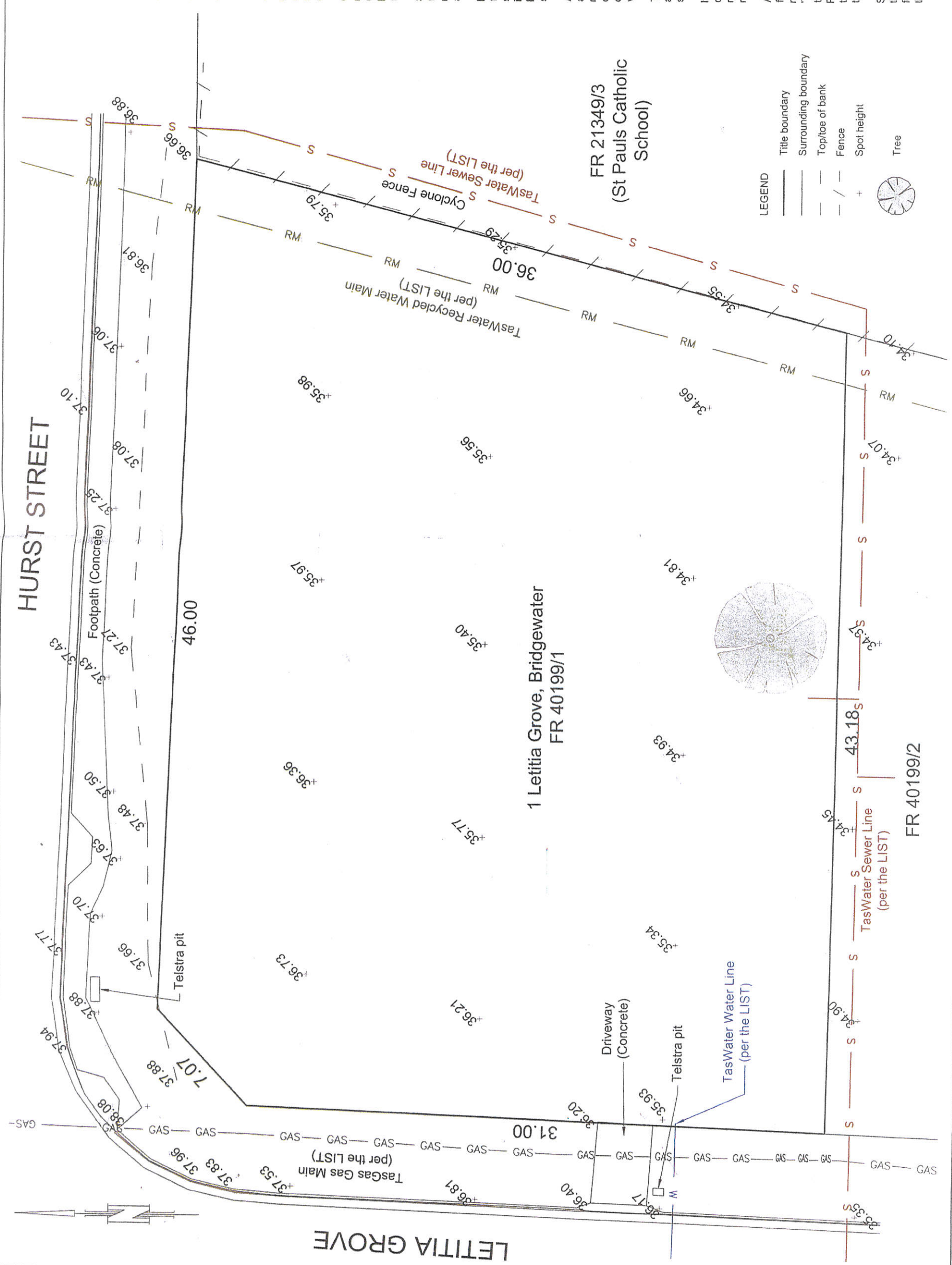
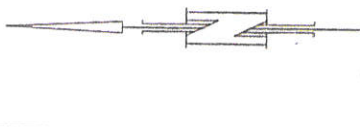


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PROPOSED WAREHOUSE  
1 LETITIA GROVE  
BRIDGEWATER  
1:150 TRUCK EXITING  
TURNING PATH PLAN  
FOR CGJ PROPERTIES  
DRAWING No 23020/21

NORTH





HURST STREET

LETITIA GROVE

1 Letitia Grove, Bridgewater  
FR 40199/1

FR 21349/3  
(St Pauls Catholic School)

FR 40199/2

LEGEND

- Title boundary
- Surrounding boundary
- Top/foe of bank
- Fence
- Spot height
- Tree

NOTES

Date of Survey: 8 October 2003

Bearing datum is GDA2020.

Horizontal datum is plane with MGA2020 coordinate adopted at SPM8659, with coordinates of E 520006.376 N 5268492.739 per the LIST.

Vertical datum is AHD per SPM8659 with reputed RL 42.882m.

Contour Interval:  
Major: 1.000m  
Minor: 0.200m

While reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during survey.

Only those features/points specifically requested by Tim Young of Godfrey Rd, Claremont have been located and subsequently shown on this plan.

Some services have been plotted from council and the LIST GIS records, and as such are approximate only.

Prior to any demolition, excavation, final design or construction on this site, a comprehensive site investigation should be undertaken to locate all above and below ground service infrastructure.

All coordinates within this file, although stated to the nearest 0.001 metre, are approximate only and are only within 0.025m of the stated coordinate (horizontally and vertically).

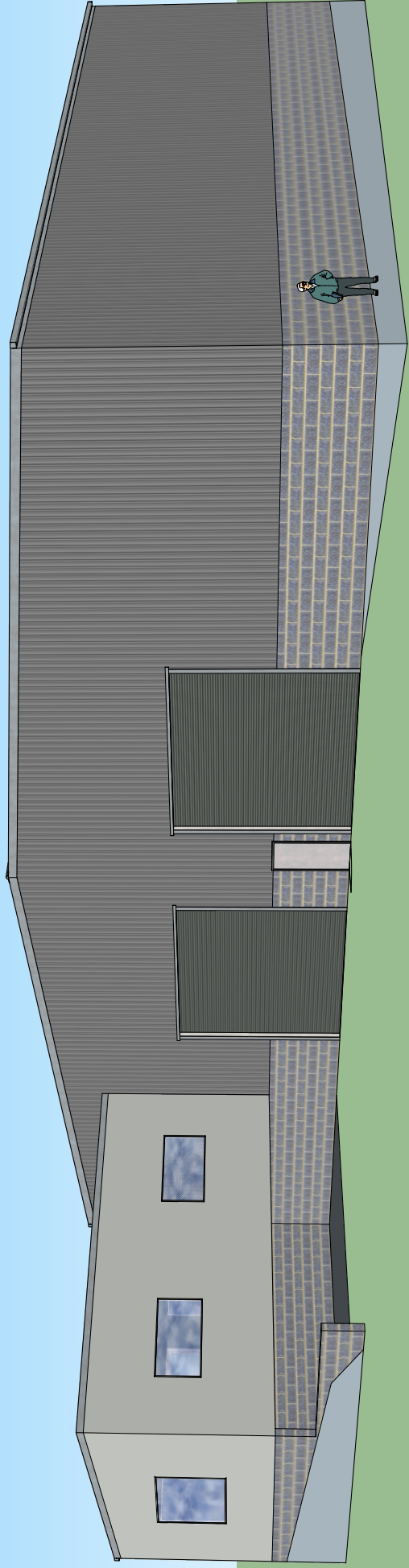
The boundaries shown on this plan are compiled from SP40199 and, as such, are approximate only.

If any works are to be conducted on or near the boundary a re-establishment survey will be required.

Any DTM modeling that is to be done from the accompanying 3D digital file must be done using only the layer 'TRIANGLE\_1 SURFACE' to ensure that surface matches that verified by PDA Surveyors. No responsibility is taken for the use or interpretation of this data in any other format.

Some feature levels are not shown on this plan for clarity. These can be found turned on in model space or on the OFF Levels layer.

NO.	REV.	DATE	BY	CHECKED	DATE	SCALE	DETAIL SURVEY PLAN		Eamon Quaggin		SCALE	PAGE
							1 LETITIA GROVE, BRIDGEWATER, 7030 for Timothy Young		B.SurvSpSc (Tas) New Norfolk, Tasmania			
							JT	JT001	E: eamonquaggin@gmail.com M: 0488 137 086		1:200	(A3)
							EQ	JT/EQ			ASB UNSECT	PLANNING
							25/03/2021				JT001 - 1	

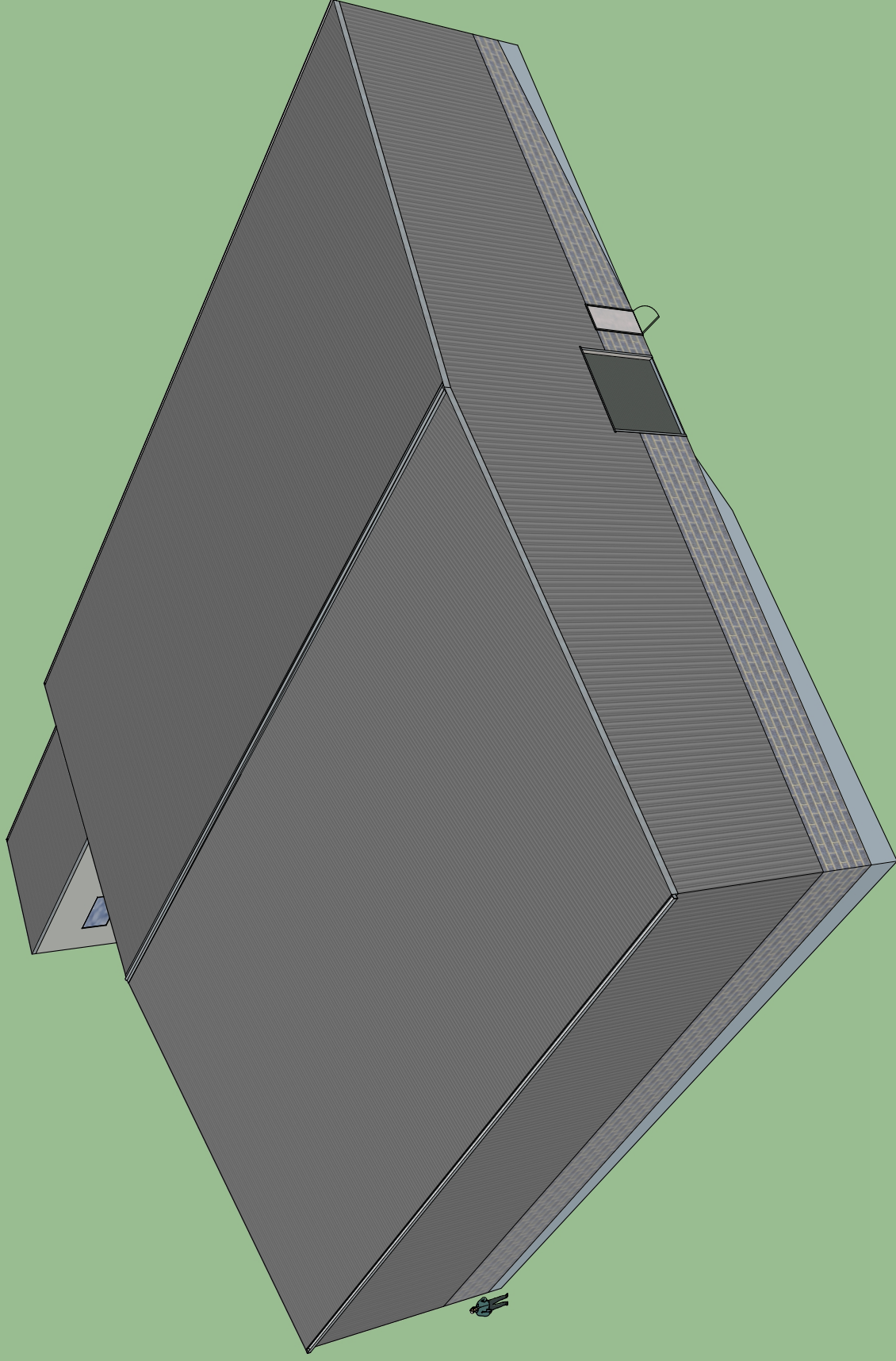


30m W x 24.4m L x 7.5m H - Industrial Warehouse



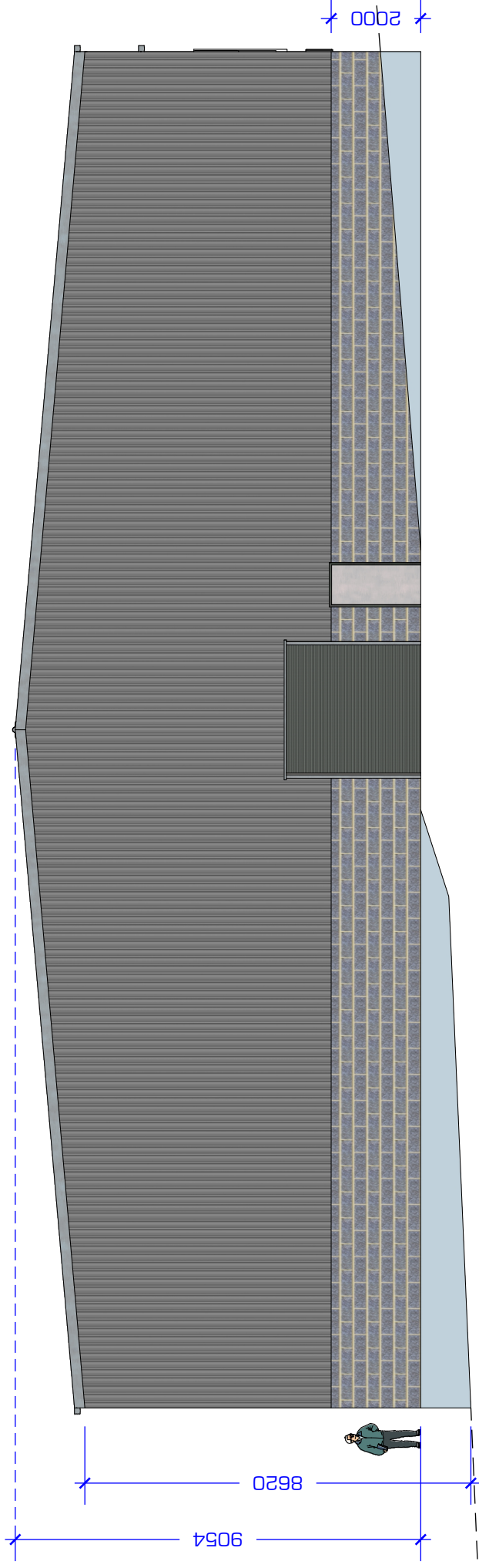


30m W x 24.4m L x 7.5m H - Industrial Warehouse



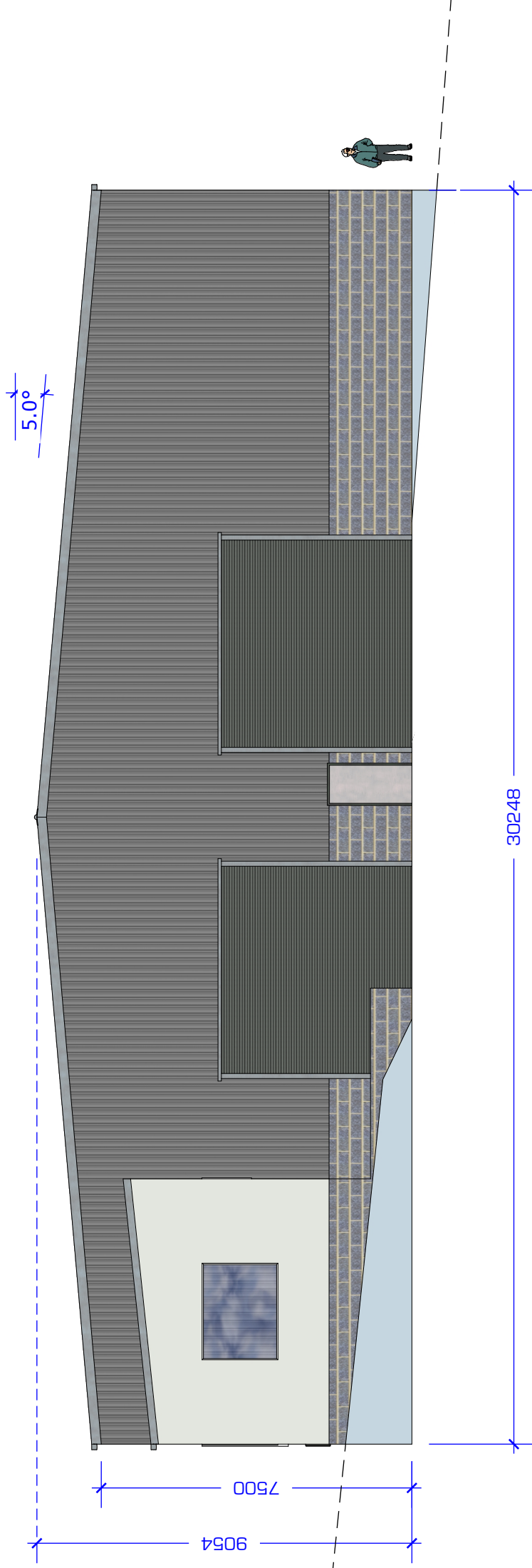
30m W x 24.4m L x 7.5m H - Industrial Warehouse





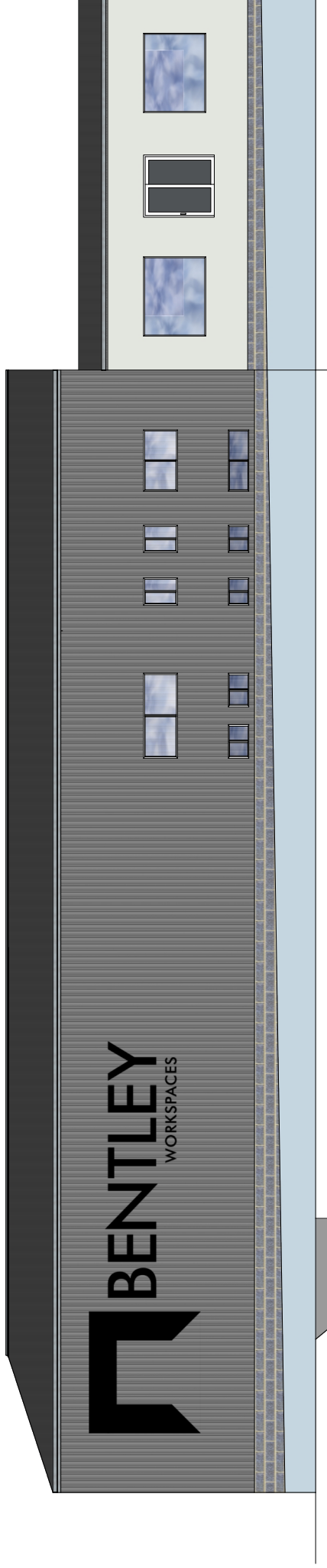
## EASTERN ELEVATION

30m W x 24.4m L x 7.5m H - Industrial Warehouse

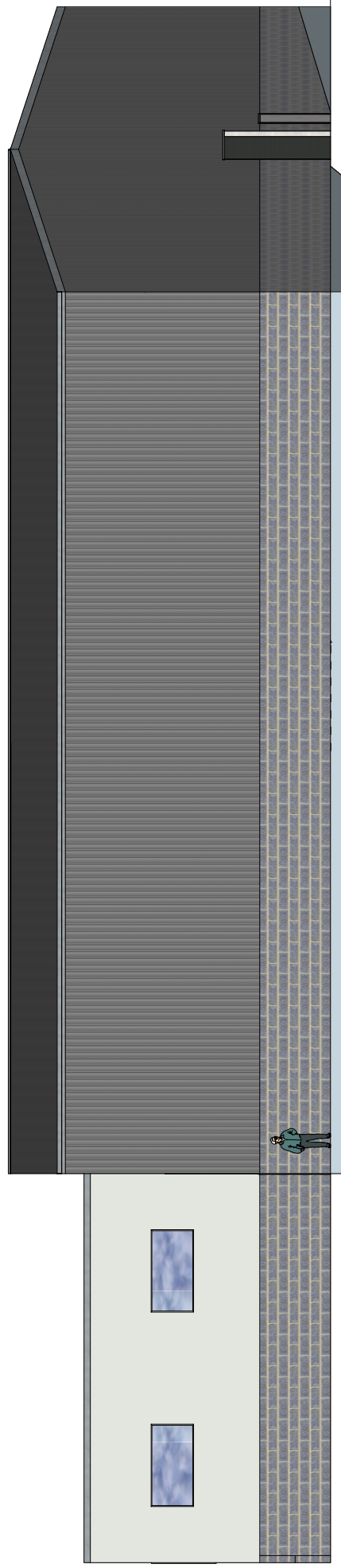


30m W x 24.4m L x 7.5m H - Industrial Warehouse





**NORTHERN ELEVATION**



**SOUTHERN ELEVATION**

**30m W x 24.4m L x 7.5m H - Industrial Warehouse**

In reference to the Council's letter of the 28<sup>th</sup> July 2023 the following provides a written statement to address the clauses referred to in that letter:

The relevant standards for the proposed use in the General Business Zone in the Scheme are:

#### 15.3.2 Discretionary uses

Objective:	That uses listed as Discretionary do not compromise or distort the activity centre hierarchy.	
Acceptable Solutions		Performance Criteria
<b>A1</b> No Acceptable Solution.		<b>P1</b> A use listed as Discretionary must: <ul style="list-style-type: none"> <li>(a) not cause an unreasonable loss of amenity to properties in adjoining residential zones; and</li> <li>(b) be of an intensity that respects the character of the area.</li> </ul>
<b>A2</b> No Acceptable Solution.		<b>P2</b> A use listed as Discretionary must not compromise or distort the activity centre hierarchy, having regard to: <ul style="list-style-type: none"> <li>(a) the characteristics of the site;</li> <li>(b) the need to encourage activity at pedestrian levels;</li> <li>(c) the size and scale of the proposed use;</li> <li>(d) the functions of the activity centre and the surrounding activity centres; and</li> <li>(e) the extent that the proposed use impacts on other activity centres.</li> </ul>

Clause 15.3.2 A1 and A2 are not applicable as there are no acceptable solutions.

In respect to the performance criteria the following is provided

P1 (a) – The subject site is adequately **separated** from the nearest residential properties to ensure that there is “no unreasonable loss of amenity”. Regardless the use proposed for the site in itself unlikely to result in unreasonable loss of amenity. Clause P1 (a) is met.

P1 (b) – The character of the area has evolved from the mixture of uses and is not homogenous. Given the variety and nature of use and development in the area the intensity of the proposal does not disrespect the existing character. Clause P1 (b) is met.

P2 – The activity centre hierarchy is difficult to determine given the eclectic mixture of uses. It could be identified as having the higher activity shopping centre at Cove Hill at the apex of



the hierarchy then the smaller commercial uses and professional services to the less intense Church, Temple and Pet Crematorium.

P2 (a) The character of the site is currently vacant land. The development for a commercial use will contribute to the hierarchy rather than distort or compromise. Clause P2(a) is met.

P2 (b)- The activity centre as it has developed will not be enhanced by encouraging activity at pedestrian level. The centre is dominated by the Cove Hill Shopping Centre that presents as an internal mall. Other existing developments and uses are dominated with large vehicular parking areas that do not encourage activity at pedestrian level. If the design of the proposed develop was to encourage activity at pedestrian level, it would not, given the way the activity centre currently functions, result in any better hierarchical structure to the activity centre than what the proposal will achieve.

P2 (c) – The size and scale are not inconsistent with other developments in the “activity centre” (i.e. the “big box” shopping centre, and other commercial developments on Cove Hill Road). Clause P2 (c) is met.

P2 (d) – The function of the activity centre nor that of the surrounding activity centre will be distorted or compromised. The development will not compete with the hierarchy structure but will complement it. Clause P2 (d) is met.

P2 (e) – The use is neither of an intensity nor nature that will impact on other activity areas. Clause P2 (e) is met.

The Zone purpose statements for the General Business Zone are:

1. *15.1.1 To provide for business, retail, administrative, professional, community, and entertainment functions within Tasmania’s main suburban and rural centres.*
2. *15.1.2 To ensure that the type and scale of use and development does not compromise or distort the activity centre hierarchy.*
3. *15.1.3 To encourage activity at pedestrian levels with active frontages and shop windows offering interest and engagement to shoppers.*
4. *15.1.4 To encourage Residential and Visitor Accommodation use if it supports the viability of the activity centre and an active street frontage is maintained.*

In respect to the zone purpose the following is provided to justify the proposed use and development.

15.1.1 - The proposed use and development is for a business. The purpose is met.

15.1.2 – As stated in reference to Clause 15.3.2 P2 (c) above the proposed use does not compromise or distort the activity centre hierarchy.

15.1.3 – The clause is otiose as is cannot be applied to a proposal within an activity area where there is little pedestrian activity, very few active frontages and shop windows. The area is dominated by vehicular movements where access to the commercial uses and

professional services is by car. To apply the clause to the proposed use and development will not result in the area developing into one where pedestrians will become “the norm”.

15.1.4 – This clause is not applicable.

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