



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2023/093

LOCATION OF AFFECTED AREA

397 BOYER ROAD, DROMEDARY

DESCRIPTION OF DEVELOPMENT PROPOSAL

SECOND RESIDENCE

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **04/07/2023**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

DAVID ALLINGHAM
ACTING General Manager



Brighton
going places

Planning Application for Proposed Ancillary Dwelling at 397 Boyer Road, Dromedary for E&G Batstone

Drawing List (11 sheets)

Sheet A1	-	Proposed Site plan
Sheet A2	-	Driveway & Parking Plan
Sheet A3	-	Concept Services Plan
Sheet A4	-	Proposed Floor Plan 1:100
Sheet A4a	-	Proposed floor plan 1:75
Sheet A5	-	Elevations
Sheets M1-M5	-	SWMP plans

R & M Jackson
Drafting Services
ABN: 96 026 686 203

Phone: 03 62 39 1019
Email: jacksondrafting@gmail.com

Accredited Building Practitioner
Licence No: CC340Y

©
All plans
copyrighted

NOTES TO PLANS

To be read in conjunction with plans and specifications

- 1- Figured dimensions to be used. Do not scale drawings
- 2- It is considered mandatory that a registered surveyor be engaged to confirm all dimensions. It is incumbent upon the builder to instigate this process. Discrepancies are to be notified to this office immediately.
- 3- All materials and work, including installation methods to be in accordance with the relevant AS code, BCA and Manufacturers recommendations. (Refer (4) below)
- 4- It is incumbent and expected that the builder and/or tradesman will be familiar with, and apply exactly, all of the relevant Manufacturers directions and instructions (including those contained within the BCA) for the various materials and systems used in this project. This office can provide this information on request.
- 5- Although every care is taken, R & M Jackson accepts no responsibility for interpretation, error or omission. It is expected that all building work will be carried out in a professional manner in accordance with the relevant AS codes however where ambiguity or doubt exists on the plans the builder MUST notify this office immediately. It is also expected that the builder will be familiar with and understand all aspects of the construction before commencement.
- 6- These drawings to be read in conjunction with engineers reports and other associated reports and details.
- 7- All plumbing and drainage to AS 3500 and Local Authority requirements
- 8- All electrical work to be in accordance with the relevant AS codes.
- 9- Aerial imagery courtesy of 'Google Maps Aust.' where supplied.
- 10- Any changes to the drawings (as constructed) after submission to the building surveyor are at the cost of the owner and/or the builder and to be paid for prior to lodgement.

PROJECT No.
23P0403

Contractor to verify the location of all current underground services shown on the plans including but not limited to electricity, telecom, gas, sewer, stormwater, NBN etc. prior to excavation. (DBYD www.1100.com.au)

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY

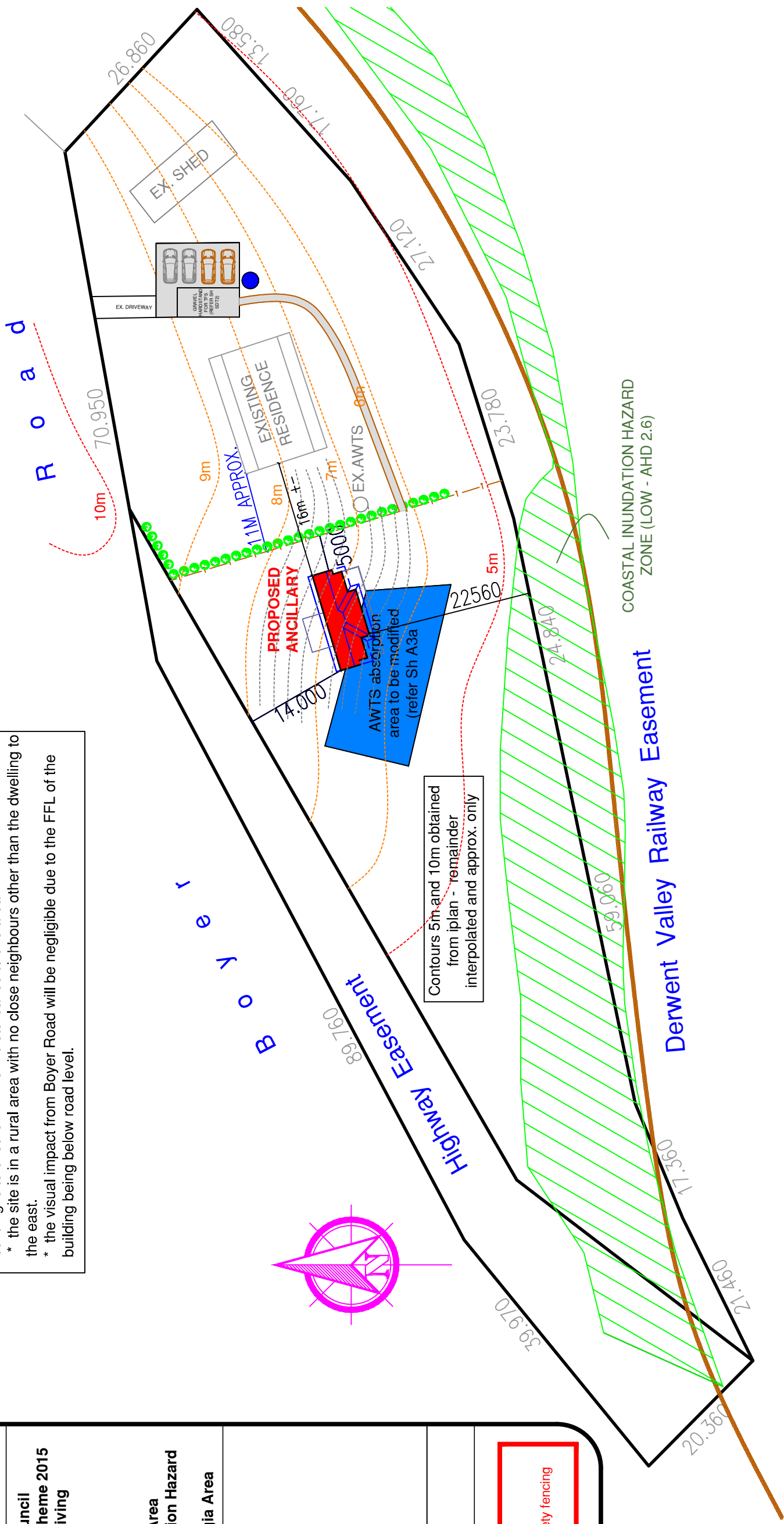
**Brighton Council
Interim Planning Scheme 2015
Zone :Rural Living**

- Overlays :**
- * Bushfire Prone Area
 - * Waterway & Coastal Protection Area
 - * Priority Vegetation Area
 - * Low Coastal Inundation Hazard Band
 - * Future Coastal Refugia Area

OH&S HAZARD
Type: public safety
Solution: provision of safety fencing around construction area

DISCRETIONS REQUESTED :

- Rural Living Zone - 13.4.2 -20m setback required all boundaries.
- Permission is sought to vary this as shown and offer the following in support.
- * new building is a single storey residence in a cutting in the landscape
- * existing residence is currently 16m from boundary
- * existing absorption area from the AWTS exists at this location. Siting of new building is to ensure minimum disturbance to this area
- * the site is in a rural area with no close neighbours other than the dwelling to the east.
- * the visual impact from Boyer Road will be negligible due to the FFL of the building being below road level.



Contours 5m and 10m obtained from iplan - remainder interpolated and approx. only

COASTAL INUNDATION HAZARD ZONE (LOW - AHD 2.6)

Date	Rev.	Description

Title: Lot 1 - D 21805 - 6599m²
Wind speed to AS4055 : N
Soil Class to AS 2870 : -
Energy: refer report
BAL:

**Proposed
Site Plan**

R & M Jackson
Drafting Services
P. 03 62391019 E. jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y

A1
Scale 1:600

Hanna Batstone
Client : 397 Boyer Rd., Dromedary, Tasmania 7030
Drawn by : DC / RJ
Issue : **DRAFT**
(not to be used for construction)
Date : April 2023
Sheet size A3
Project No 23P0403

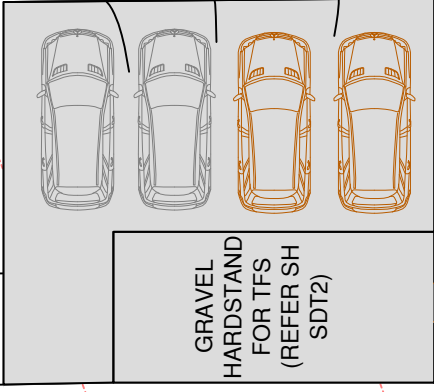
Contractor to verify the location of all current underground services shown on the plans including but not limited to electricity, telecom, gas, sewer, stormwater, NBN etc. prior to excavation. (DBYD www.1100.com.au)

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY

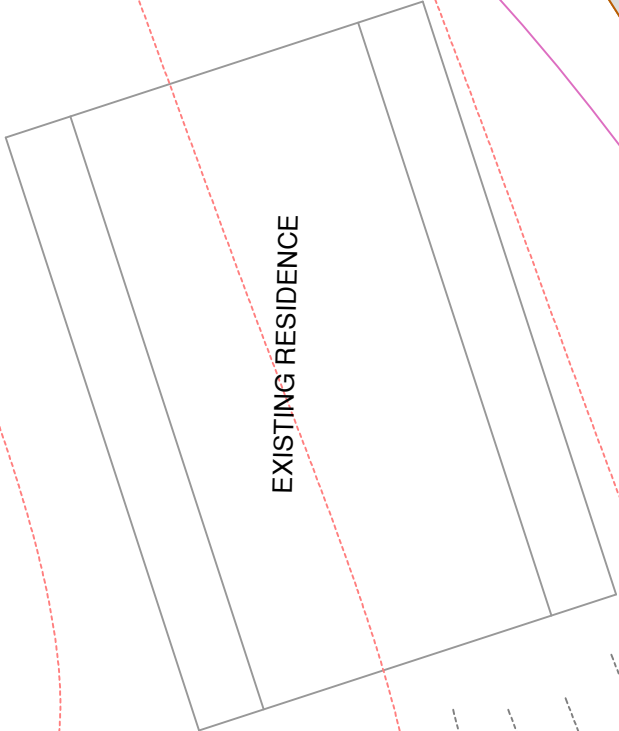
B o y e r
R o a d

EX. DRIVEWAY

EX. RESIDENCE PARKING
NEW GRAVEL PARKING
ANCILLARY PARKING

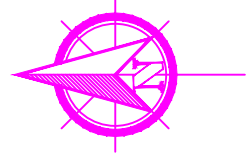
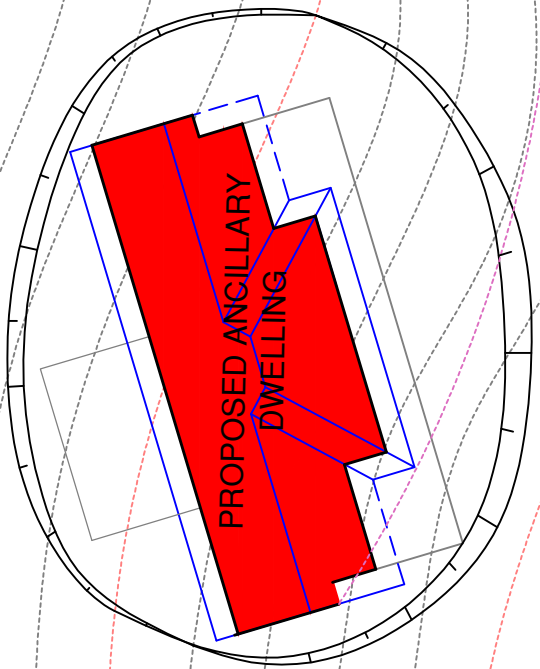


10,000L FIRE TANK



EXISTING AWTS

NEW PATHWAY TO ANCILLARY



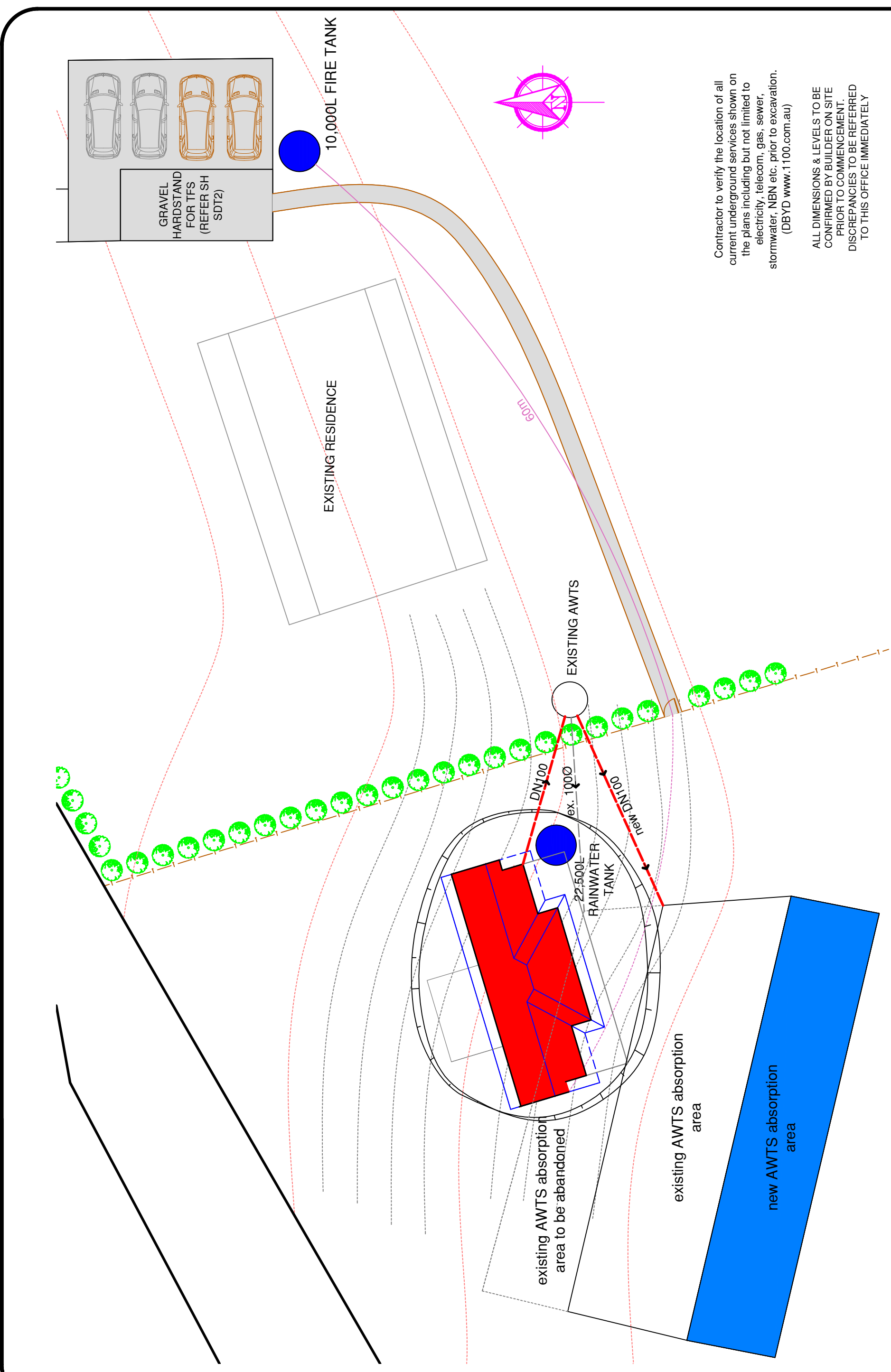
Date	Rev.	Description

Title: Lot1 - D 21805 - 6599m ²	Wind speed to AS4055 : N
Soil Class to AS 2870 : -	Energy: refer report
BAL:	

R & M Jackson Drafting Services P. 03 62391019 E. jacksondrafting@gmail.com Accredited Building Practitioner Licence No: CC340Y	
---	--

A2
Scale 1:200

Client : Hanna Batstone 397 Boyer Rd., Dromedary, Tasmania 7030
Drawn by : DC / RJ Issue : DRAFT <small>(not to be used for construction)</small>
Date : April 2023
Sheet size A3 Project No 23P0403



Contractor to verify the location of all current underground services shown on the plans including but not limited to electricity, telecom, gas, sewer, stormwater, NBN etc. prior to excavation. (DBYD www.1100.com.au)

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY

Client : Hanna Batstone
 397 Boyer Rd., Dromedary, Tasmania 7030
Issue : DRAFT
 (not to be used for construction)
Drawn by : DC / RJ
Date : April 2023
 Project No: 23P0403
 Sheet size: A3

A3
 Scale 1:200

R & M Jackson
 Drafting Services
 P. 03 62391019 E. jacksondrafting@gmail.com
 Accredited Building Practitioner Licence No: CC340Y

Concept Services plan

Title:	Lot 1 - D 21805 - 6599m ²
Wind speed to AS4055 :	N
Soil Class to AS 2870 :	-
Energy:	refer report
BAL:	

Date	Rev.	Description

Contractor to verify the location of all current underground services shown on the plans including but not limited to electricity, telecom, gas, sewer, stormwater, NBN etc. prior to excavation. (DBYD www.1100.com.au)

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY

NOTES:-

1. Kitchen to be provided with rangehood vented externally.
2. All MLV's to be vented externally (can interconnect in roof space) and to be provided with time delay switches.
3. All cupboards adjacent to external walls to be provided with air vents
4. ARTIFICIAL LIGHTING - max. 5 watts/m² for living areas max. 4 watts/m² for balconies, verandahs max. 3 watts/m² for Class 10a buildings (assoc. with Class 1a)
5. All windows are to be positioned centrally within walls UNO
6. Provide 12mm ply blocking between studs at positions of handrails etc in WCs and bathrooms etc.
7. All internal doors, UNO to be 2040x820
8. WC door to either inward swing with removable hinges, outward swing, slide, or inward swing with 1200mm min. between doorway and pan

Door & window Tag Legend

(sizes examples only - refer to floor plan for actual)

- Single Glazed Safety Glass Window (1000h x 900w)
- Single Glazed Window (1000h x 1800w)
- Double Glazed Window (1000h x 1800w)
- Single Glazed Sliding Doors (2100h x 1800w)
- Double Glazed Sliding Doors (2100h x 1800w)
- Double Hung Window (1800h x 600w)
- Double Glazed Safety Glass Window (1000h x 900w)
- Single Glazed Sliding Window
- Single Glazed French Doors

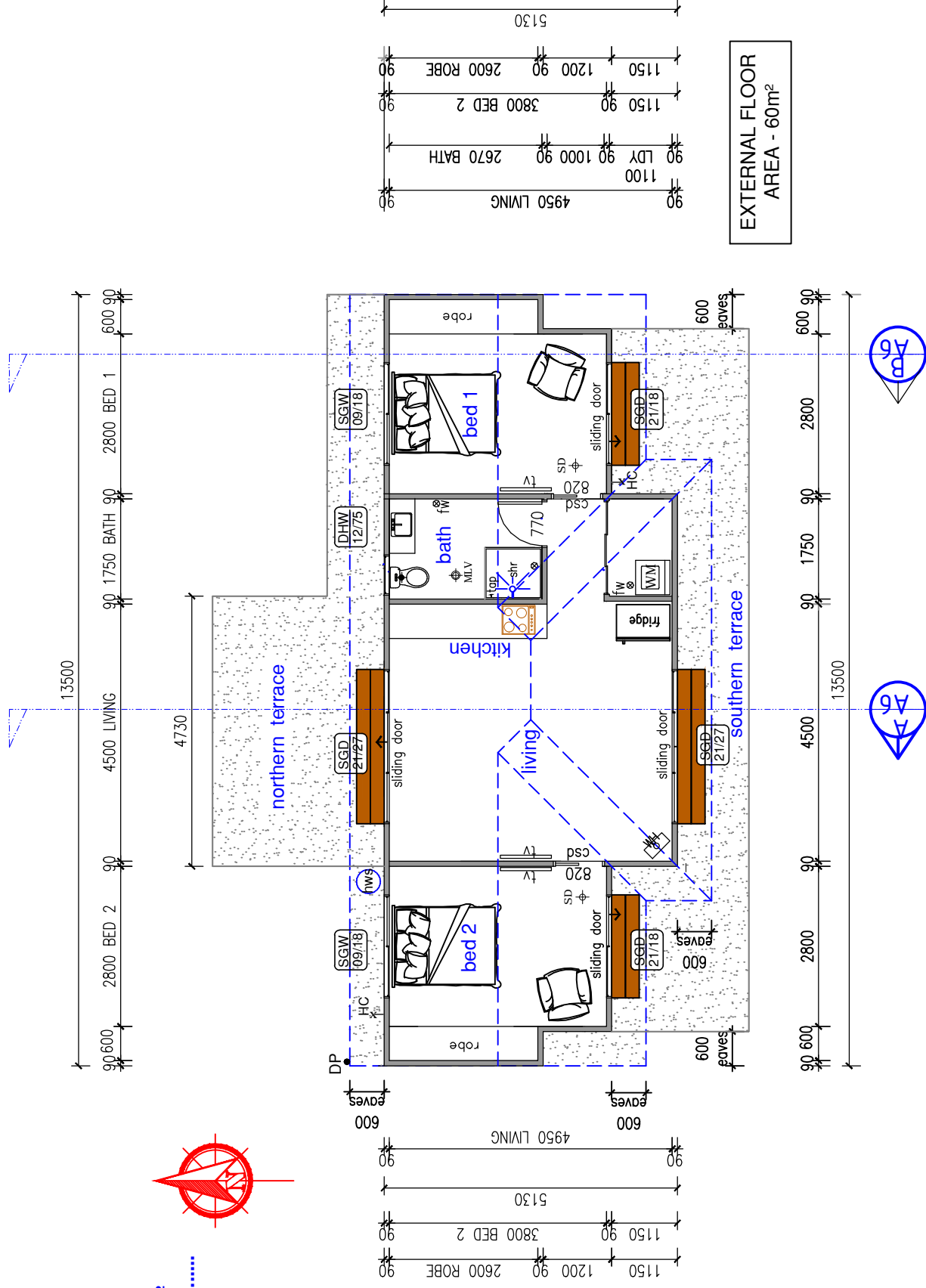
cl/h denotes double hung / slid. denotes sliding / aw. denotes awning
 NOTE: * bathroom and wc glazing to be obscure unless directed otherwise by owners
 * Where windows are > 2m (bedrooms) and > 4m (all others) above external surface refer table above

- MLV Denotes mech. light & ventilation to AS1668.2
- SD Denotes wired-in smoke detector to AS 3786
NOTE: All to be interconnected to operate simultaneously
- HWS Denotes Hot Water System
- IWH Denotes Wood Heater with Flue
- DP Denotes 75mm PVC Downpipe
- HC Denotes Hose Cock

NOTE: ALL WINDOWS TO BE ALUM. FRAMED

REFER ENERGY ASSESSMENT RE: U and SHGC values

FLOOR AREAS
 living - 60 m²
 TOTAL - 60 m²
 (overall)



EXTERNAL FLOOR AREA - 60m²

Date	Rev.	Description

Title: Lot 1 - D 21805 - 6599m²
 Wind speed to AS4055 : N
 Soil Class to AS 2870 : -
 Energy: refer report
 BAL:

Proposed Floor Plan

R & M Jackson
 Drafting Services
 P. 03 62391019 E. jacksondrafting@gmail.com
 Accredited Building Practitioner Licence No: CC340Y

A4
 Scale 1:100

Client : **Hanna Batstone**
 397 Boyer Rd., Dromedary, Tasmania 7030
 Drawn by : DC / RJ
 Issue : **DRAFT**
 (not to be used for construction)
 Date : April 2023
 Sheet size A3
 Project No 23P0403

Contractor to verify the location of all current underground services shown on the plans including but not limited to electricity, telecom, gas, sewer, stormwater, NBN etc. prior to excavation. (DBYD www.1100.com.au)

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY

NOTES:-

1. Kitchen to be provided with rangehood vented externally.
2. All MLV's to be vented externally (can interconnect in roof space) and to be provided with time delay switches.
3. All cupboards adjacent to external walls to be provided with air vents
4. ARTIFICIAL LIGHTING - max. 5 watts/m² for living areas max. 4 watts/m² for balconies, verandahs max. 3 watts/m² for Class 10a buildings (assoc. with Class 1a)
5. All windows are to be positioned centrally within walls UNO
6. Provide 12mm ply blocking between studs at positions of handrails etc in WC's and bathrooms etc.
7. All internal doors, UNO to be 2040x820
8. WC door to either inward swing with removable hinges, outward swing, slide, or inward swing with 1200mm min. between doorway and pan

Door & window Tag Legend

- (sizes examples only - refer to floor plan for actual)
- Single Glazed Safety Glass Window (1000h x 900w)
 - Single Glazed Window (1000h x 1800w)
 - Double Glazed Window (1000h x 1800w)
 - Single Glazed Sliding Doors (2100h x 1800w)
 - Double Glazed Sliding Doors (2100h x 1800w)
 - Double Hung Window (1800h x 600w)
 - Double Glazed Safety Glass Window (1000h x 900w)
 - Single Glazed Sliding Window
 - Single Glazed French Doors

dw denotes double hung / slid. denotes sliding / aw. denotes awning
 NOTE: * bathroom and wc glazing to be obscure unless directed otherwise by owners
 * Where windows are > 2m (bedrooms) and > 4m (all others) above external surface refer table above

- MLV Denotes mech. light & ventilation to AS1668.2
- SD Denotes wired-in smoke detector to AS 3786
NOTE: All to be interconnected to operate simultaneously
- HWS Denotes Hot Water System
- WH Denotes Wood Heater with Flue
- DP Denotes 75mm PVC Downpipe
- HC Denotes Hose Cock

NOTE: ALL WINDOWS TO BE ALUM. FRAMED

REFER ENERGY ASSESSMENT RE: U and SHGC values

Date	Rev.	Description

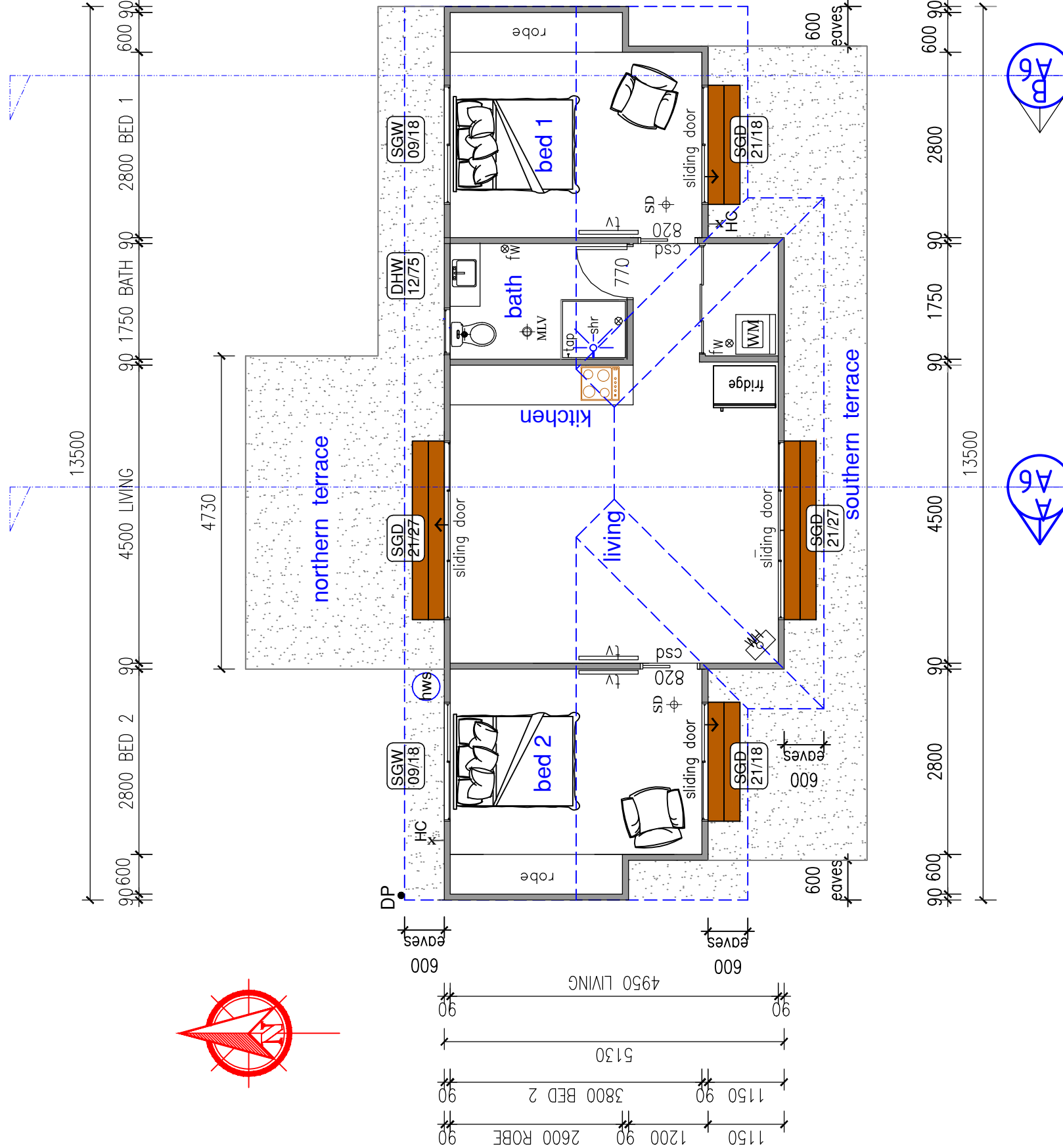
Title: Lot 1 - D 21805 - 6599m²
 Wind speed to AS4055 : N
 Soil Class to AS 2870 : -
 Energy: refer report
 BAL:

Proposed Floor Plan

R & M Jackson
 Drafting Services
 P. 03 62391019 E. jacksondrafting@gmail.com
 Accredited Building Practitioner Licence No: CC340Y

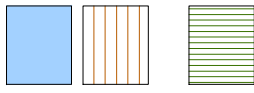
A4a
 Scale 1:75

Hanna Batstone
 Client : 397 Boyer Rd., Dromedary, Tasmania. 7030
 Drawn by : DC / RJ
 Issue : **DRAFT**
 (not to be used for construction)
 Date : April 2023
 Sheet size A3
 Project No 23P0403



EXTERNAL FLOOR
 AREA - 60m²

Schedule

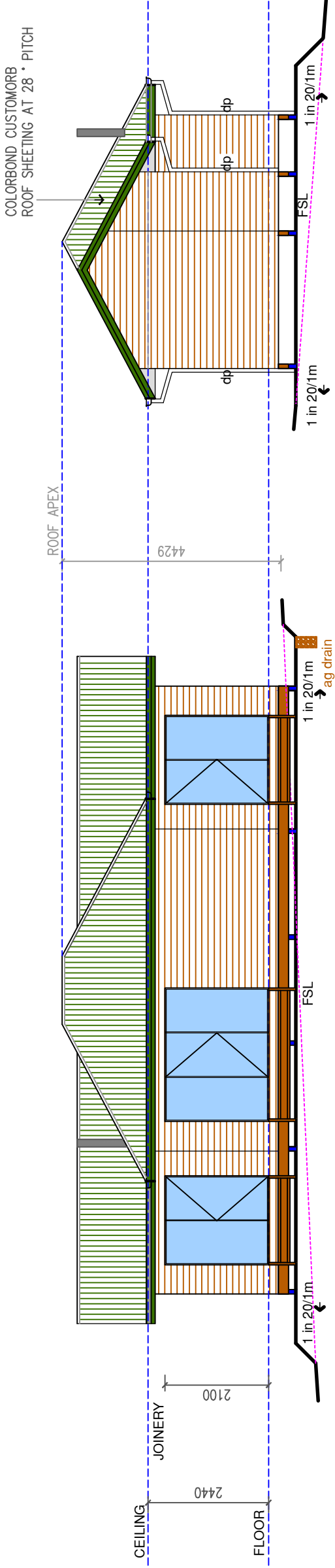


Windows / doors

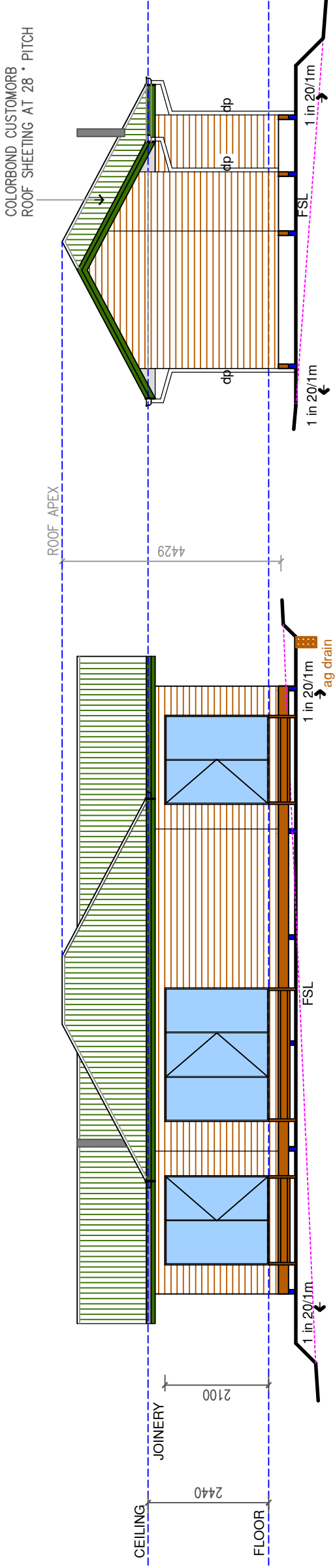
Selected Weatherboards
(BAL compliant)

Custom Orb colourbond
roofing - Cottage Green
Solar absorption - 0.73
Solar Reflectance Index - 27
BCA classification - Dark

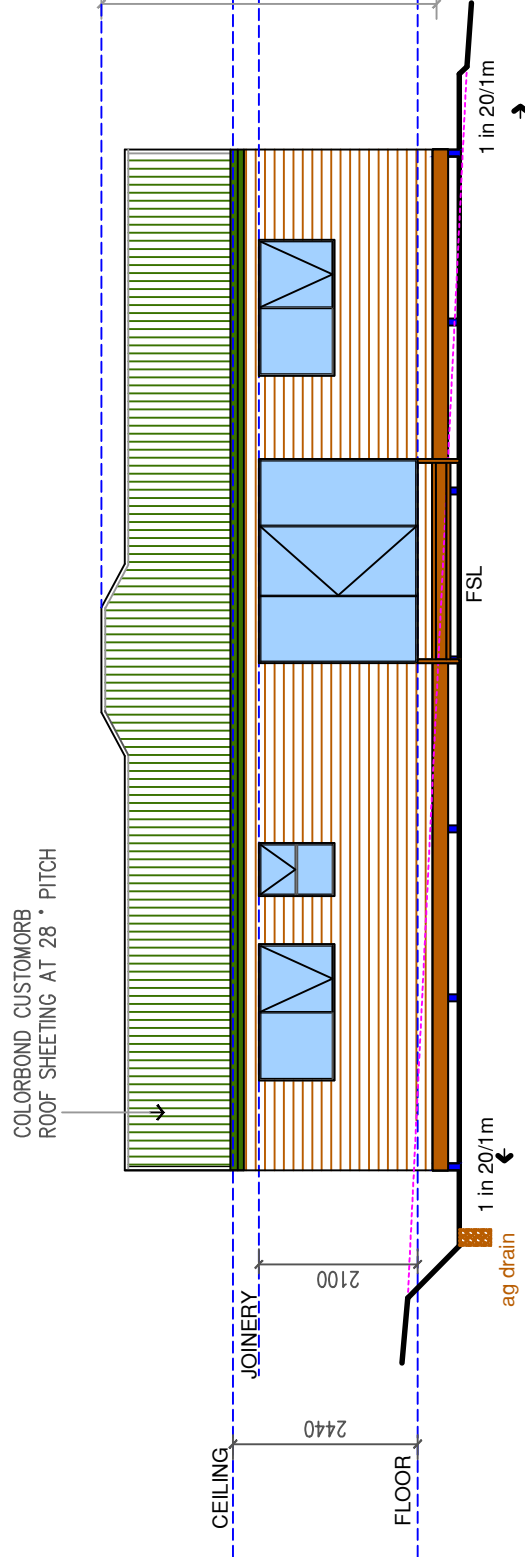
- ABBREVIATIONS
- NSL : natural surface level
 - ESL : existing surface level
 - FSL : final surface level
 - EFL : existing floor level
 - FFL : finished floor level
 - FCL : finished ceiling level
 - U/S : underside
 - JH : joinery height
 - dp : downpipe



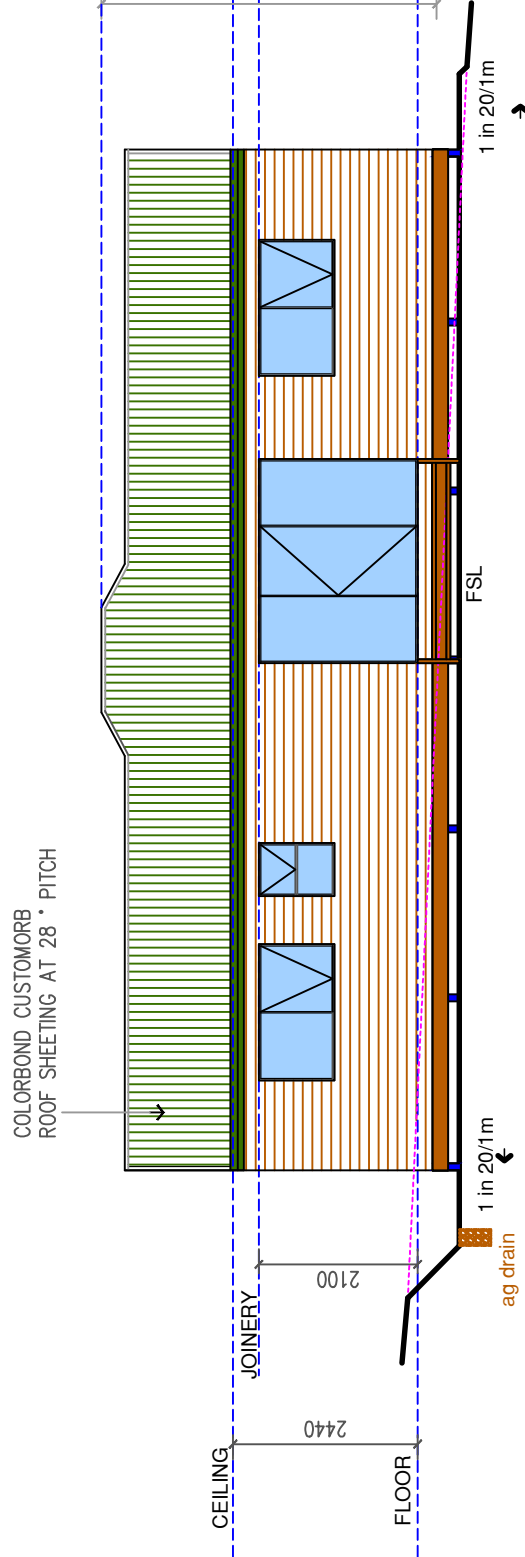
South



West



North



East

Date	Rev.	Description

Title: Lot 1 - D 21805 - 6599m ²
Wind speed to AS4055 : N
Soil Class to AS 2870 : -
Energy: refer report
BAL:

Elevations

R & M Jackson
Drafting Services
P. 03 62391019 E. r.jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y

A5
Scale 1:100

Hanna Batstone
Client : 397 Boyer Rd., Dromedary, Tasmania 7030
Drawn by : DC / RJ
Issue : **DRAFT**
(not to be used for construction)
Date : April 2023
Sheet Size A3
Project No 23P0403

SOLID WASTE MATERIAL TO BE STORED AND REMOVED FROM SITE REGULARLY.

REMOVABLE WC TO BE INSTALLED ON SITE DURING CONSTRUCTION UP TO THE POINT WHERE MAIN SEWER LINE IS CONNECTED.

STOCK PILES TO BE STABILISED AS SHOWN ON DETAIL SD9.

VEHICLES/MACHINERY ACCESSING THE SITE TO USE HARDENED ACCESS POINT AND TO BE THOROUGHLY WASHED (HIGH PRESSURE) TO REMOVE SOIL AND PLANT MATERIAL BEFORE LEAVING SITE.

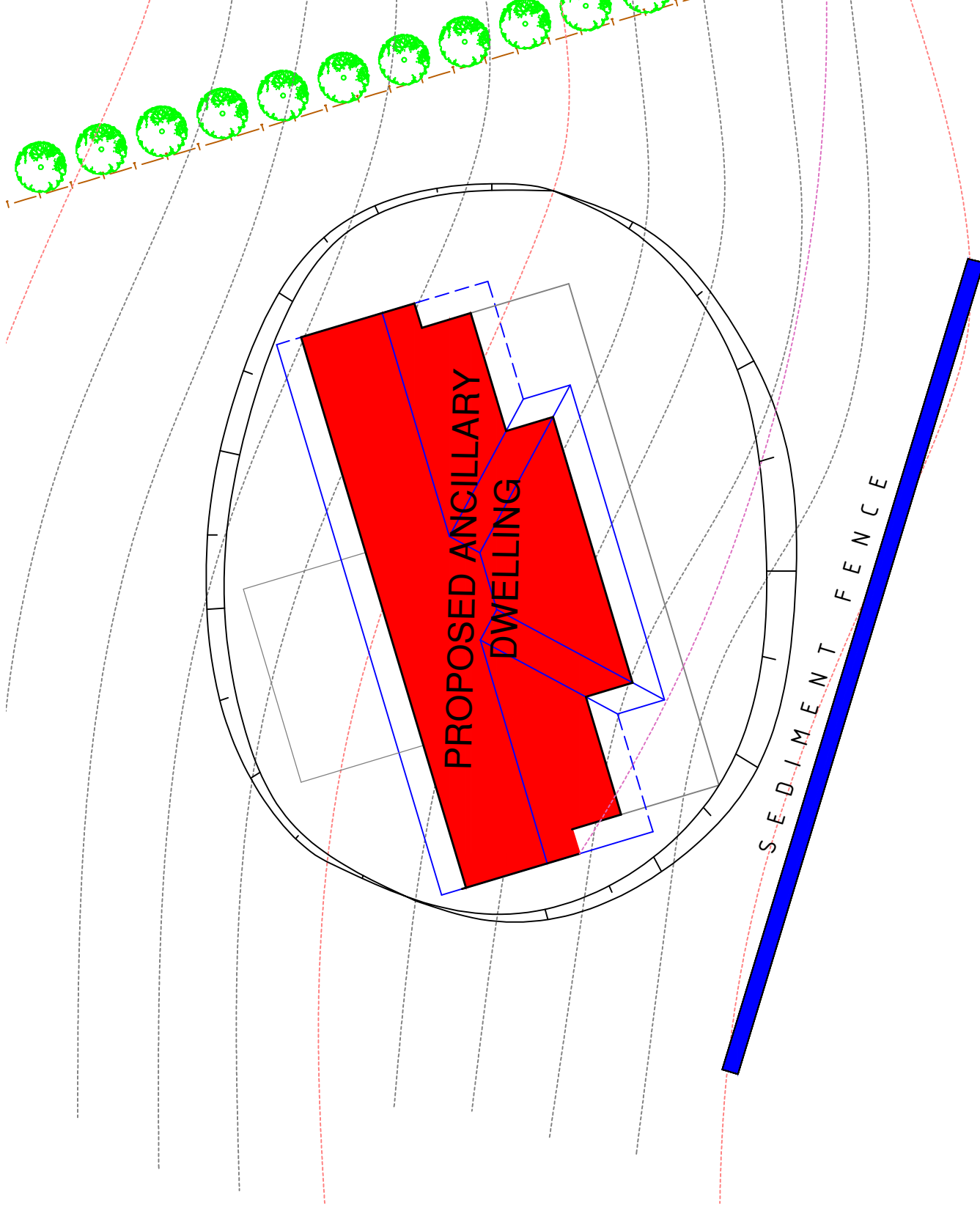
REMOVE ANY SOIL, CONCRETE, PAINT OR OTHER POTENTIAL POLLUTANTS FROM ANY AREA NOT WITHIN THE SITE BOUNDARY. TO MINIMISE POLLUTION THROUGH RUN OFF IN THE RETICULATED STORMWATER SYSTEM.

RETICULATED WATER MAINS AND ELECTRICAL CONNECTION TRENCHED TOGETHER. NOTES AS PER SEWER AND STORMWATER TRENCHING ABOVE.

WATER DIVERSION BARRIER (DIVERSION OF UPSLOPE WATER) CONSTRUCTED FROM SAND OR GRAVEL FILLED BAGS IN ACCORDANCE WITH DRAWING SD1.

SILT TRAP/STORM WATER PIT PROVIDE FILTRATION BARRIER AS PER DETAIL SD10.

IT IS THE BUILDERS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UNDERGROUND SERVICES, INCLUDING BUT NOT LIMITED TO: GAS, WATER, SEWER, STORM WATER, ELECTRICITY, TELECOMMUNICATIONS.



REVEGETATION & LONG TERM EROSION CONTROLS:

ONLY REMOVE VEGETATION AS REQUIRED DURING CONSTRUCTION. TREAT HEAVILY CLAYED SOILS WITH GYPSUM OR LIME AT A RATE OF 10t/ha TO STABILISE CLAY PARTICLES. TEMPORARY STABILISATION CAN BE GAINED BY SOWING RYECORN/OATS AT 40kg/ha AND RYEGRASS var. CONCORDE AT 10kg/ha OR SIMILAR FAST ROOTING GRASSES/CROPS (WITH ADVICE FROM AGRONOMIST) TO HOLD TOGETHER TOP SOIL. PERMANENT GROUND STABILISATION CAN BE ACHIEVED USING TURF OR OTHER GRASS MIXES OF FINE LEAF RYES, FESCUSES, POA, CLOVERS, ETC. GARDEN AREAS TO BE MULCHED WITH WATER EFFICIENT PLANTINGS THAT HAVE QUICK ESTABLISHMENT TIMES TO BE USED IN INITIAL GARDEN BEDS.

WHERE TUNNEL EROSION IS EVIDENT THE TUNNELED AREA MUST BE COMPLETELY BROKEN UP AND RECONSOLIDATED TO INTERRUPT CHANNIELED FLOWS OF WATER AND THEN STABILISED WITH VEGETATION. DEEP RIP ACROSS THE SLOPE MAKING SURE THAT THESE RIP LINES ARE DEEPER THAN THE BOTTOM OF THE TUNNELS. COMPACT USING RUBBER WHEELED TRACTOR ON AREAS OF SHALLOW TUNNELING. TUNNELS DEEPER THAN THE RIPPERS ARE BEST EXCAVATED AND REPAKED.

Date	Rev.	Description

Title: Lot 1 - D 21805 - 6599m ²
Wind speed to AS4055 : N
Soil Class to AS 2870 : -
Energy: refer report
BAL:

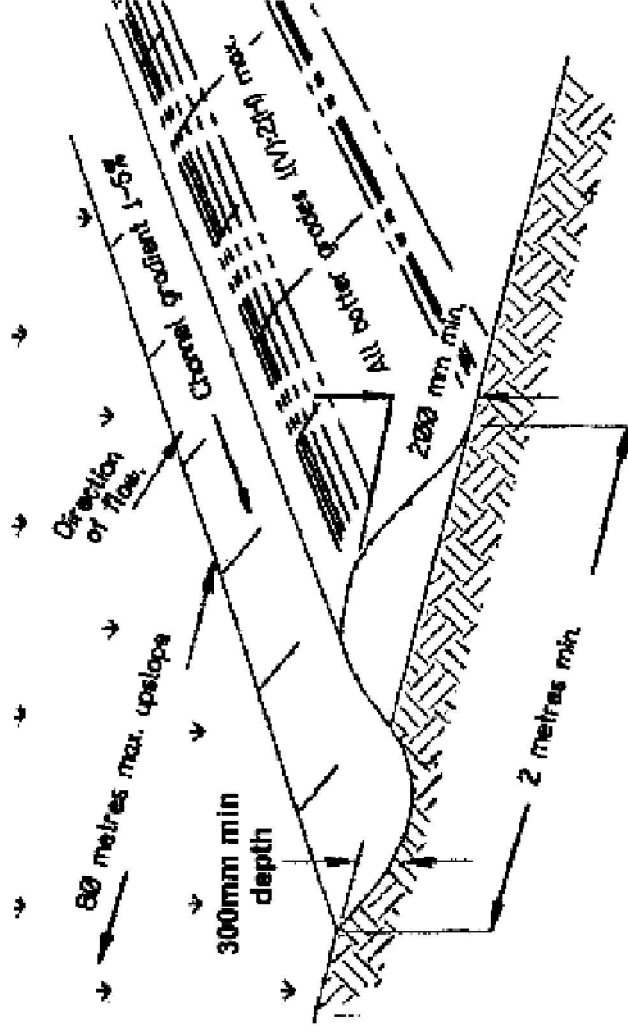
SWMP 1

R & M Jackson
 Drafting Services
 P. 03 62391019 E. jacksondrafting@gmail.com
 Accredited Building Practitioner Licence No: CC340Y



M1
 Scale: NTS

Client : **Hanna Batstone**
 397 Boyer Rd., Dromedary, Tasmania. 7030
 Issue : **DRAFT**
 (not to be used for construction)
 Drawn by : DC / RJ
 Date : April 2023
 Sheet size A3
 Project No 23P0403



Construction Notes

1. Construct along gradient as specified.
2. Maximum spacing between banks shall be 80 metres.
3. Drains to be of parabolic or trapezoidal cross section not V-shaped.
4. Earth banks to be adequately compacted in order to prevent failure.
5. Construction is of a temporary nature and shall be completed at the end a days work or immediately prior to rain.
6. All outlets from disturbed lands are to feed into a sediment basin or similar.
7. Discharge runoff collected from undisturbed lands onto either a stabilised or an undisturbed disposal site within the same subcatchment area from which the water originated.
8. Compact with a suitable implement in situations where they are required to function for more than five days.
9. Earth banks to be free of projections or other irregularities that will impede normal flow.

DETAILS EXTRACTED FROM "GUIDELINES FOR SOIL AND WATER MANAGEMENT" BY THE DEPARTMENT OF PRIMARY INDUSTRIES WATER AND ENVIRONMENT - JUNE 1999
 ENDORSED BY BRIGHTON, CLARENCE, GLENORCHY, HOBART AND KINGBOROUGH CITY AND MUNICIPAL COUNCILS.

SD 1 - Diversion of Upslope Water - CatchDrains

Title: Lot 1 - D 21805 - 6599m²
 Wind speed to AS4055 : N
 Soil Class to AS 2870 : -
 Energy: refer report
 BAL:

SWMP 2

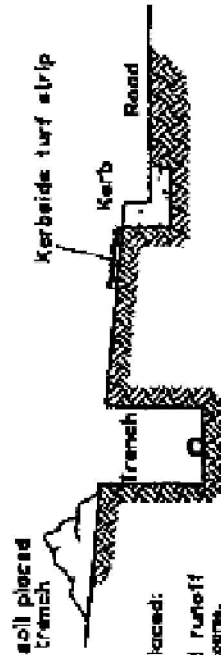
R & M Jackson
 Drafting Services
 P. 03 6239 1019 E. jacksondrafting@gmail.com
 Accredited Building Practitioner Licence No: CC340Y



M2

Client : Hanna Batstone
 397 Boyer Rd., Dromedary, Tasmania 7030
 Drawn by : DC / RJ
 Issue : **DRAFT**
 (not to be used for construction)
 Date : April 2023
 Sheet Size A3
 Project No 23P0403

WHEN EXCAVATING TRENCH...

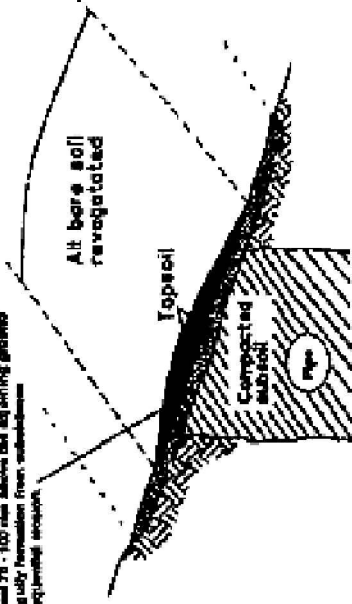


Excavated soil not to be placed:

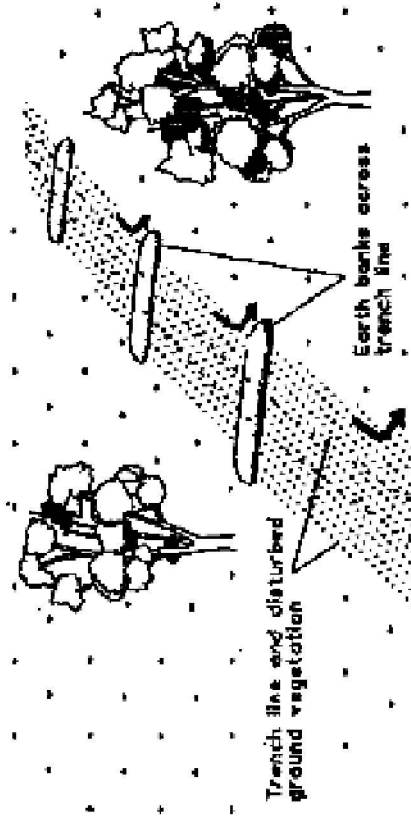
- on road
- in areas of concentrated runoff
- within 1 metre of any kerb or underdrain.

WHEN BACKFILLING TRENCH...

Excavated trench backfilled, topped with topsoil and compacted to a depth of 75-100 mm above the existing ground level to avoid any erosion from subsidence and any consequential damage.



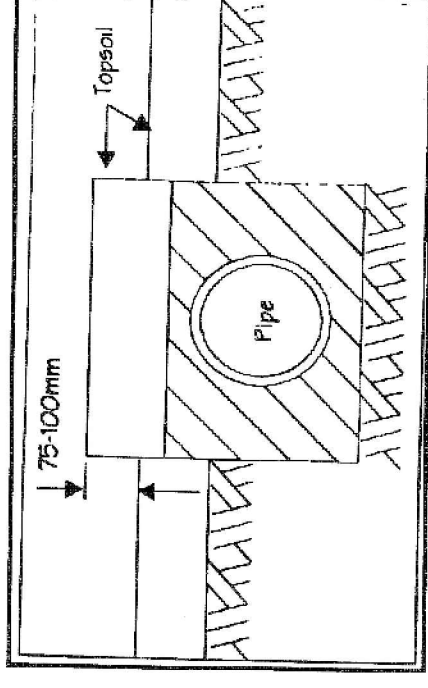
ON STEEP AND/OR LONG SECTIONS OF TRENCH...



Construction Notes

1. Do not open any trench unless it is likely to be closed in three days.
2. Place excavated material upslope of trench.
3. Stockpile topsoil separately from subsoil.
4. Divert runoff from the line of the cut
5. Rehabilitate in accordance with specification.

SD 3 - Service Installation



[See Appendix B - Standard Drawing SD 3 for installation and construction details]

DETAILS EXTRACTED FROM "GUIDELINES FOR SOIL AND WATER MANAGEMENT" BY THE DEPARTMENT OF PRIMARY INDUSTRIES WATER AND ENVIRONMENT - JUNE 1999 ENDORSED BY BRIGHTON, CLARENCE, GLENORCHY, HOBART AND KINGBOROUGH CITY AND MUNICIPAL COUNCILS.

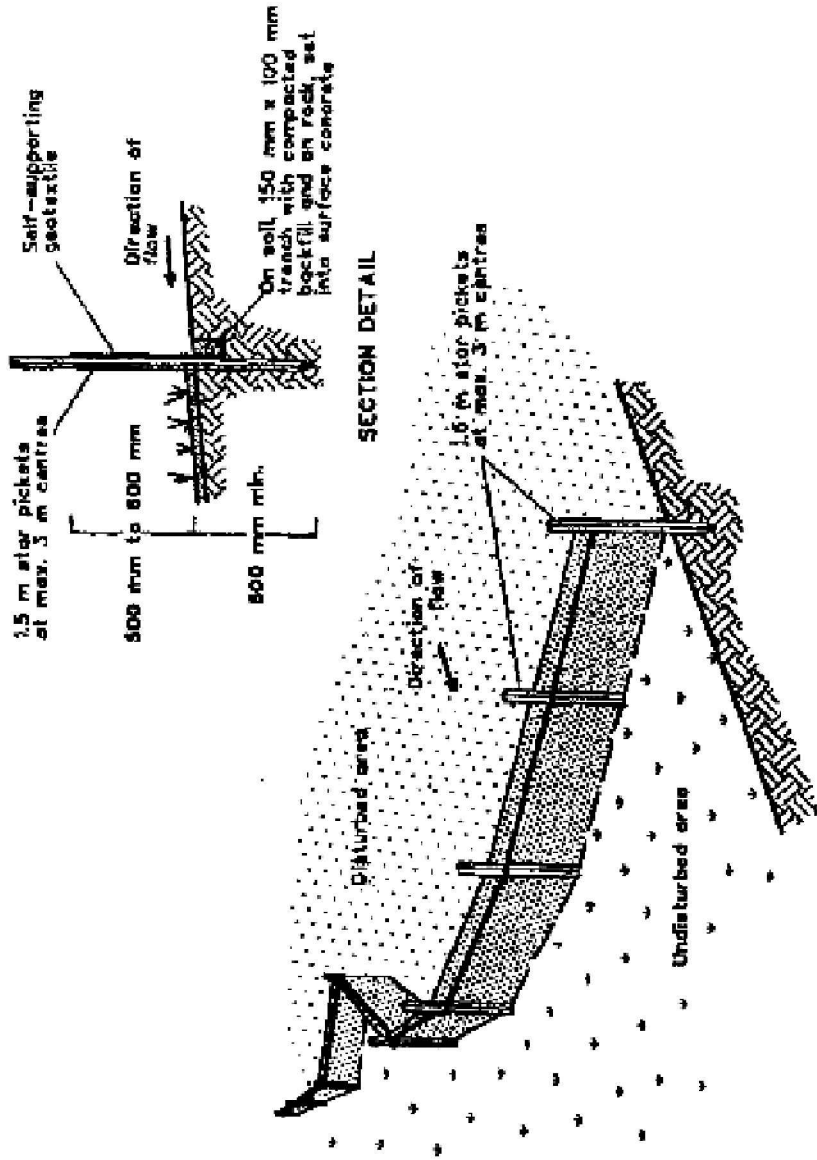
Title: Lot 1 - D 21805 - 6599m ²
Wind speed to AS4055 : N
Soil Class to AS 2870 : -
Energy: refer report
BAL:

SWMP 3

R & M Jackson
 Drafting Services
 P. 03 62391019 E. r.jacksondrafting@gmail.com
 Accredited Building Practitioner Licence No: CC340Y

M3

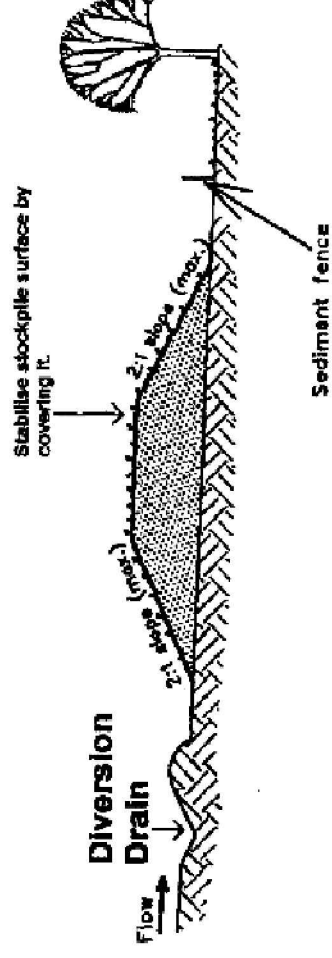
Client : Hanna Batstone 397 Boyer Rd., Dromedary, Tasmania 7030
Drawn by : DC / RJ Issue : DRAFT (not to be used for construction)
Date : April 2023
Sheet Size A3 Project No 23P0403



Construction Notes

1. Construct sediment fence as close as possible to parallel to the contours of the site.
2. Drive 1.5 metre long star pickets into ground, 3 metres apart.
3. Dig a 150 mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
4. Backfill trench over base of fabric.
5. Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer.
6. Join sections of fabric at a support post with a 150 mm overlap.

SD 8 - SEDIMENT FENCE



Construction Notes

1. Construct a diverslon drain on upslope side of stockpile to divert water around stockpile and install a sediment fence 1-2 metres downslope of stockpile.
2. Locate stockpile at least 5 metres from existing bushland, concentrated water flows roads and other hazard areas.
3. Construct stockpile on the contour as a low, flat, elongated mound.
4. Where there is sufficient space, topsoil stockpiles shall be less than 2 metres high.
5. Rehabilitate in accordance with the SWMP.

SD 9 - Stabilising Stockpiles

DETAILS EXTRACTED FROM "GUIDELINES FOR SOIL AND WATER MANAGEMENT" BY THE DEPARTMENT OF PRIMARY INDUSTRIES WATER AND ENVIRONMENT - JUNE 1999
 ENDORSED BY BRIGHTON, CLARENCE, GLENORCHY, HOBART AND KINGBOROUGH CITY AND MUNICIPAL COUNCILS.

R & M Jackson

Drafting Services

P. 03 62391019 E. jacksondrafting@gmail.com

Accredited Building Practitioner Licence No: CC340Y



M4

Client : **Hanna Batstone**
 397 Boyer Rd., Dromedary, Tasmania 7030

Drawn by : DC / RJ
 Issue : **DRAFT**
 (not to be used for construction)

Date : April 2023
 Sheet Size A3
 Project No 23P0403

Title: Lot 1 - D 21805 - 6599m²

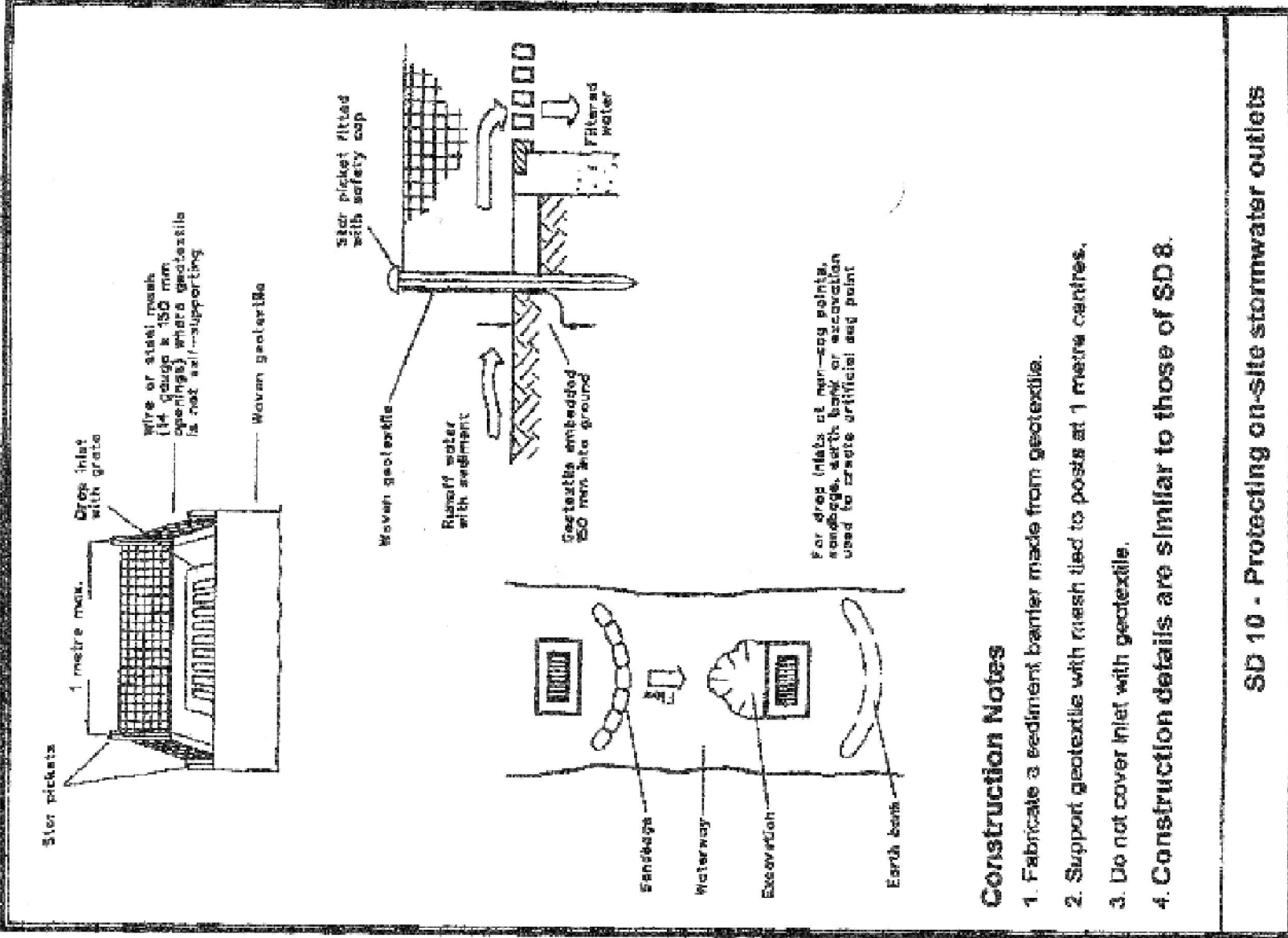
Wind speed to AS4055 : **N**

Soil Class to AS 2870 : -

Energy: refer report

BAL:

SWMP 4



Construction Notes

1. Fabricate a sediment barrier made from geotextile.
2. Support geotextile with mesh tied to posts at 1 metre centres.
3. Do not cover inlet with geotextile.
4. Construction details are similar to those of SD 8.


SD 10 - Protecting on-site stormwater outlets

DETAILS EXTRACTED FROM "GUIDELINES FOR SOIL AND WATER MANAGEMENT" BY THE DEPARTMENT OF PRIMARY INDUSTRIES WATER AND ENVIRONMENT - JUNE 1999
 ENDORSED BY BRIGHTON, CLARENCE, GLENORCHY, HOBART AND KINGBOROUGH CITY AND MUNICIPAL COUNCILS.

Title: Lot 1 - D 21805 - 6599m ²
Wind speed to AS4055 : N
Soil Class to AS 2870 : -
Energy: refer report
BAL:

SWMP 5

R & M Jackson
 Drafting Services
 P. 03 62391019 E. jacksondrafting@gmail.com
 Accredited Building Practitioner Licence No: CC340Y



M5

Hanna Batstone
 Client : 397 Boyer Rd., Dromedary, Tasmania 7030
 Drawn by : DC / RJ
 Date : April 2023
 Issue : **DRAFT**
 (not to be used for construction)
 Sheet Size A3
 Project No 23P0403