



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2023/032

LOCATION OF AFFECTED AREA

41A GLEN LEA ROAD, PONTVILLE

DESCRIPTION OF DEVELOPMENT PROPOSAL

DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **31/5/2023**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager



Brighton
going places



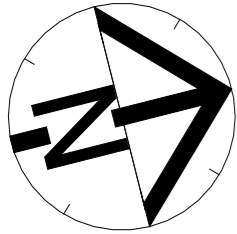
AP2022-2171 - PROPOSED WALLIS RESIDENCE
 41a Glen Lea Road
 PONTVILLE

SHEET		DRAWING TITLE
01	A	LOCATION PLAN
01a		SITE PLAN
01b	A	DRAINAGE PLAN
02		FLOOR PLAN
03		ELEVATIONS SHEET 1
03a		ELEVATIONS SHEET 2
03b		PERSPECTIVE VIEWS



Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.						Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		Client / Project info PROPOSED WALLIS RESIDENCE 41a Glen Lea Road PONTVILLE		Soil Classification: Title Reference: Floor Areas: Porch / Deck Areas: Wind Speed: Climate Zone: Alpine Zone: Corrosion Environment: Certified BAL: Designed BAL: (Refer to Standard Notes for Explanation)		Refer soil report CT154500/1 212.88m ² 50.60m ² N3 7 N/A Moderate TBC TBC		COVER SHEET	
						Date 30 January 2023		Sheet 00/03		AP2022-2171					

No.	Amendment	Date	Drawn	Checked	Sheet
A	Add Wastewater & Stormwater systems as per engineer designs, show locations of containers as provided by client.	05 May 23	RJ	ST	01 & 01b
	DA PLAN SET	30 Jan. 2023	KV	RJ	01 - 03



1. THIS PLAN HAS BEEN PREPARED BY ANOTHER PERSPECTIVE PTY LTD FROM A COMBINATION OF EXISTING SURVEY PLANS AND GPS SURVEY CARRIED OUT BY ANOTHER PERSPECTIVE PTY LTD.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. ANOTHER PERSPECTIVE PTY LTD CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE AS NO SERVICE INFORMATION HAS BEEN COLLECTED.

4. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF ANOTHER PERSPECTIVE PTY LTD.

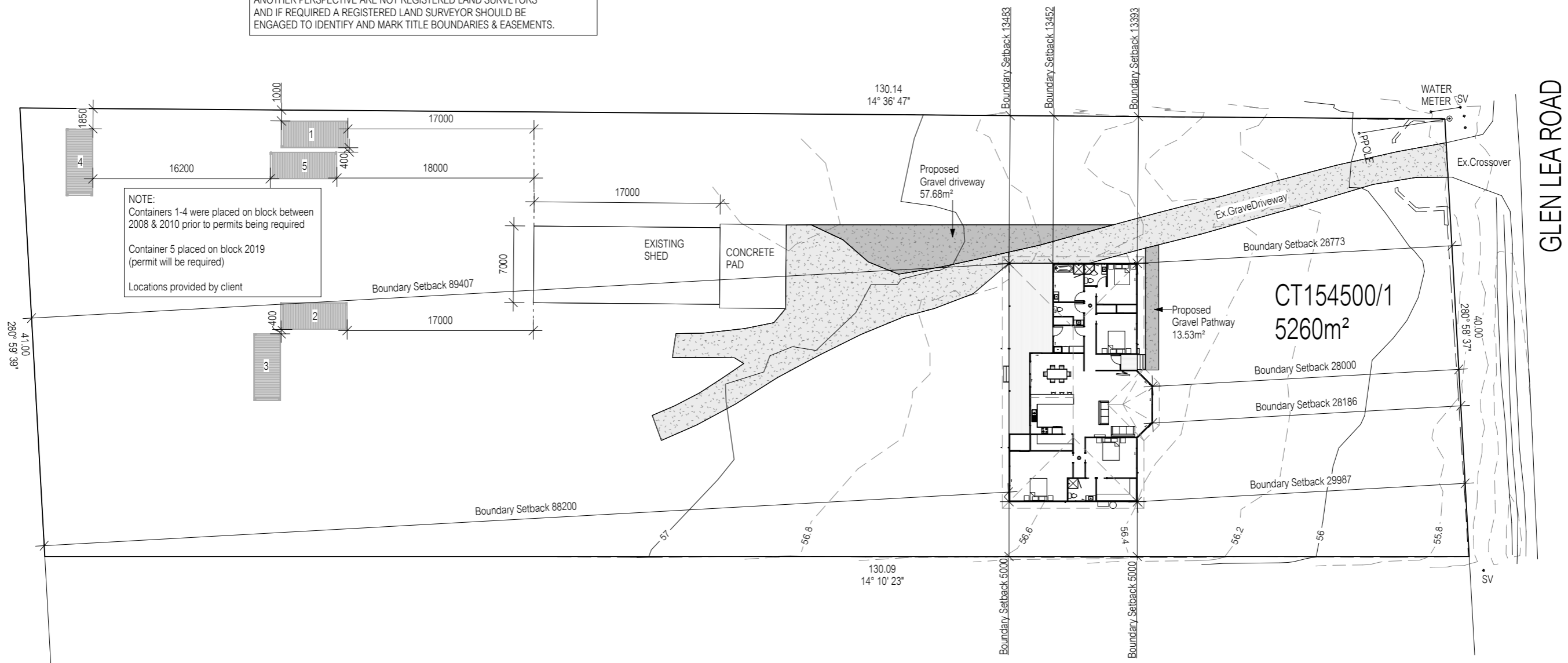
5. HORIZONTAL DATUM IS BASED ON SP154500 (MGA94) DISTANCES ARE SCALED TO PLANE.

6. VERTICAL DATUM IS AHD (RTK GPS).

7. CONTOUR INTERVAL IS 0.1 METRE, INDEX IS 1.0 METRE.

NOTE: BOUNDARIES AND EASEMENTS (IF INCLUDED) ARE COMPILED FROM SURVEY PLAN SP154500.

ANOTHER PERSPECTIVE ARE NOT REGISTERED LAND SURVEYORS AND IF REQUIRED A REGISTERED LAND SURVEYOR SHOULD BE ENGAGED TO IDENTIFY AND MARK TITLE BOUNDARIES & EASEMENTS.



NOTE:
Containers 1-4 were placed on block between 2008 & 2010 prior to permits being required
Container 5 placed on block 2019 (permit will be required)
Locations provided by client

GLEN LEA ROAD

A	05 May 23	RJ
No.	Date	Int.

Amendment changes as per cover sheet

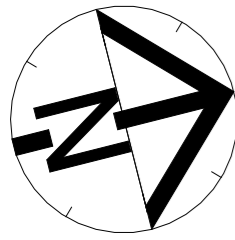
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Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. CC2204H (A. Strugnell)
Ph: (03) 6231 4122
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info@anotherperspective.com.au

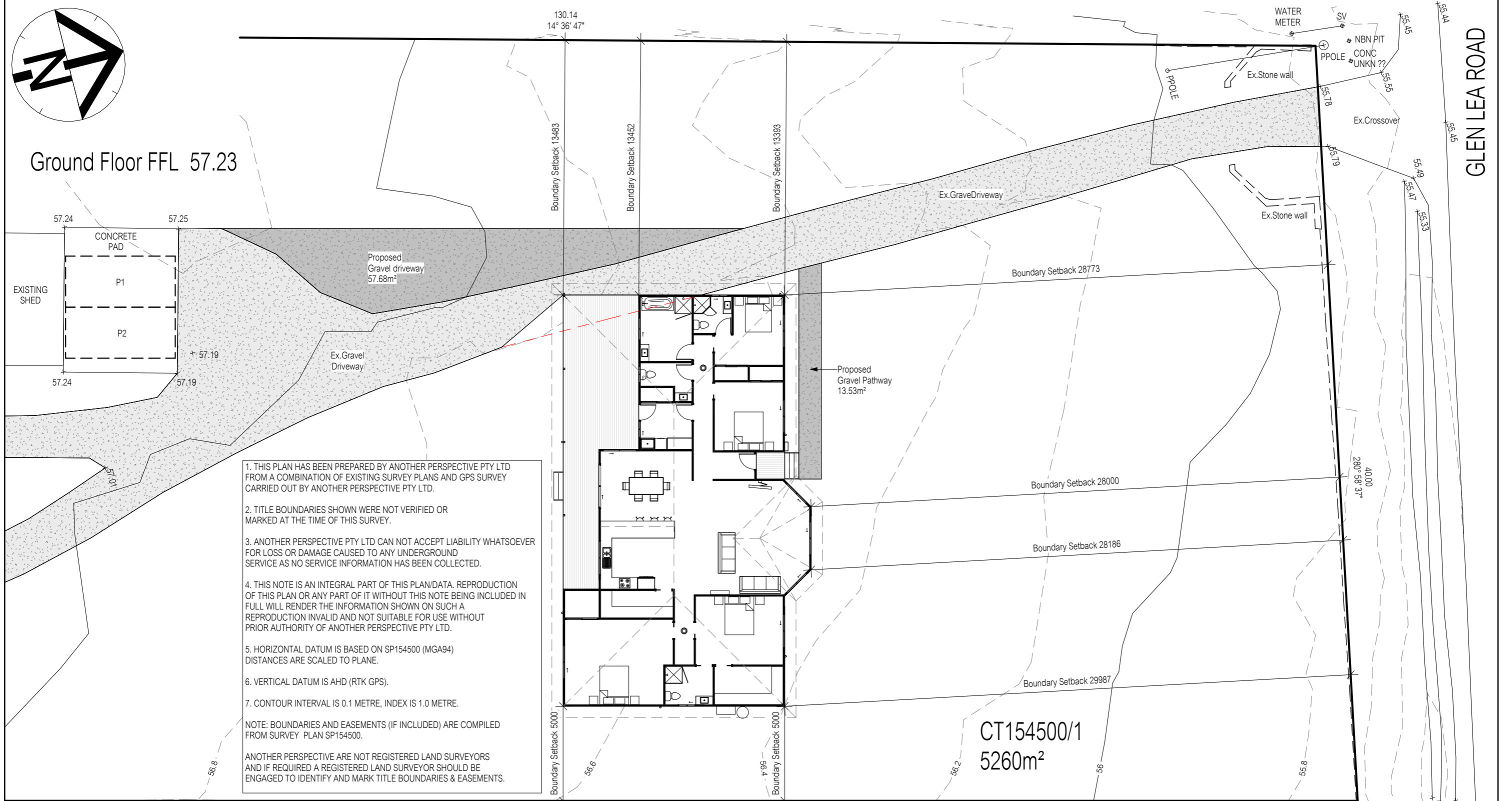
Client / Project info
PROPOSED WALLIS RESIDENCE
41a Glen Lea Road
PONTVILLE



LOCATION PLAN		
Drawn	KV	AP2022-2171
Date	30 January 2023	Sheet
Scale	1:400	01/03



Ground Floor FFL 57.23



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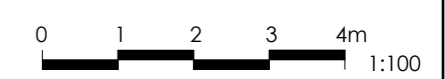
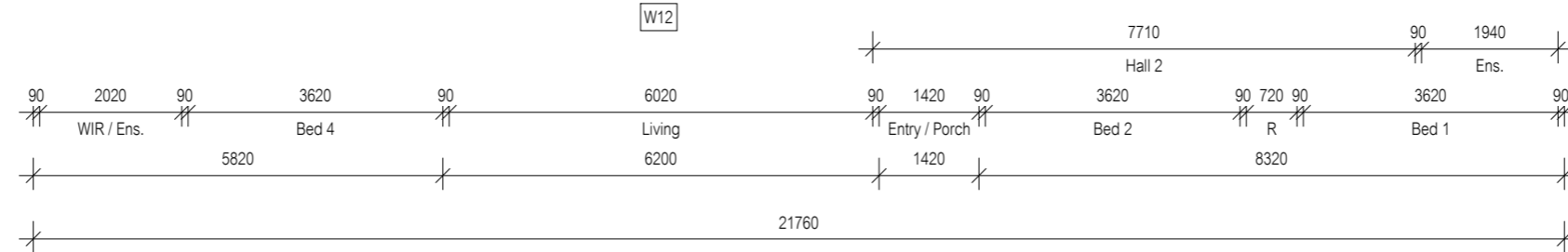
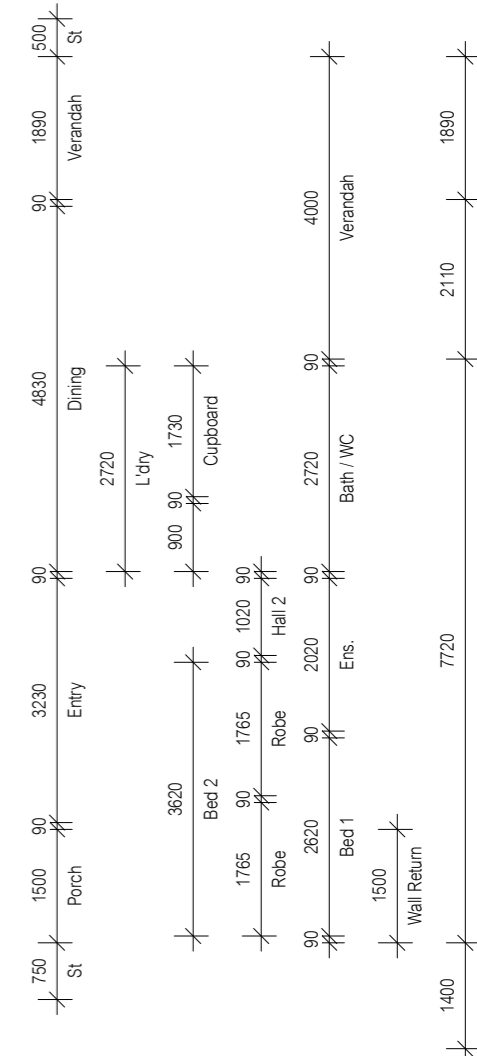
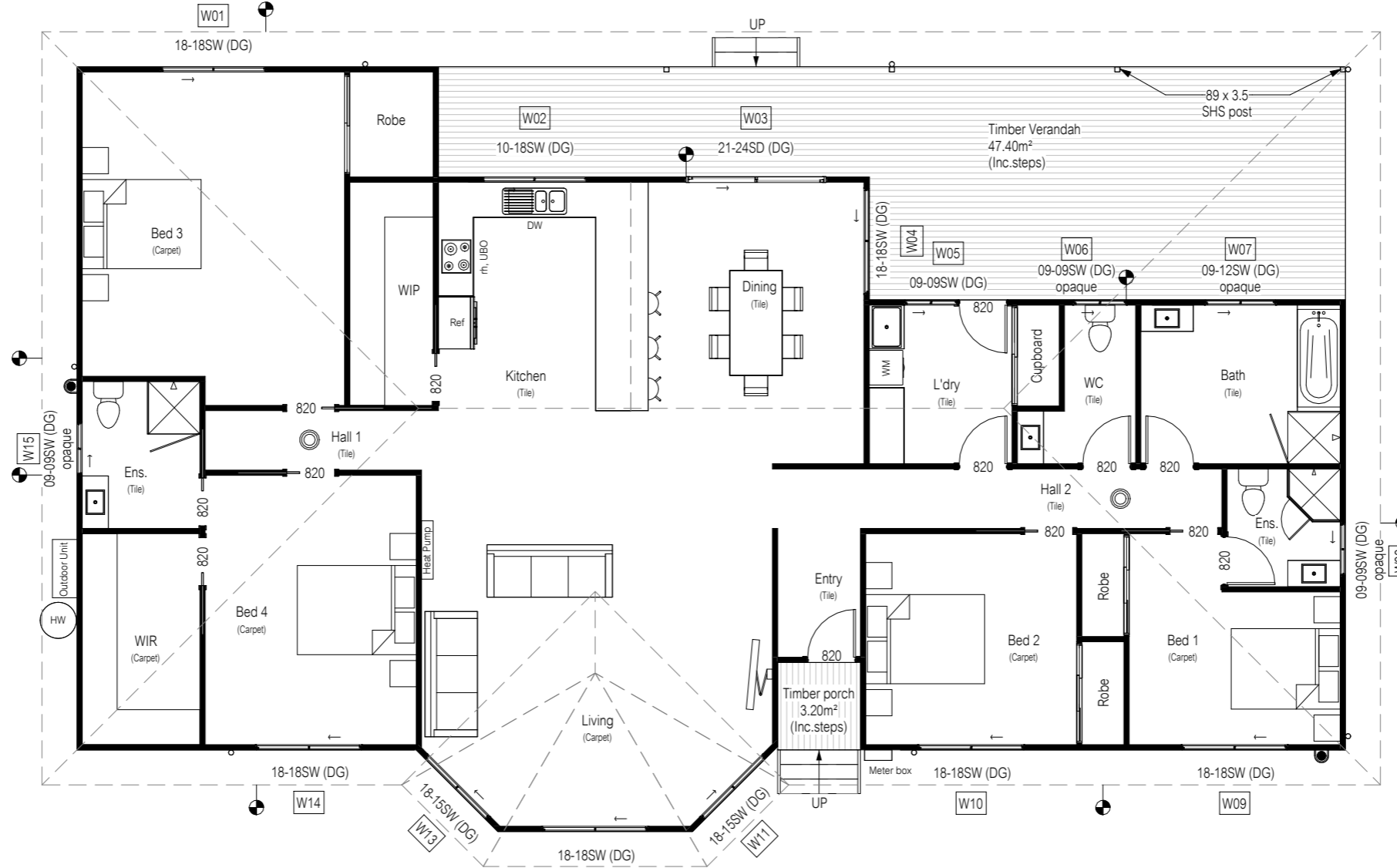
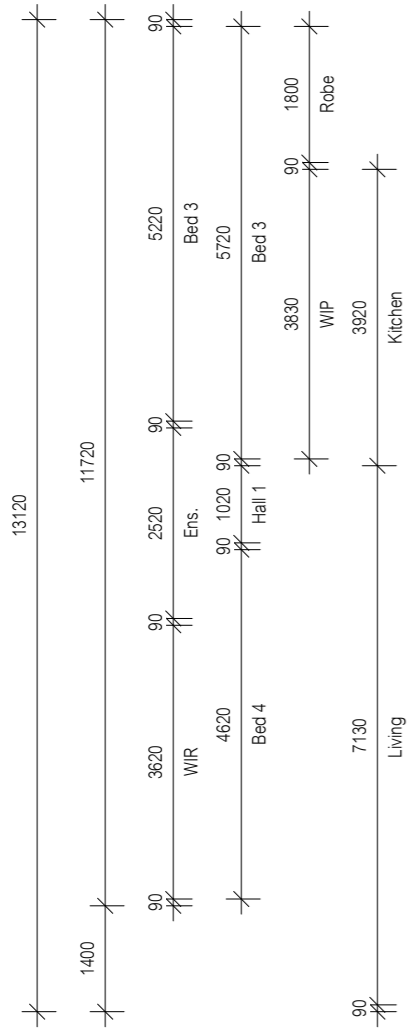
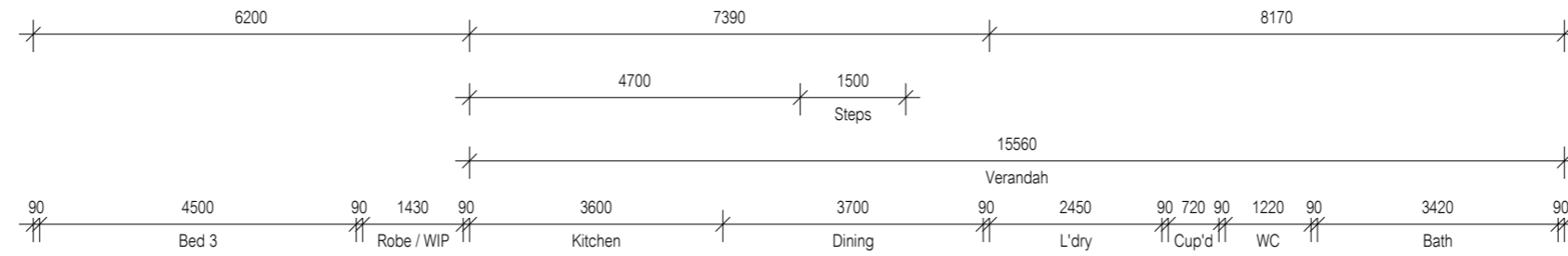
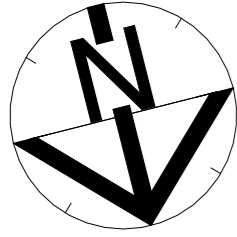
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CT154500/1
5260m²

Site coverage as per 11.4.1 (A1) not more than 400m²
 Site coverage for proposed work = 274.61m²
 Site coverage for existing shed = 119m²
 Total = 393.61m²

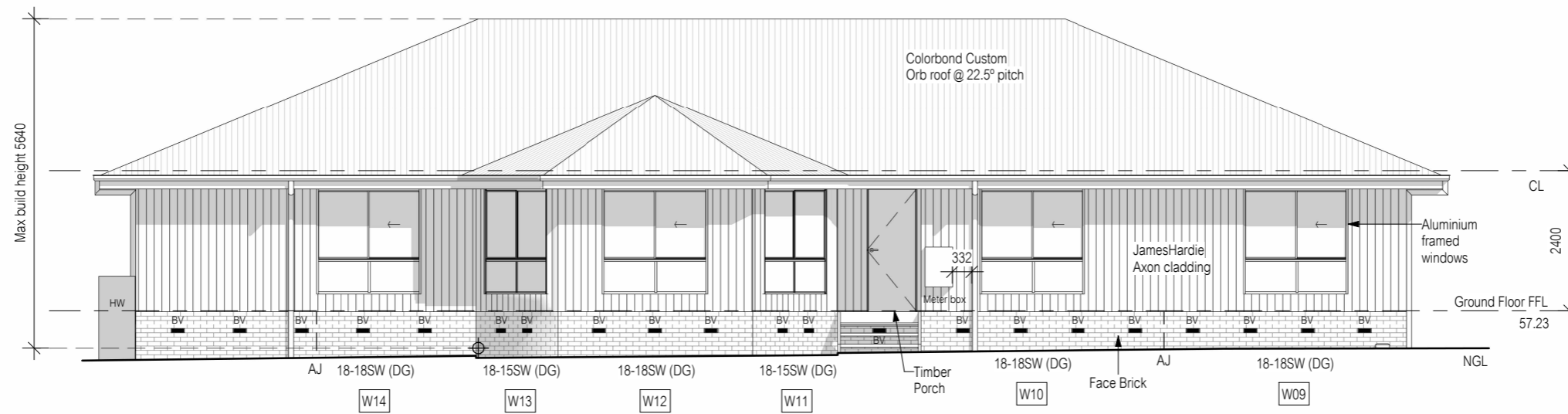


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					Drawn Date Scale	KV 30 January 2023 1:200		AP2022-2171 Sheet 01a/03	

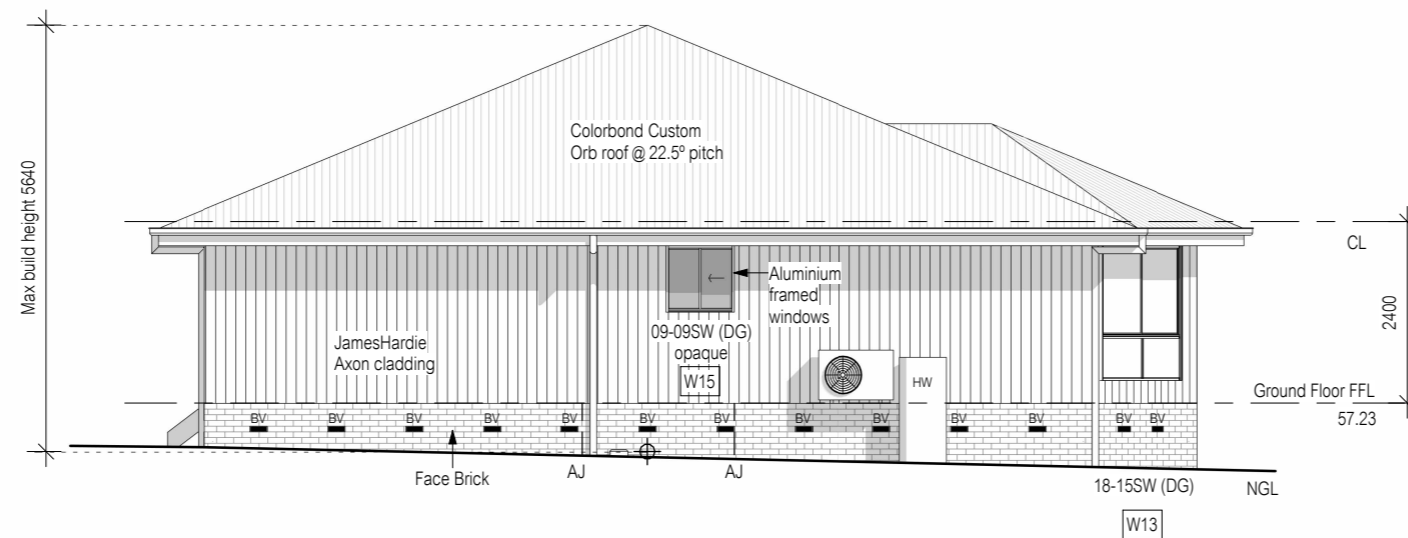


No. Date Int. Amendment changes as per cover sheet	Floor Area = 212.88m ² Articulation joints Smoke Alarm (interconnected where more than 1)	All window sizes to be checked and/or confirmed on site prior to ordering glazing units	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED WALLIS RESIDENCE 41a Glen Lea Road PONTVILLE		FLOOR PLAN	
	Drawn KV AP2022-2171	Date 30 January 2023 Sheet						
	Scale 1:100	02/03						
	Copyright ©							

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
JamesHardie Axon cladding	tbc



North Elevation



East Elevation

SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 3.4.1)	
-	Minimum Sub-floor Ventilation 6000mm ² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)
-	Vents to be evenly spaced around perimeter of dwelling.
-	Vents to be located within 600mm of corners.
-	If located within a bushfire prone area, vents to be BAL compliant as per AS3959. e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:
AJ - Articulation Joint
BV - Brick Vent

Shadows shown for stylisation purposes only

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
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PONTVILLE



ELEVATIONS SHEET 1

Drawn KV AP2022-2171

Date 30 January 2023 Sheet

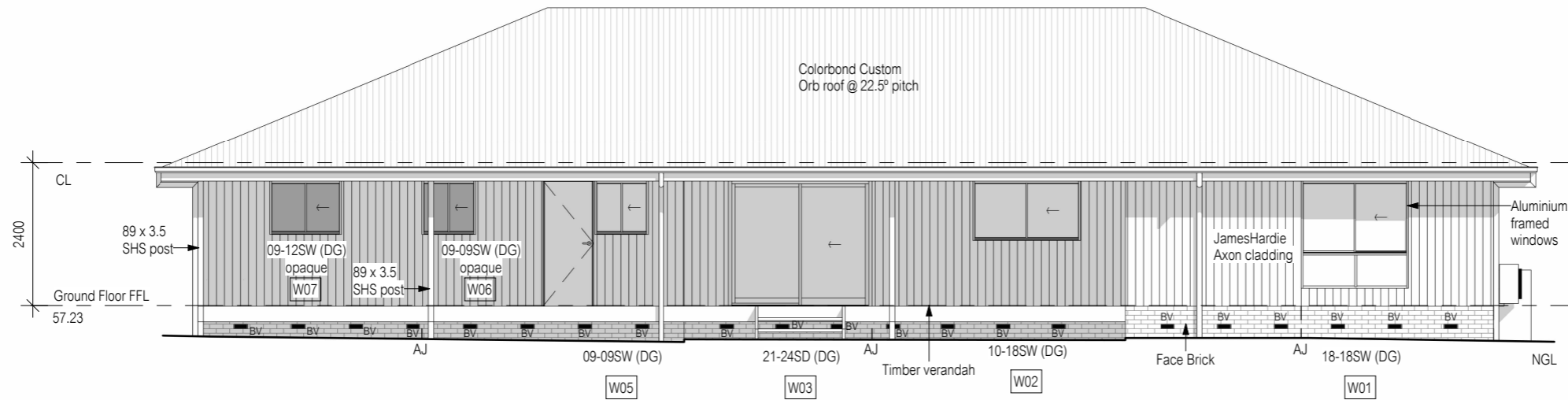
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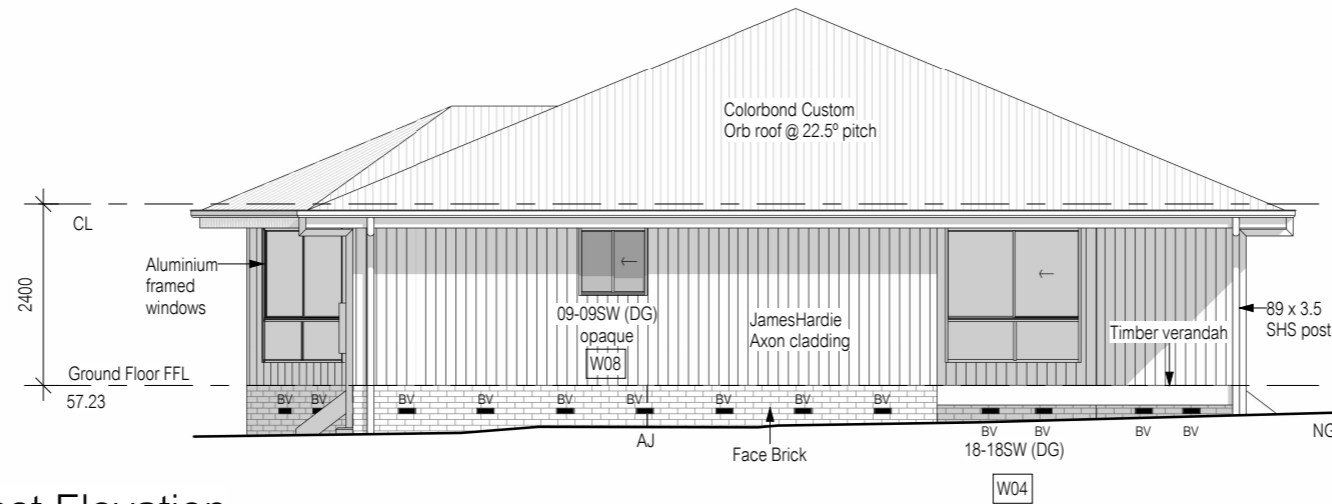
03/03

No.	Date	Int.	Amendment changes as per cover sheet

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
JamesHardie Axon cladding	tbc



South Elevation



West Elevation

SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 3.4.1)

- Minimum Sub-floor Ventilation 6000mm² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)
- Vents to be evenly spaced around perimeter of dwelling.
- Vents to be located within 600mm of corners.
- If located within a bushfire prone area, vents to be BAL compliant as per AS3959. e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

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AJ - Articulation Joint
BV - Brick Vent

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PROPOSED WALLIS RESIDENCE
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ELEVATIONS SHEET 2

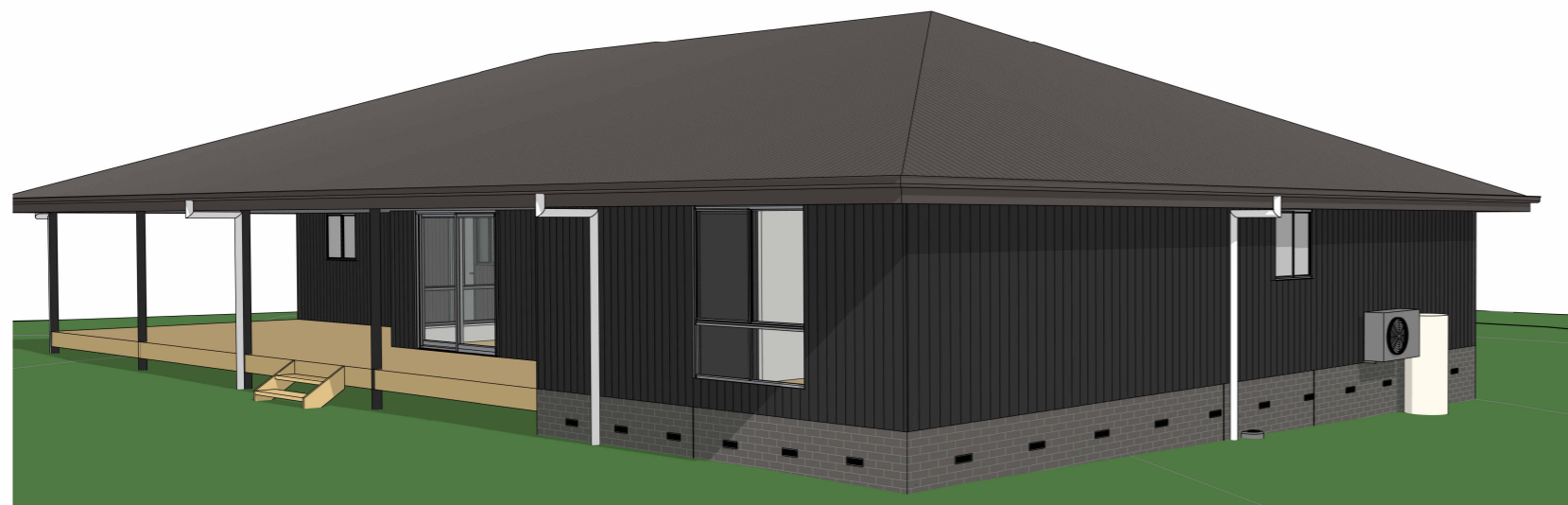
Drawn KV AP2022-2171

Date 30 January 2023 Sheet

Scale 1:100

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No.	Date	Int.	Amendment changes as per cover sheet



No.	Date	Int.
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Amendment changes as per cover sheet
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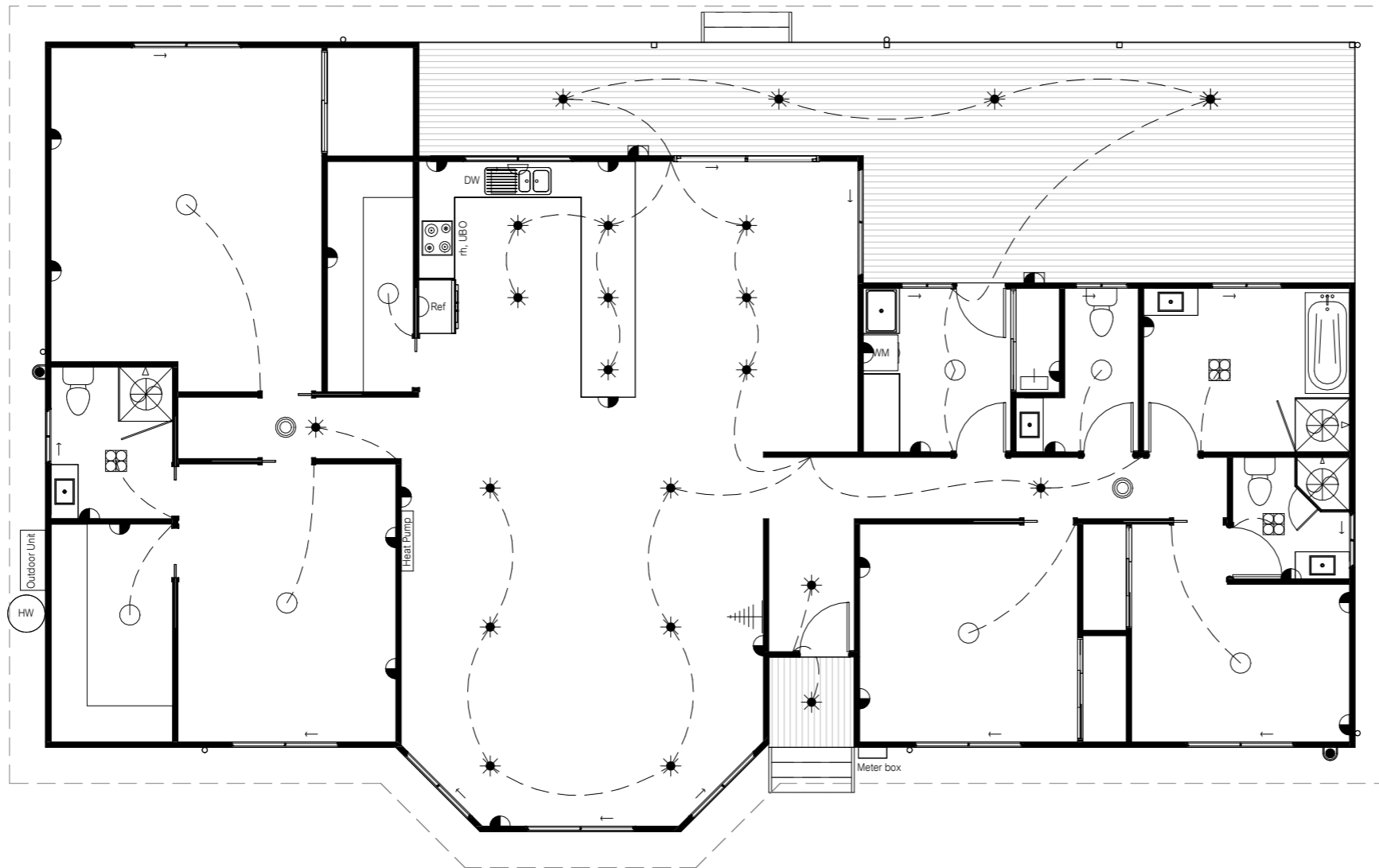
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PROPOSED WALLIS RESIDENCE
41a Glen Lea Road
PONTVILLE



PERSPECTIVE VIEWS		
Drawn	KV	AP2022-2171
Date	30 January 2023	Sheet
Scale		03b/03
Copyright ©		

NOTE
NBN CAT6 data point &
GPO located second shelf
from top in Linen



LEGEND (W = Wattage e.g. 35W = 35 Watts.)

- STANDARD CEILING LIGHT POINT (30W)
- DOWNLIGHT POINT (UNVENTED) (35W)
- ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
- PENDANT LIGHT (30W)
- WALL LIGHT POINT (30W)
- 2 x 900mm FLUORESCENT LIGHT POINT (36W)
- 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
- ✕ LIGHT SWITCH
- ◡ SINGLE POWER POINT
- ◢ DOUBLE POWER POINT
- ◣ DOUBLE POWER POINT WITH USB
- ◤ WATER PROOF POWER POINT
- ⊙ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
- ⊞ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 3.8.7.3)
- ⊟ TV CONNECTION POINT
- ▽ TELEPHONE CONNECTION POINT
- ⊠ SENSOR LIGHT
- ⊕ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 3.8.7.3)
- ⊖ FLOOD LIGHT
- ⊞ CAT 6 CONNECTION POINT
- ▶ TREAD LIGHTS (2W)
- ⊞ DUCTED VACUUM POINT
- ⊞ SECURITY SYSTEM KEYPAD
- ⊞ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air or to a roof space that is ventilated in accordance with 3.8.7.4

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ELECTRICAL PLAN

Drawn	KV	AP2022-2171
Date	30 January 2023	Sheet
Scale	1:100	

09/03

No.	Date	Int.	Amendment changes as per cover sheet
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Lighting

Class 1 buildings



Main Menu Help

Calculator

Building name/description
PROPOSED WALLIS RESIDENCE, 41a Glen Lea Road, PONTVILLE

Classification
Class 1

Number of rows preferred in table below: 18 (as currently displayed)

Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The % of Allowance Used* outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor			SATISFIES PART 3.12.5.5			
						Adjustment Factors	Dimming % Area	Dimming % of Full Power	Design Lumen Depreciation Factor	Lamp or Illumination Power Density	System Share of % of Aggregate Allowance Used	System Design
1	Bed 3	Bedroom	27.4 m ²	30 W	Class 1 building					5.0 W/m ²	1.1 W/m ²	2% of 44%
2	WIP	Other	5.5 m ²	30 W	Class 1 building					5.0 W/m ²	5.5 W/m ²	12% of 44%
3	Kitchen	Kitchen	17.7 m ²	50 W	Class 1 building					5.0 W/m ²	2.8 W/m ²	6% of 44%
4	Dining	Living room	17.9 m ²	30 W	Class 1 building					5.0 W/m ²	1.7 W/m ²	4% of 44%
5	L'dry	Laundry	8.1 m ²	30 W	Class 1 building					5.0 W/m ²	3.7 W/m ²	8% of 44%
6	WC	Toilet	4.1 m ²	30 W	Class 1 building					5.0 W/m ²	7.3 W/m ²	16% of 44%
7	Bath	Bathroom	9.3 m ²	8 W	Class 1 building					5.0 W/m ²	0.9 W/m ²	2% of 44%
8	Ens.	Bathroom	3.9 m ²	8 W	Class 1 building					5.0 W/m ²	2.0 W/m ²	4% of 44%
9	Bed 1	Bedroom	12.5 m ²	30 W	Class 1 building					5.0 W/m ²	2.4 W/m ²	5% of 44%
10	Bed 2	Bedroom	14.5 m ²	30 W	Class 1 building					5.0 W/m ²	2.1 W/m ²	5% of 44%
11	Corridor	Corridor	7.9 m ²	10 W	Class 1 building					5.0 W/m ²	1.3 W/m ²	3% of 44%
12	Entry	Other	3.1 m ²	10 W	Class 1 building					5.0 W/m ²	3.2 W/m ²	7% of 44%
13	Living	Living room	35.6 m ²	60 W	Class 1 building					5.0 W/m ²	1.7 W/m ²	4% of 44%
14	Bed 4	Bedroom	16.7 m ²	30 W	Class 1 building					5.0 W/m ²	1.8 W/m ²	4% of 44%
15	WIR	Other	7.3 m ²	30 W	Class 1 building					5.0 W/m ²	4.1 W/m ²	9% of 44%
16	Ens.	Bathroom	5.1 m ²	8 W	Class 1 building					5.0 W/m ²	1.6 W/m ²	3% of 44%
17	Hall	Other	3.8 m ²	10 W	Class 1 building					5.0 W/m ²	2.6 W/m ²	6% of 44%
18	Verandah	Verandah or balcony	46.6 m ²	40 W	Verandah or balcony					4.0 W/m ²	0.9 W/m ²	100% of 23%

247.0 m² 474 W

	Allowance	Design Average
Class 1 building	5.0 W/m ²	2.2 W/m ²
Verandah or balcony	4.0 W/m ²	0.9 W/m ²

if inputs are valid

WINDOW MANUFACTURER: (?????WINDOW TYPE CHANGE???)

LEGEND:
SW = Sliding Window, AW = Awning Window, SD = Sliding door, FD = French Door, BRPG = Bushfire Rated Privacy Glass
NOTE: Window tags including (DG) are to be Double Glazed, otherwise they are to be single glazed.

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures.
Windows labelled YES in "Restricted/protected" column to comply with N.C.C. 3.9.2.6 & 3.9.2.7
* - Glass specification changed to comply with Bushfire requirements (Refer to Sheet ---)

WINDOW NUMBER	SIZE / TYPE	ID	Uw	SHGC	RESTRICTED
W01	18-18SW (DG)				
W02	10-18SW (DG)				
W03	21-24SD (DG)				
W04	18-18SW (DG)				
W05	09-09SW (DG)				
W06	09-09SW (DG) opaque				
W07	09-12SW (DG) opaque				
W08	09-09SW (DG) opaque				
W09	18-18SW (DG)				
W10	18-18SW (DG)				
W11	18-15SW (DG)				
W12	18-18SW (DG)				
W13	18-15SW (DG)				
W14	18-18SW (DG)				
W15	09-09SW (DG) opaque				

Area	Insulation Details
Roof	Sarking (vapour permeable) OR R1.3 Anticon Sarking
Ceiling	R4.1 bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R2.0 bulk insulation (or equivalent) with 1 layer sisalation (vapour permeable). Sisalation only to GARAGE
Walls (Internal)	N/A or R2.0 bulk insulation (or equivalent) to internal walls adjacent to GARAGE / SUBFLOOR / ROOFSPACE
Floors	R2.0 bulk insulation (or equivalent) to all timber floors

NOTE:
Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.
Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification.
Min. 20mm clearance required between roofing and vapour permeable sarking (i.e. batten over sarking OR sarking over batten + vented batten)
Min. 25mm air gap above bulk insulation into roof space.
Where solar tubes are located, diffusers are to be installed.
Where skylights are located, ceiling insulation is to be installed to length of shaft.

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THIS LIGHTING CALCULATOR
By accessing or using this calculator, you agree to the following: While care has been taken in the preparation of this calculator, it may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website (www.abcb.gov.au). The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (howsoever caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, merchantability, fitness for any purpose or completeness of this publication or any information which may appear on any linked websites, or in other linked information sources, and all such representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.

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No.	Date	Int.
		Amendment changes as per cover sheet

Notes

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers specifications.
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Designer:
ANOTHER PERSPECTIVE PTY LTD
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Client / Project info
PROPOSED WALLIS RESIDENCE
41a Glen Lea Road
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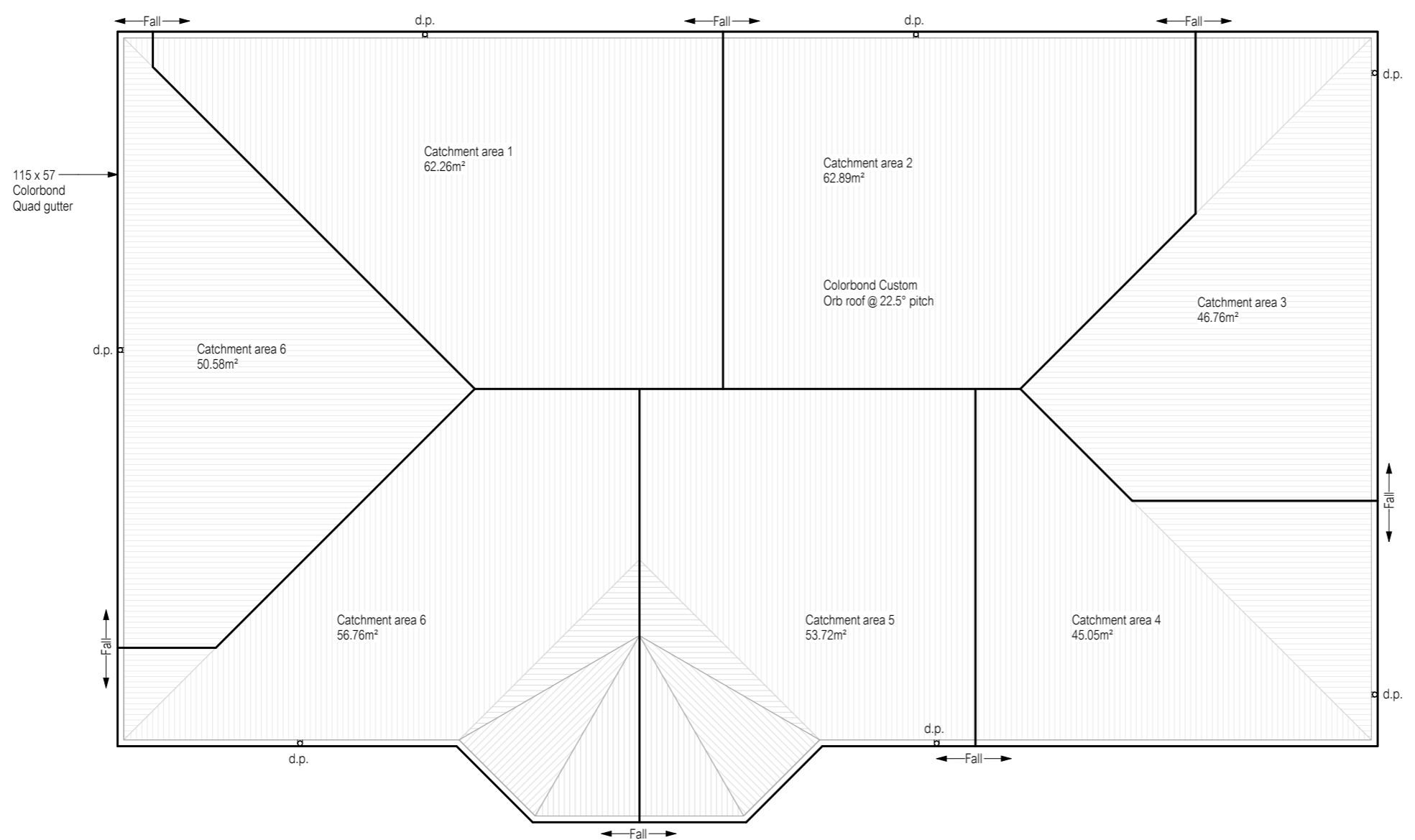
CALCULATIONS & SCHEDULES	
Drawn	KV AP2022-2171
Date	30 January 2023 Sheet
Scale	10/03

GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Table 3.5.2.4:
Controlled front bead height with the front bead of the gutter installed a minimum of 10mm below the top of the fascia.

Batten fixings:
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.



ROOF VENTILATION GUIDE:
Ventilation calculations must be read in conjunction with *CBOS - Condensation in Buildings - Tasmanian Designers' Guide - Version 2 (published April 2019)*.

Continuous gap:
Supply Continuous gap at eaves is: 25mm for <16° pitch, 10mm for >16° pitch
Exhaust Continuous gap at ridge is at least 5mm for all roof pitches

OR

Roof vents:
The minimum vent area should be:
a) Ceiling area/150 for <16° pitch, or
b) Ceiling area/300 for >16° pitch

Supply 75% of ventilation should be supply
Exhaust 25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

ROOF VENTILATION CALCULATION

Roof vents:	
Ceiling Area:	206.52m ²
Roof Pitch:	22.5°
Supply area required (75%):	0.52m ²
Exhaust area required (25%):	0.17m ²
Example	
Vent Width	200mm
Vent Length	400mm
Vent area	0.08m ²
Opening	50%
Supply number required	13 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge
AS3959 compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones.	

Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah ¹	303.98	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	312.41	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	378.02	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	100	Design Rainfall Intensity (determined from Figure E8 from AS/NZS 3500.3)
ACDP	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	5.9	Ac ÷ Acdp
Downpipes Provided	7	1 Additional d.p. required to comply with max. 12m gutter length (N.C.C. 3.5.3.5 (a))

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ROOF PLAN		
Drawn	KV	AP2022-2171
Date	30 January 2023	Sheet
Scale	1:100	11/03

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