



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2022/201**

LOCATION OF AFFECTED AREA

**9 LILLE STREET, BRIGHTON**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**MULTIPLE DWELLINGS (2)**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **31/5/2023**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**General Manager**



**Brighton**  
going places

# UNIT DEVELOPMENT PROPOSED 2 UNITS

ID	NAME	REV
DA01	COVER	
DA02	SITE PLAN	A
DA03	LANDSCAPING PLAN	A
DA04	UNIT1 FLOOR PLAN	
DA05	UNIT1 ELEVATION	
DA06	UNIT 2 FLOOR PLAN	
DA07	UNIT 2 ELEVATION	

CHANGE LIST	
ID	NAME
A1	Driveway layout updated as per civil plan



LOCATION PLAN/SATELLITE IMAGERY

1:2000

## GENERAL NOTES

GENERAL  
© REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY  
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

**LAND TITLE REFERENCE**  
VOLUME (PLAN): 182231/119  
**DESIGN WIND SPEED**  
WIND LOADING TO AS 4055: N2

**SOIL CLASSIFICATION**  
SOIL CLASSIFICATION TO AS 2870: M

**CLIMATE ZONE FOR THERMAL DESIGN**  
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

**BUSHFIRE PRONE AREA BAL RATING**  
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: LOW

**CORROSION ENVIRONMENT**  
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

**KNOWN SITE HAZARDS:** n/a

AREA SCHEDULE:	
DRIVEWAY	212.62m <sup>2</sup>
UNIT1	96.6m <sup>2</sup>
UNIT1 ASSOCIATED POS	118.71m <sup>2</sup>
UNIT2	97.02m <sup>2</sup>
UNIT2 ASSOCIATED POS	156.66m <sup>2</sup>
SITE AREA	697m <sup>2</sup>
SITE COVERAGE	27.8%

## ISSUE HISTORY

ID	NAME	REVISION	CHANGES
<b>A, Response Council's RFI, 5/05/2023 5:15 PM</b>			
DA02	SITE PLAN	A	A1
DA03	LANDSCAPING PLAN	A	A1



## GENERAL NOTES

Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled.  
Contractors shall submit samples and shop drawings before commencing work. All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Wilson Homes and must not be used, reproduced or copied wholly or in part without the written permission of Wilson Homes

Rev ID	Description	Date

DESIGNER:  
© Oramatis Studio PTY LTD  
212 Elizabeth Street, Hobart  
p: (03) 6286 8440  
e: admin@oramatis.com.au  
LIC: CC6540

PROJECT  
UNIT DEVELOPMENT  
9 LILLE STREET, BRIGHTON

CLIENT  
P & K GROUP PTY LTD

REVISION  
5/05/2023

PROJECT ID  
713449

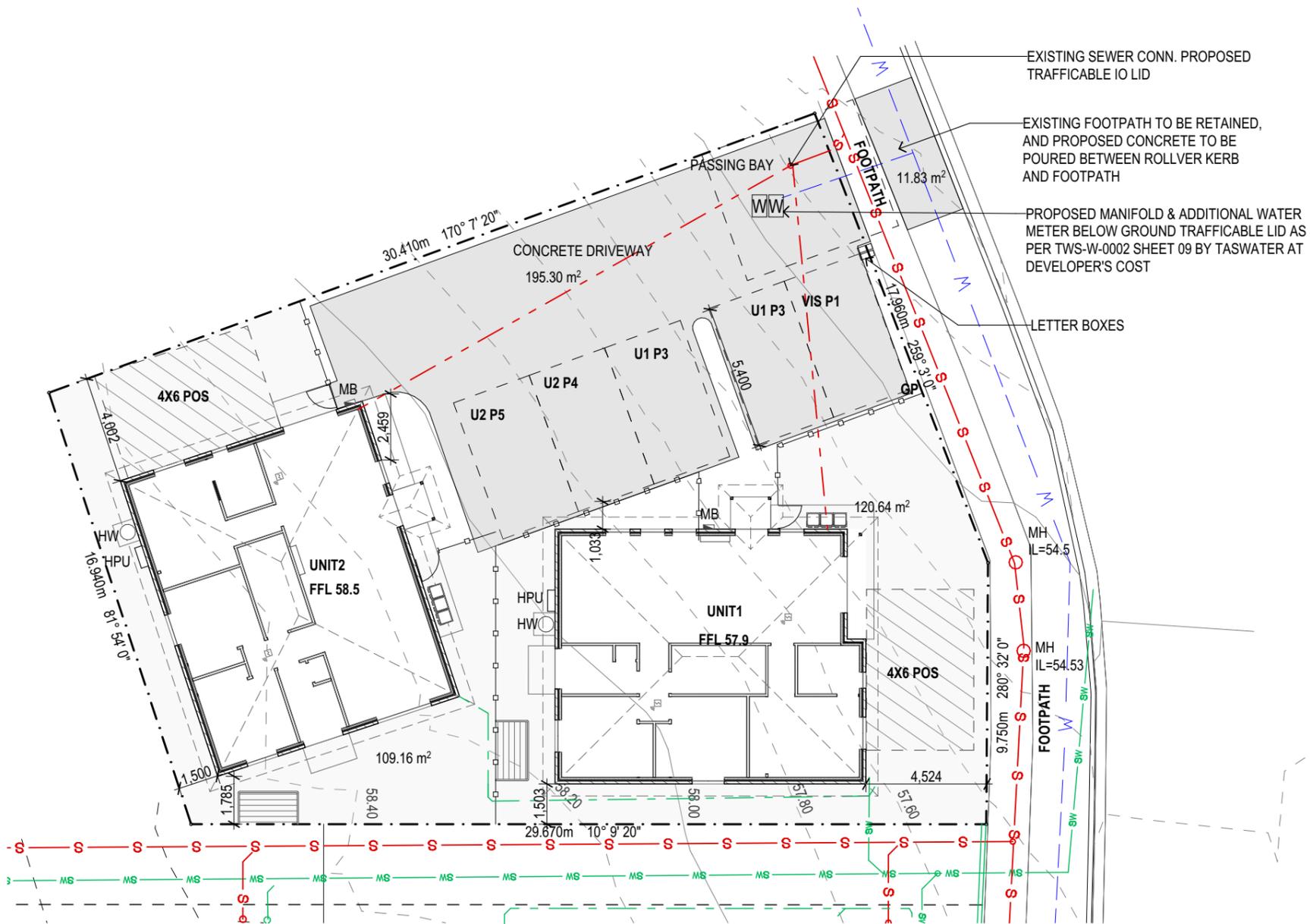
CHECKED BY  
A.HILL

SCALE  
AS SHOWN @ A3

DRAWN BY  
C.LI

PAGE  
**DA01**

DRAWING  
COVER



**LEGEND**

- GP GRATED PIT 450SQ
- W WATER METER
- - - PROPOSED SEWER LINE AS TO THE SIZE OF THE LOT CONNECTION
- - - PROPOSED STORM WATER LINE AS TO THE SIZE OF THE LOT CONNECTION
- S - SEWER MAIN
- SW - STORMWATER MAIN
- W - WATER MAIN

NOTE: SITE DRAINAGE REFE TO CIVIL PLAN

**AREA SCHEDULE:**

DRIVEWAY+APRON	181.58m <sup>2</sup> +11.8m <sup>2</sup>
UNIT1	107.33m <sup>2</sup>
UNIT1 ASSOCIATED POS	120.64m <sup>2</sup>
UNIT2	110.2m <sup>2</sup>
UNIT2 ASSOCIATED POS	109.16m <sup>2</sup>
SITE AREA	682.7m <sup>2</sup>
SITE COVERAGE	27.8%

**1** **SITE PLAN**  
1:200



**GENERAL NOTES**

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Rev ID	Description	Date
A	Driveway layout updated as per civil plan	5/05/2023

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**PROJECT**

UNIT DEVELOPMENT  
9 LILLE STREET, BRIGHTON

**CLIENT**

P & K GROUP PTY LTD

REVISION	DATE	SCALE
A	5/05/2023	AS SHOWN @ A3

PROJECT ID	CHECKED BY	DRAWN BY
713449	A.HILL	C.LI

PAGE	NORTH
DA02	

**DRAWING**

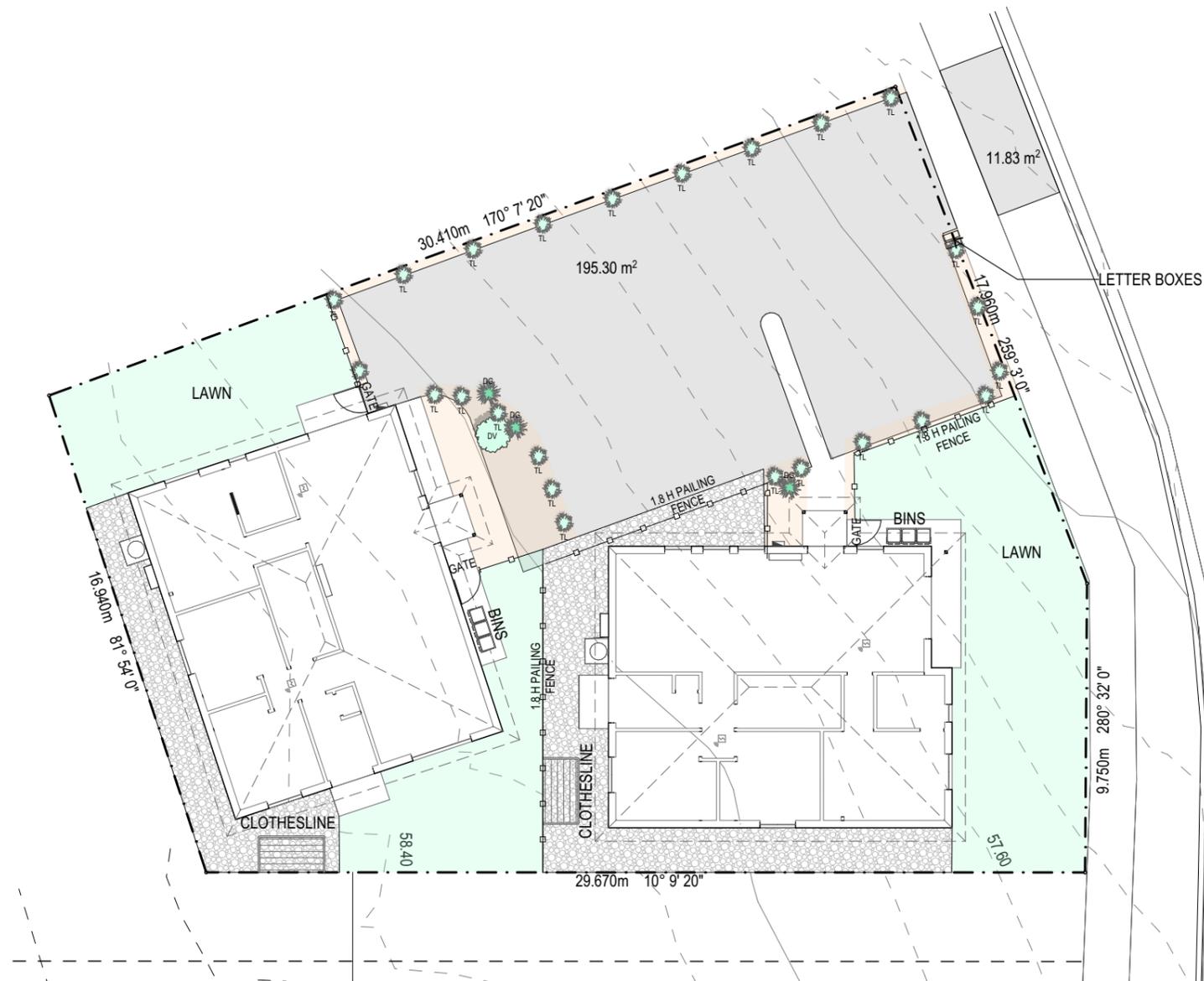
SITE PLAN

PLANTS SCHEDULE								
Plan Preview	Preview Picture	Code	Plant Type	Common Name	Botanical Name	Mature Spread(mm)	Quantity	Pot Size (mm)
		DG	Iris	Fairy Iris	Diets Grandiflora	900	3	140
		DV	Tree	broadleaf hopbush	Dodonaea viscosa	2,000	1	140
		TL	Rush	Mat Rush	Lomandrea longifolia Tanika	650	24	140

NOTE: WHERE THE PREFERRED SUPPLIER IS UNABLE TO SUPPLY THE PLANTS LISTED WITHIN THE PLANTING SCHEDULE DUE TO SEASONALITY/SUPPLY ISSUES, A SUBSTITUTE AS CLOSE AS PRACTICAL TO THE NATIVE LISTED, THAT IS AVAILABLE AT THE TIME OF PLANTING WILL BE INCLUDED.

**LEGEND**

- SEEDED LAWN
- MULCHED AREA
- GRAVEL AREA



1 LANDSCAPING PLAN  
1:200



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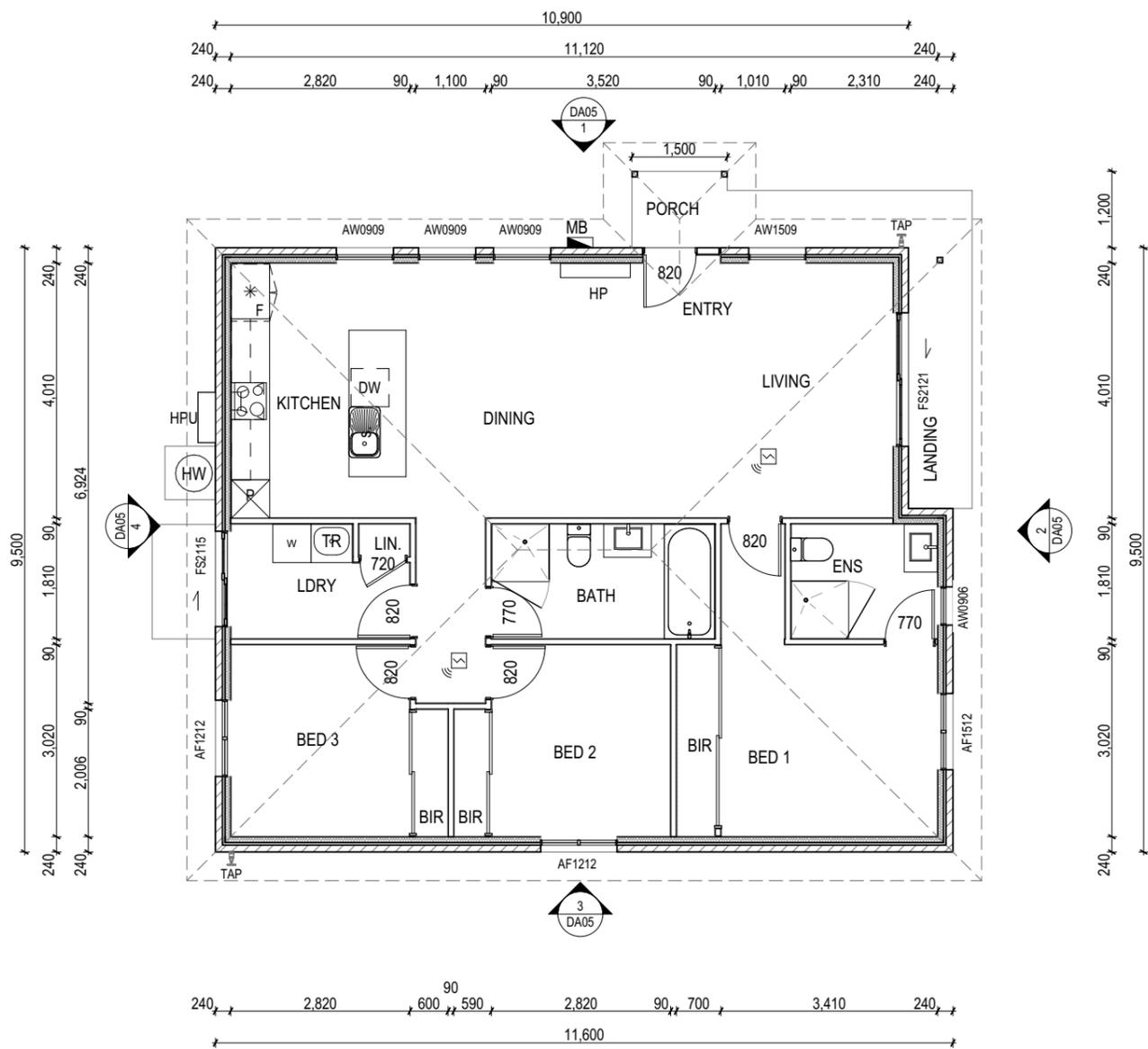
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PROJECT  
UNIT DEVELOPMENT  
9 LILLE STREET, BRIGHTON  
CLIENT  
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REVISION	DATE	SCALE
A	5/05/2023	AS SHOWN @ A3
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713449	A.HILL	C.LI

PAGE  
DA03  
DRAWING  
LANDSCAPING PLAN  
NORTH



AREA SCHEDULE	
	m <sup>2</sup>
UNIT 1 HOUSE	107.33
UNIT 1 LANDING	10.03
UNIT 1 PORCH	1.80

**UNIT 1 FLOOR PLAN**

1:100



**GENERAL NOTES**

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**PROJECT**

UNIT DEVELOPMENT  
 9 LILLE STREET, BRIGHTON

**CLIENT**

P & K GROUP PTY LTD

REVISION	DATE	SCALE
	5/05/2023	AS SHOWN @ A3

PROJECT ID	CHECKED BY	DRAWN BY
713449	A.HILL	C.LI

**PAGE**

DA04

**DRAWING**

UNIT1 FLOOR PLAN

**NORTH**



1 WEST ELEVATION  
1:100



2 NORTH ELEVATION  
1:100

**MATERIAL & FINISHES**  
**ROOF**

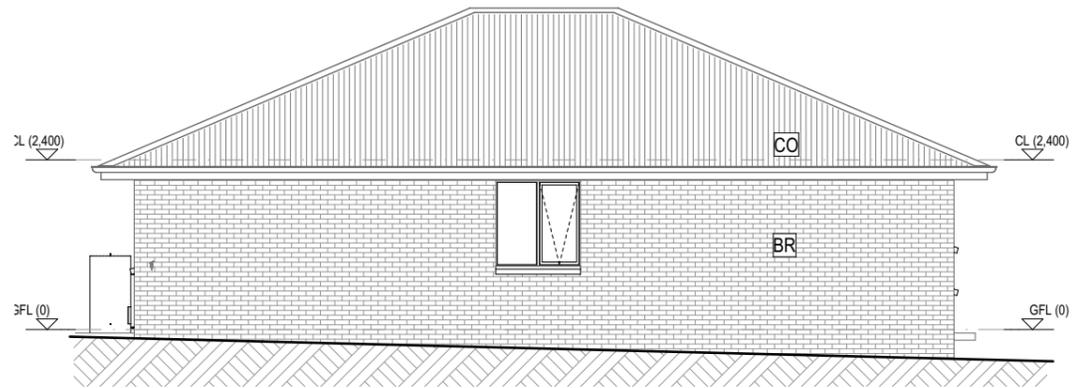
**CO** CUSTOM ORB ROOF SHEET  
COLOUR: COLOURBOND SURFMIST®

**WALL**

**BR** BRICK - ACCESS: SHALE

**COLUMN**

**C-1** STEEL COLUMN. FINISH: 2-PACK. COLOUR TO MATCH WITH ROOF CLADDING - COLOURBOND SURFMIST®



3 EAST ELEVATION  
1:100



4 SOUTH ELEVATION  
1:100



GENERAL NOTES

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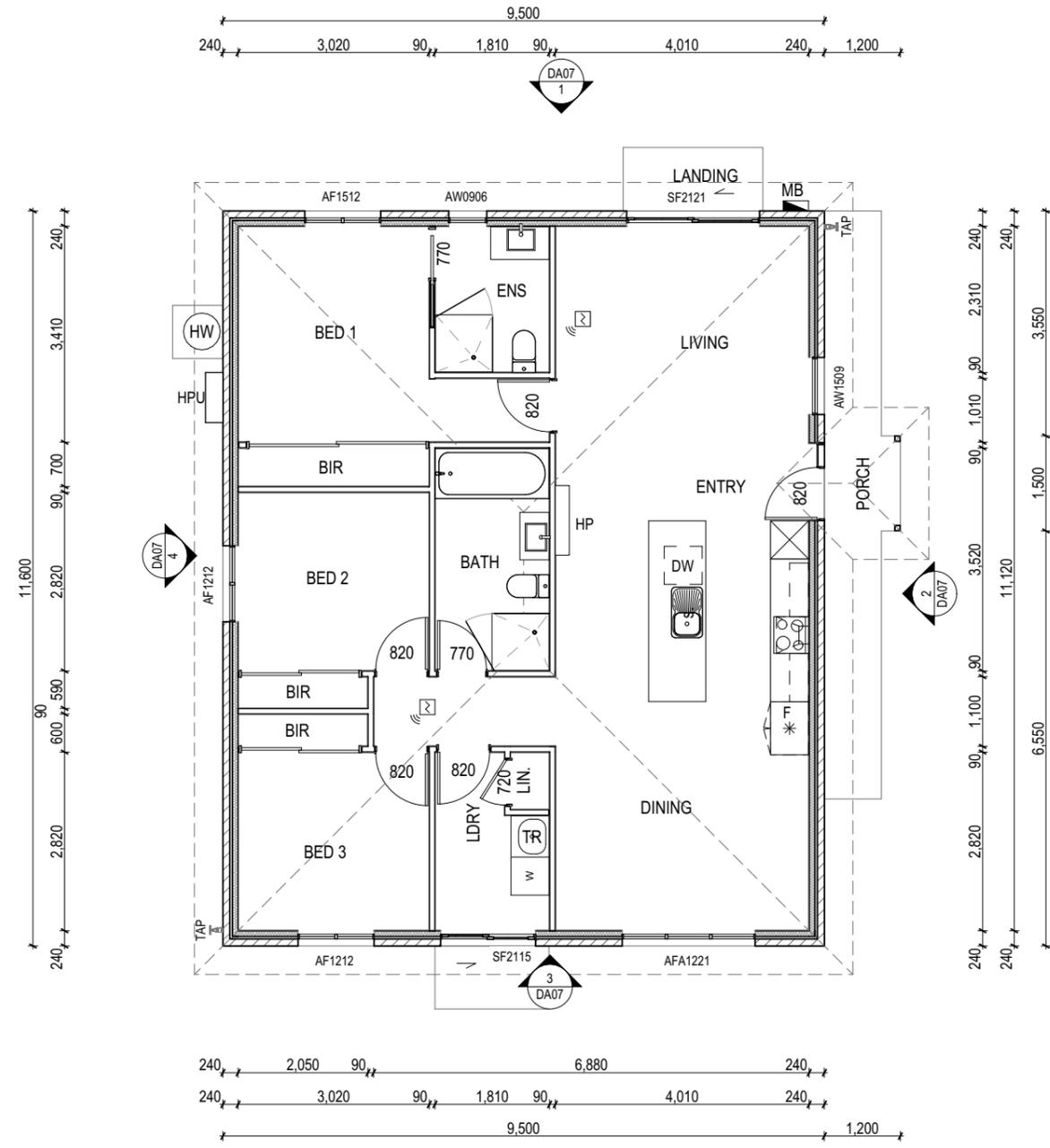
Rev ID	Description	Date
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PROJECT UNIT DEVELOPMENT 9 LILLE STREET, BRIGHTON	REVISION	DATE 5/05/2023	SCALE AS SHOWN @ A3
CLIENT P & K GROUP PTY LTD	PROJECT ID 713449	CHECKED BY A.HILL	DRAWN BY C.LI

DATE 5/05/2023	CHECKED BY A.HILL
SCALE AS SHOWN @ A3	DRAWN BY C.LI

PAGE DA05	NORTH
DRAWING UNIT1 ELEVATION	



AREA SCHEDULE	
	m <sup>2</sup>
UNIT 2 HOUSE	110.20
UNIT 2 LANDING	11.67
UNIT 2 PORCH	1.80

**UNIT 2 FLOOR PLAN**

1:100



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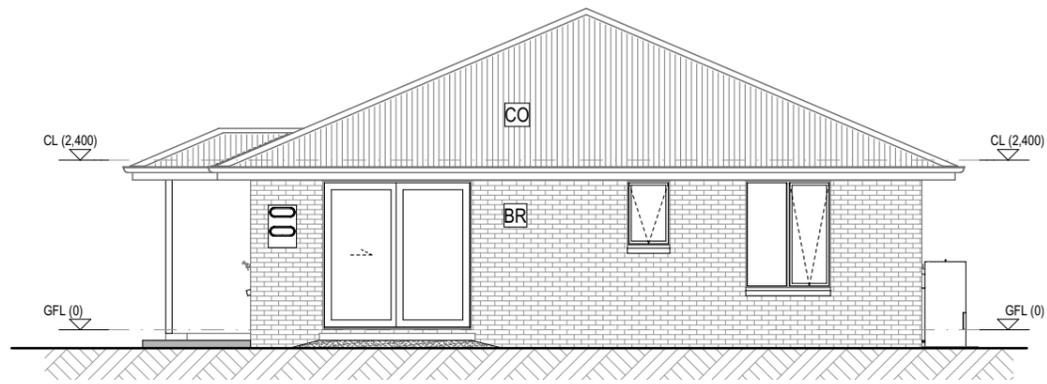
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**PROJECT**  
 UNIT DEVELOPMENT  
 9 LILLE STREET, BRIGHTON

**CLIENT**  
 P & K GROUP PTY LTD

REVISION	DATE	SCALE
	5/05/2023	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
713449	A.HILL	C.LI

PAGE	NORTH
DA06	
DRAWING	
UNIT 2 FLOOR PLAN	



1 WEST ELEVATION  
1:100



2 NORTH ELEVATION  
1:100

**MATERIAL & FINISHES**

**ROOF**

CO CUSTOM ORB ROOF SHEET  
COLOUR: COLOURBOND SURFMIST®

**WALL**

BR BRICK - ACCESS: SHALE

**COLUMN**

C-1 STEEL COLUMN. FINISH: 2-PACK. COLOUR  
TO MATCH WITH ROOF CLADDING -  
COLOURBOND SURFMIST®



3 EAST ELEVATION  
1:100



4 SOUTH ELEVATION  
1:100



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UNIT DEVELOPMENT  
9 LILLE STREET, BRIGHTON  
CLIENT  
P & K GROUP PTY LTD

REVISION  
PROJECT ID  
713449

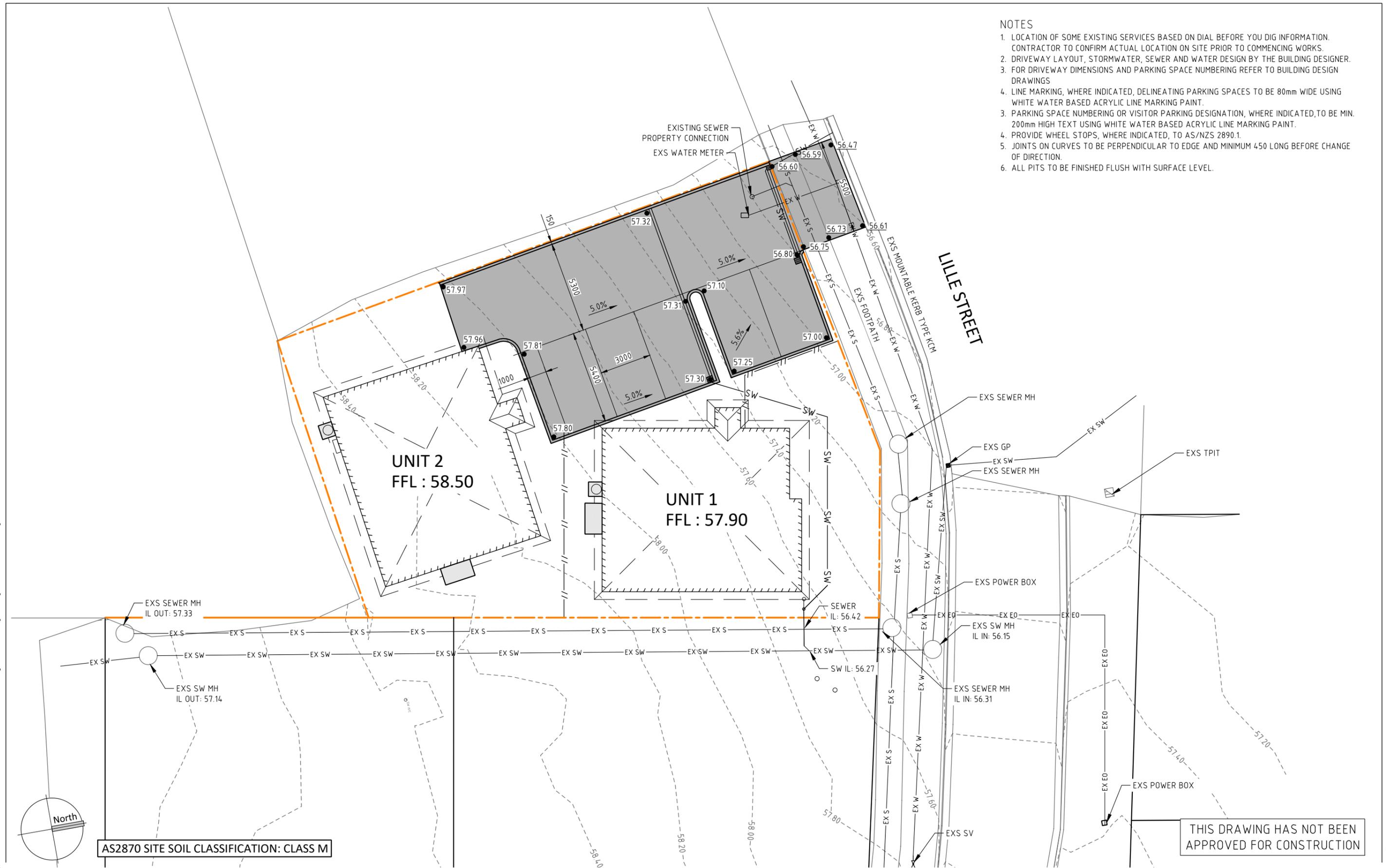
DATE  
5/05/2023  
CHECKED BY  
A.HILL

SCALE  
AS SHOWN @ A3  
DRAWN BY  
C.LI

PAGE  
DA07  
DRAWING  
UNIT 2 ELEVATION

**NOTES**

1. LOCATION OF SOME EXISTING SERVICES BASED ON DIAL BEFORE YOU DIG INFORMATION. CONTRACTOR TO CONFIRM ACTUAL LOCATION ON SITE PRIOR TO COMMENCING WORKS.
2. DRIVEWAY LAYOUT, STORMWATER, SEWER AND WATER DESIGN BY THE BUILDING DESIGNER.
3. FOR DRIVEWAY DIMENSIONS AND PARKING SPACE NUMBERING REFER TO BUILDING DESIGN DRAWINGS
4. LINE MARKING, WHERE INDICATED, DELINEATING PARKING SPACES TO BE 80mm WIDE USING WHITE WATER BASED ACRYLIC LINE MARKING PAINT.
5. PARKING SPACE NUMBERING OR VISITOR PARKING DESIGNATION, WHERE INDICATED, TO BE MIN. 200mm HIGH TEXT USING WHITE WATER BASED ACRYLIC LINE MARKING PAINT.
6. PROVIDE WHEEL STOPS, WHERE INDICATED, TO AS/NZS 2890.1.
7. JOINTS ON CURVES TO BE PERPENDICULAR TO EDGE AND MINIMUM 450 LONG BEFORE CHANGE OF DIRECTION.
8. ALL PITS TO BE FINISHED FLUSH WITH SURFACE LEVEL.



3/1/2023 10:17:37 AM S:\Projects\2023\23.0013 9 Lille Street - GR drawings\CV - Working drawings\_model\23.0013 C.dwg

REV	DESCRIPTION	APP'D	DATE
B	PRELIMINARY ISSUE		01.03.2023

**GANDY AND ROBERTS CONSULTING ENGINEERS**  
 159 DAVEY STREET, HOBART TASMANIA, AUSTRALIA 7000  
 www.gandyandroberts.com.au  
 mail@gandyandroberts.com.au  
 ph 03 6223 8877

**UNIT DEVELOPMENT (713449)**  
 9 LILLE STREET, BRIGHTON TAS 7030  
 DRAWING TITLE  
**SITWORK PLAN**

DESIGNED	DRAWN	CHECKED
DH	DS	-
PROJECT	DRAWING	REVISION
23.0013	C200	B

SCALE 1:200 @ A3

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16 March 2023

Planning  
Brighton Council  
Via email: [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au)  
Attention: Kelly Min

Dear Kelly

**APPLICATION NO. DA 2022 / 00201 - 9 LILLE STREET, BRIGHTON – MULTIPLE DWELLINGS (2)**

I refer to your request for further information dated 19 September 2022 and I am pleased to provide the following responses in support of the application:

• **Clause 8.4.6 A3/P3 of the planning scheme – Shared Driveway**

a) Plans have been amended to remove a section of concrete to increase the distance from the window on the northern side of Unit 2 to the driveway. Further reference is made to email dated 11 October 2022 that the two car parks closest to Unit 2 are allocated for use by this unit and therefore solely for the use of the occupants of Unit 2, deeming that this area of the driveway would be for the sole use of the occupants and visitors to Unit 2 for the purposes of turning and not a “shared” space, and response that the window to the northern side of Unit 2 no longer needed screening.

Reference sheets: DA02, DA05

b) Confirmation is provided that there will be 1.8m fence erected at the end of the driveway and confirm response in email dated 11 October 2022 that the 1.8m fencing will suffice in meeting the requirements for screening from the shared driveway.

Reference sheets: DA02, DA05

• **Policy 6.5 – Landscaping Policy**

Plans have been amended to include a landscaping plan as per the policy.

Reference: sheets: DA05

• **Stormwater**

Please see attached engineering design. These plans have been shared in advance with Leigh Wighton prior to submission with this response.

If you require any further detail on the attached, please do not hesitate to touch base with the undersigned on (03) 6213 9929.

Yours sincerely

A handwritten signature in black ink that reads 'Beth Downham'.

Beth Downham  
Project Coordinator

1300 595 050  
[wilsonhomes.com.au](http://wilsonhomes.com.au)

South 250 Murray Street, Hobart Tasmania  
North 117-119 Elizabeth St, Launceston Tasmania  
North West 83 Mount Street, Burnie Tasmania

## Submission to Planning Authority Notice

<b>Council Planning Permit No.</b>	DA 2022 / 00201	<b>Council notice date</b>	7/09/2022	
<b>TasWater details</b>				
<b>TasWater Reference No.</b>	TWDA 2022/01467-BTN	<b>Date of response</b>	13/09/2022	
<b>TasWater Contact</b>	Timothy Carr	<b>Phone No.</b>	0419 306 130	
<b>Response issued to</b>				
<b>Council name</b>	BRIGHTON COUNCIL			
<b>Contact details</b>	development@brighton.tas.gov.au			
<b>Development details</b>				
<b>Address</b>	9 LILLIE ST, BRIGHTON	<b>Property ID (PID)</b>	9774068	
<b>Description of development</b>	Multiple Dwellings x 2			
<b>Schedule of drawings/documents</b>				
	<b>Prepared by</b>	<b>Drawing/document No.</b>	<b>Revision No.</b>	<b>Date of Issue</b>
	Oramatis Studio Pty Ltd	Site Plan – DA02	-	05/07/2022
<b>Conditions</b>				
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater’s satisfaction and be in accordance with any other conditions in this permit.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer’s cost.</li> <li>3. Prior to commencing construction of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.</li> </ol> <p><b>DEVELOPMENT ASSESSMENT FEES</b></p> <ol style="list-style-type: none"> <li>4. The applicant or landowner as the case may be, must pay a development assessment fee of \$226.71 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.</li> </ol> <p style="padding-left: 40px;">The payment is required within 30 days of the issue of an invoice by TasWater.</p>				
<b>Advice</b>				
<b>General</b>				
<p>For information on TasWater development standards, please visit <a href="https://www.taswater.com.au/building-and-development/technical-standards">https://www.taswater.com.au/building-and-development/technical-standards</a></p> <p>For application forms please visit <a href="https://www.taswater.com.au/building-and-development/development-application-form">https://www.taswater.com.au/building-and-development/development-application-form</a></p>				

**Declaration**

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

**TasWater Contact Details**

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au