

LEGEND	
	PRIVATE OPEN SPACE 6x4m (24m <sup>2</sup> )
	UNIT PARKING SPACE 1
	UNIT PARKING SPACE 2
	ZONE BOUNDARIES
	R.T. RETAINING WALLS

SITE PLAN  
1:500

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

#### GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2019, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFERS FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

#### SITE DETAIL

HORIZONTAL DATUM IS ARBITRARY

VERTICAL DATUM IS ARBITRARY

#### WARNINGS:

- THE DETAIL SHOWN / RECORDED
- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
- IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
- SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.

PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

CONTOUR INTERVAL 0.2m

DRIVEWAY GRADIENT  
MAXIMUM GRADIENT 1:4 (25%)  
TO AS 2890

CAR PARKING GRADIENT  
PARALLEL TO PARKING ANGLE 1:20 (5%)  
CROSSFALL 1:16 (6.25%)

BATTER NOTE  
BATTER AS PER  
NCC 2019  
PART 3.1.1.1. & 3.1.1.2  
REFER TO STANDARD  
DETAILS TABLE

NOTE: DIMENSIONED BOUNDARY OFFSETS  
TO THE PROPOSED BUILDING ARE TO THE  
EXTERNAL CLADDING U.N.O.



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Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE, HERDSMANS  
COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drawing:  
SITE PLAN

Drafted by:  
A.G.C.

Approved by:  
F.G.G.

Date:

Scale:

10/02/2022

As indicated

Project/Drawing no:

Revision:

PD20174-02

09







# LEGEND

- PRIVATE OPEN SPACE  
6x4m (24m<sup>2</sup>)
- UNIT PARKING SPACE 1
- UNIT PARKING SPACE 2
- ZONE BOUNDARIES
- R.T. RETAINING WALLS



PART SITE PLAN B

1:250

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
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DEVELOPMENT  
LAMPRILL CIRCLE, HERDSMANS  
COVE  
Client name:  
CENTACARE EVOLVE HOUSING  
Drawing:  
PART SITE PLAN B

Drafted by:  
A.G.C.  
Date:  
10/02/2022  
Project/Drawing no:  
PD20174 -04

Approved by:  
Approver  
Scale:  
As indicated  
Revision:  
09











LEGEND

- PROPOSED TREE - Pn, Ep
- PROPOSED SHRUB - Dv, Mh
- PROPOSED GROUNDCOVER/GRASS - Lh, Mp
- GRAVEL / MULCH PATH
- LAWN
- MULCH OR SIMILAR
- CONCRETE PATH/PAVING
- CONCRETE DRIVEWAY
- ASPHALT DRIVEWAY
- LETTER BOX
- WASTE STORAGE 1.5m<sup>2</sup>
- PROPOSED WHEELIE BIN LOCATIONS ON COLLECTION DAY/S
- GATE CB CRASH BARRIER, REFER TO ELEVATIONS
- FENCE 1.8m HIGH U.N.O.
- FENCE SOLID TO 1.2m HIGH WITH 600mm SLATED TIMBER ABOVE SOLID SECTION
- NOISE BARRIER MIN 1.8m HIGH. REFER TO NOISE ASSESSMENT REPORT.
- SCR 1.7m HIGH FIXED SLATED TIMBER SCREEN WITH 25% UNIFORM TRANSPARENCY
- SECURITY LIGHTS
- KERB
- CLOTHES LINES
- CLOTHES LINES - WALL MOUNT
- ISLAND BLOCK & PAVING FREESTONE ECO RETAINING WALL SYSTEM OR SIMILAR

**SITE COVERAGE**  
BUILDING FOOTPRINT 4991.32 / SITE AREA 24236.92 = 0.2018  
TOTAL SITE COVERAGE 20.18%

**IMPERVIOUS SURFACES**  
NON-IMPERVIOUS SURFACES 12125.89 / SITE AREA 24236.92 = 0.5003  
TOTAL SITE FREE FROM IMPERVIOUS SURFACES 50.03%

PLANTING SCHEDULE						
ABB.	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT & SPREAD	POT SIZE	DENSITY	COUNT
EITHER HOBBART OR LAUNCESTON TREES						
Pn	PURUS NIVALIS SING PEAR	SING PEAR	1000mm x 4000mm	300mm	-	
Ep	EUCALYPTUS PACIFLORA	DWARF SINGSUM	1000mm x 4000mm	250mm	-	
HOBBART SHRUBS						
Dv	DODONAEA VISCOSEA MR GREEN	MR GREEN SHEEN BUSH	2000mm x 1000mm	140mm	1 per 1m <sup>2</sup>	
Mh	PESTRENGIA NARANGA	COASTAL ROSEMARY NARANGA	1000mm x 1000mm	140mm	1 per 1m <sup>2</sup>	
GRASSES / GROUNDCOVERS						
Lh	LYONANDRA TANAKKA	TANKKA	500mm x 500mm	140mm	3 per 1m <sup>2</sup>	
Mp	MYOPORUM PARVIFOLIUM	GREPPING BOOBALLA	300mm x 500mm	140mm	1 per 1m <sup>2</sup>	

SITE LANDSCAPING PLAN

1:500

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE, HERDSMANS  
COVE  
Client name:  
CENTACARE EVOLVE HOUSING  
Drawing:  
SITE LANDSCAPING PLAN

Drafted by:  
A.G.C.  
Date:  
10/02/2022  
Project/Drawing no:  
PD20174 -06

Approved by:  
F.G.G.  
Scale:  
As indicated  
Revision:  
09  
Accredited building practitioner: Frank Geskus -No CC246A







SITE DRAINAGE PLAN

1 : 500

PLANNING

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Project:  
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DEVELOPMENT  
LAMPRILL CIRCLE, HERDSMANS  
COVE  
Client name:  
CENTACARE EVOLVE HOUSING  
Drawing:  
SITE DRAINAGE PLAN

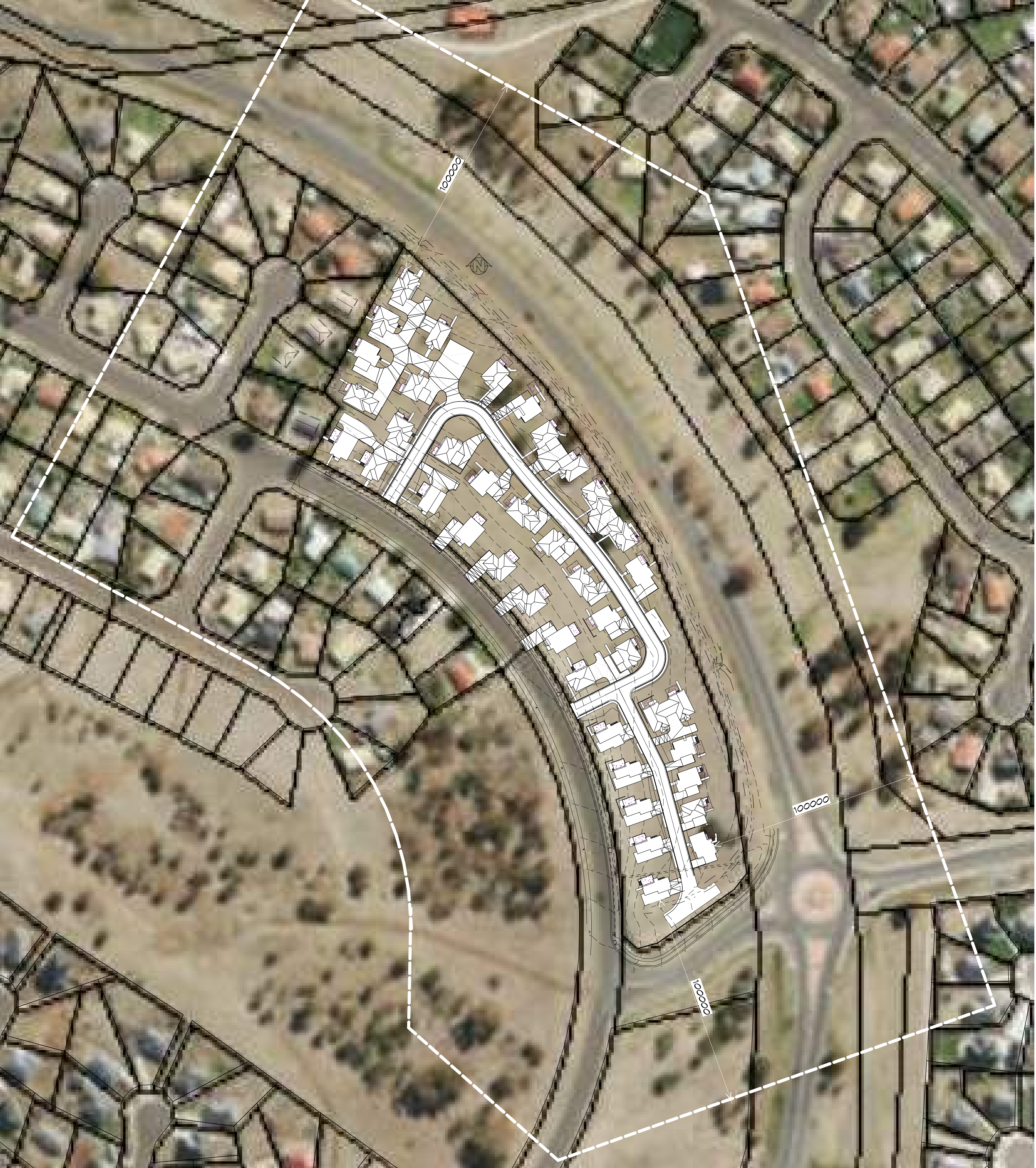
Drafted by: A.G.C.	Approved by: F.G.G.
Date: 10/02/2022	Scale: 1 : 500
Project/Drawing no: PD20174 -07	Revision: 09

bda BUILDING DESIGNER AUSTRALIA  
Accredited building practitioner: Frank Geskus -No CC246A



THIS SITE IS ZONED GENERAL RESIDENTIAL AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



LOCALITY PLAN  
1 : 1000

**Prime Design**

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Project:  
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LAMPRILL CIRCLE, HERDSMANS  
COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drawing:  
LOCALITY PLAN

Drafted by:  
A.G.C.

Approved by:  
F.G.G.

Date:  
10/02/2022

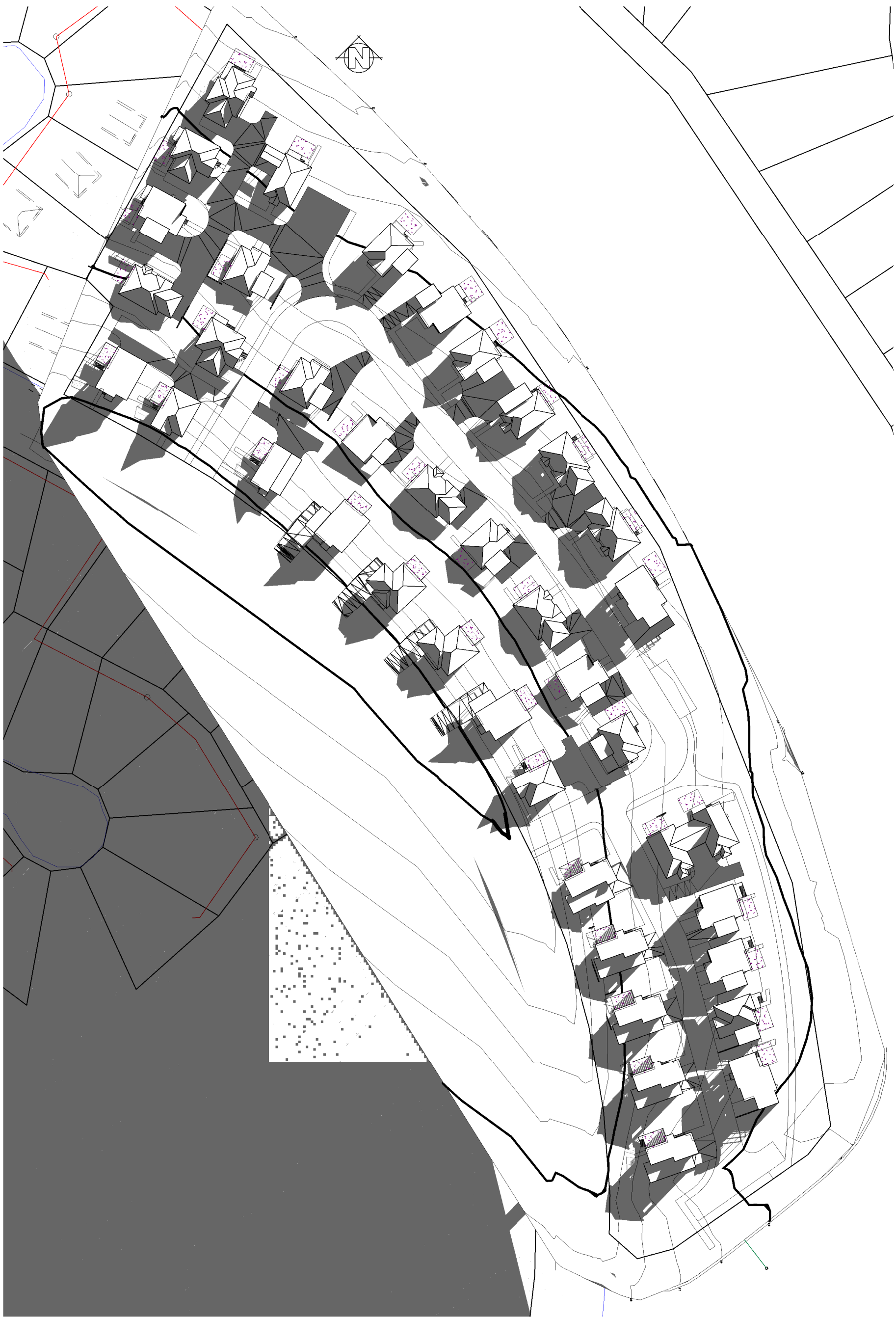
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Project/Drawing no:  
PD20174 -08

Revision:  
09

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Accredited building practitioner: Frank Geskus -No CC246A

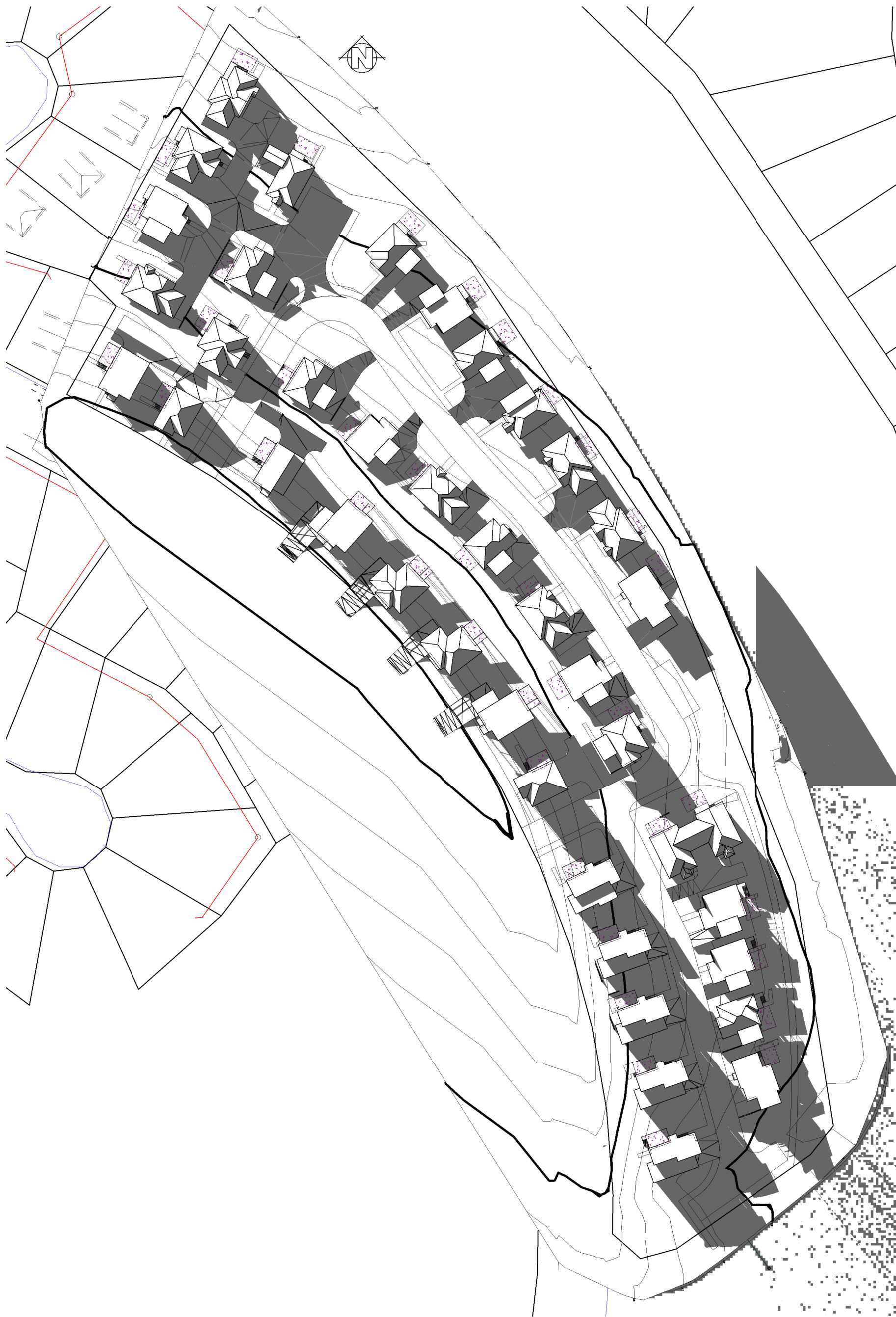




SHADOW DIAGRAM 21ST JUNE @ 9AM  
1 : 1000



SHADOW DIAGRAM 21ST JUNE @ 12PM  
1 : 1000



SHADOW DIAGRAM 21ST JUNE @ 3PM  
1 : 1000

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS









DRIVEWAY GRADIENT  
MAXIMUM GRADIENT 1:4 (25%)  
TO AS 2890

CAR PARKING GRADIENT  
PARALLEL TO PARKING ANGLE 1:20 (5%)  
CROSSFALL 1:16 (6.25%)

VEHICLE TURNING CIRCLES  
DESIGN PASSENGER VEHICLE (5.2m)  
RADIUS: 6.3m  
TURNING SPEED: 0-5km/h  
OVERALL LENGTH: 5.200m  
OVERALL WIDTH: 1.940m  
TRACK WIDTH: 1.840m

TURNING MOVEMENTS

1 : 500

PLANNING

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Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE, HERDSMANS  
COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drawing:  
TURNING MOVEMENTS

Drafted by:  
A.G.C.

Date:

19/11/2021

Project/Drawing no:

PD20174 -10

Approved by:  
Approver

Scale:

1 : 500

Revision:

03

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Accredited building practitioner: Frank Geskus-No CC246A



VIEWS FROM LAMPRIILL CIRCLE



VIEWS FROM EAST DERWENT HIGHWAY



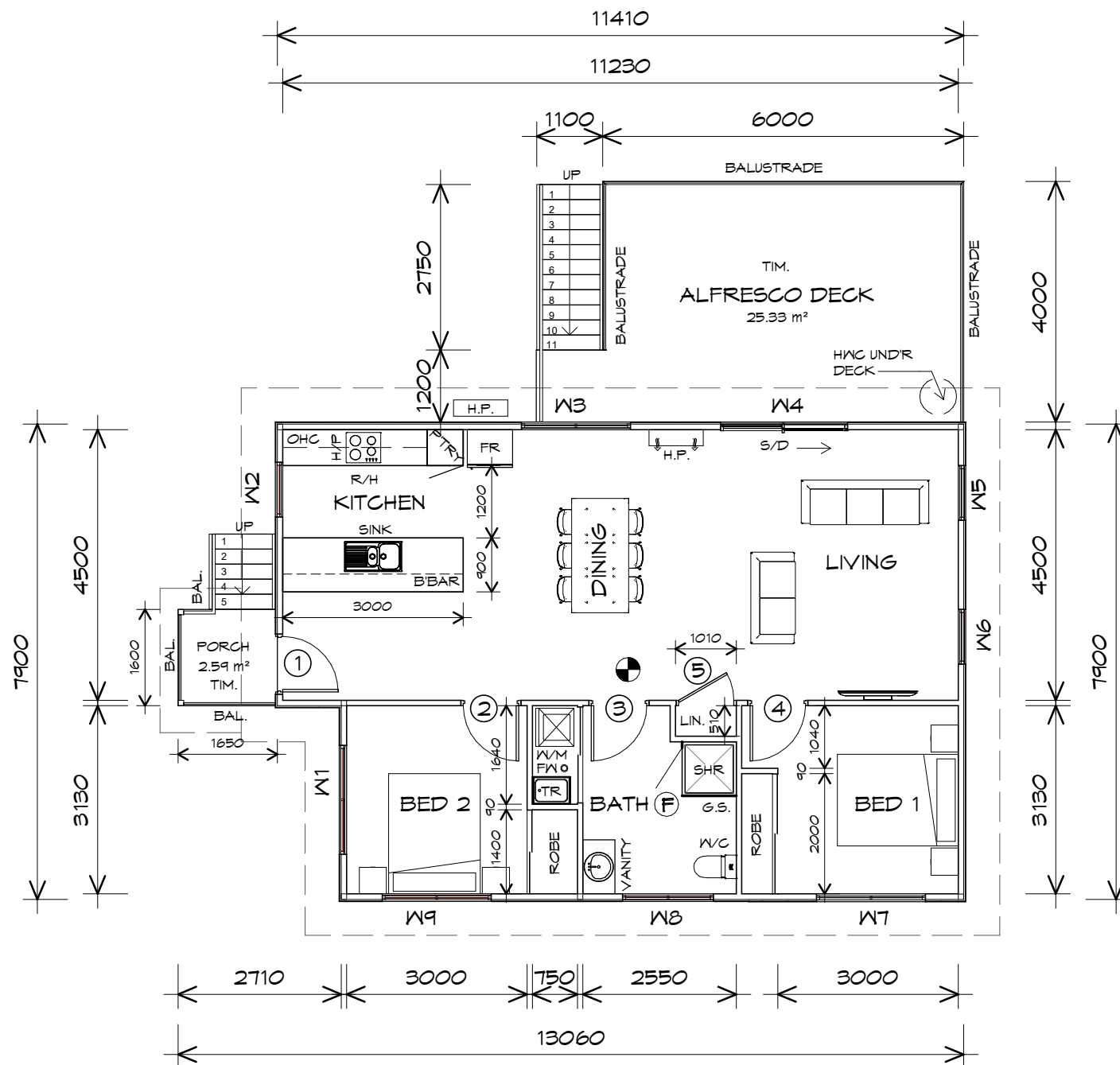
VIEWS FROM GAGE ROAD



PLANNING

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**HANDRAIL**  
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY NCC 2019 PART 3.9.2

**STAIRS**  
180 RISER  
260 GOING  
NON SLIP TO COMPLY NCC 2019 PART 3.9

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	ROBE DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	600	1810	AWNING WINDOW	
W4	2100	2110	SLIDING DOOR	
W5	1800	910	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	600	1510	AWNING WINDOW	OPAQUE
W9	600	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? GLAZING COMPLETE WITH FLY SCREENS TO SUIT ??? BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

Project:  
PROPOSED NEW RESIDENTIAL DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U1-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



**CENTACARE**  
**evolve**  
HOUSING



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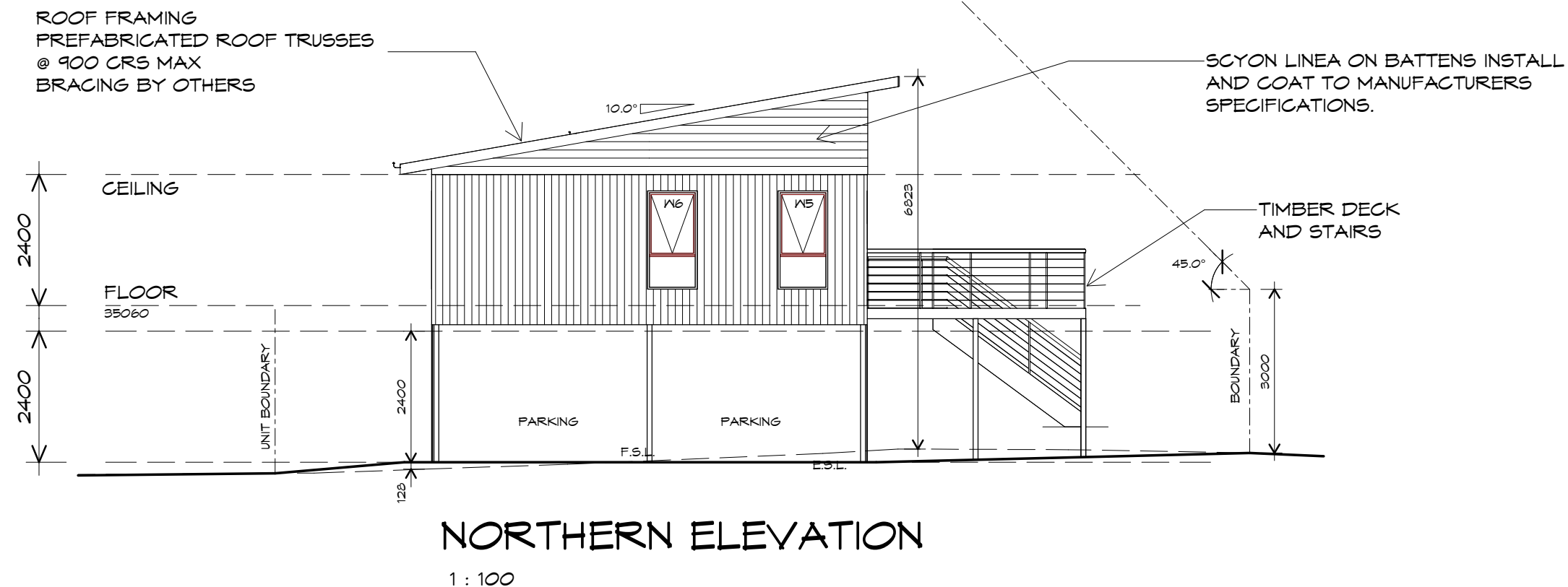
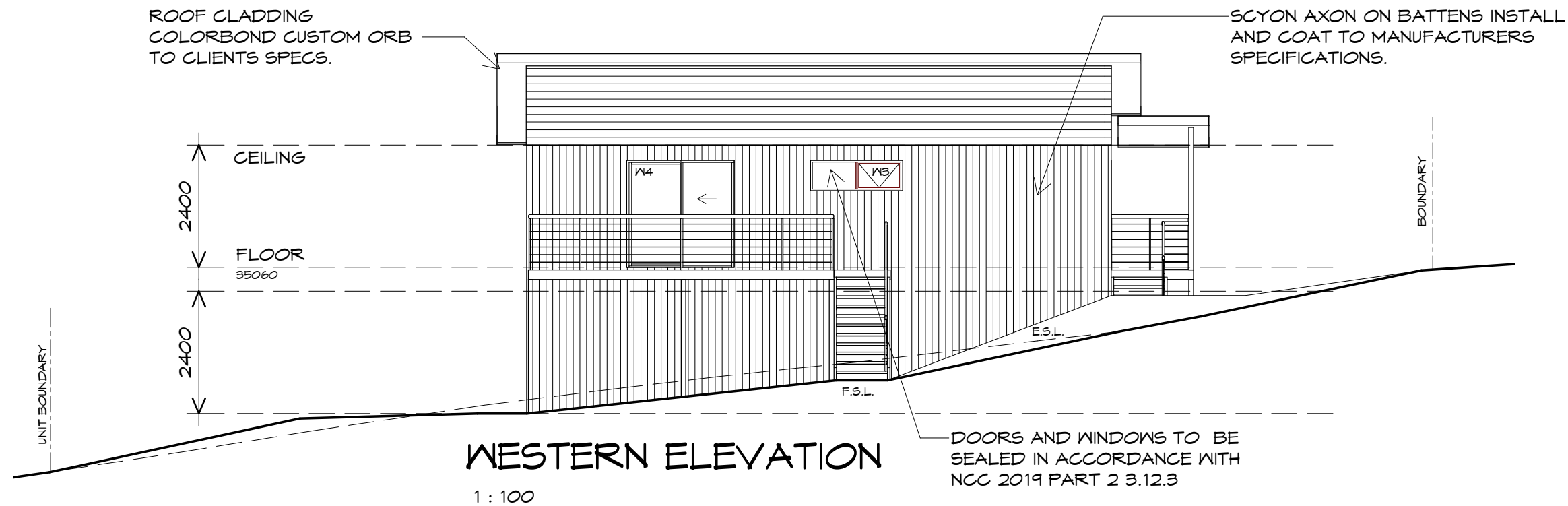


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PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

UNIT 1





**CENTACARE**  
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Project:  
 PROPOSED NEW RESIDENTIAL  
 DEVELOPMENT  
 LAMPRIILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.

Drawing:  
 ELEVATIONS

Date:  
 19/11/2021

Scale:  
 1:100

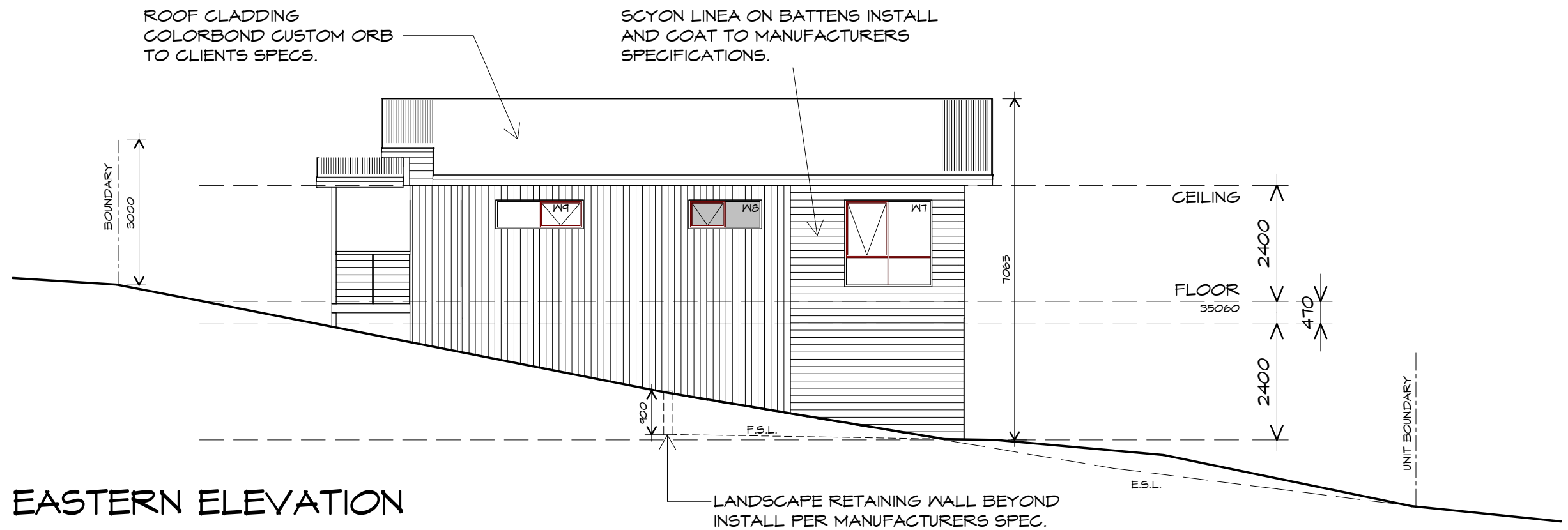
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Revision:  
 01



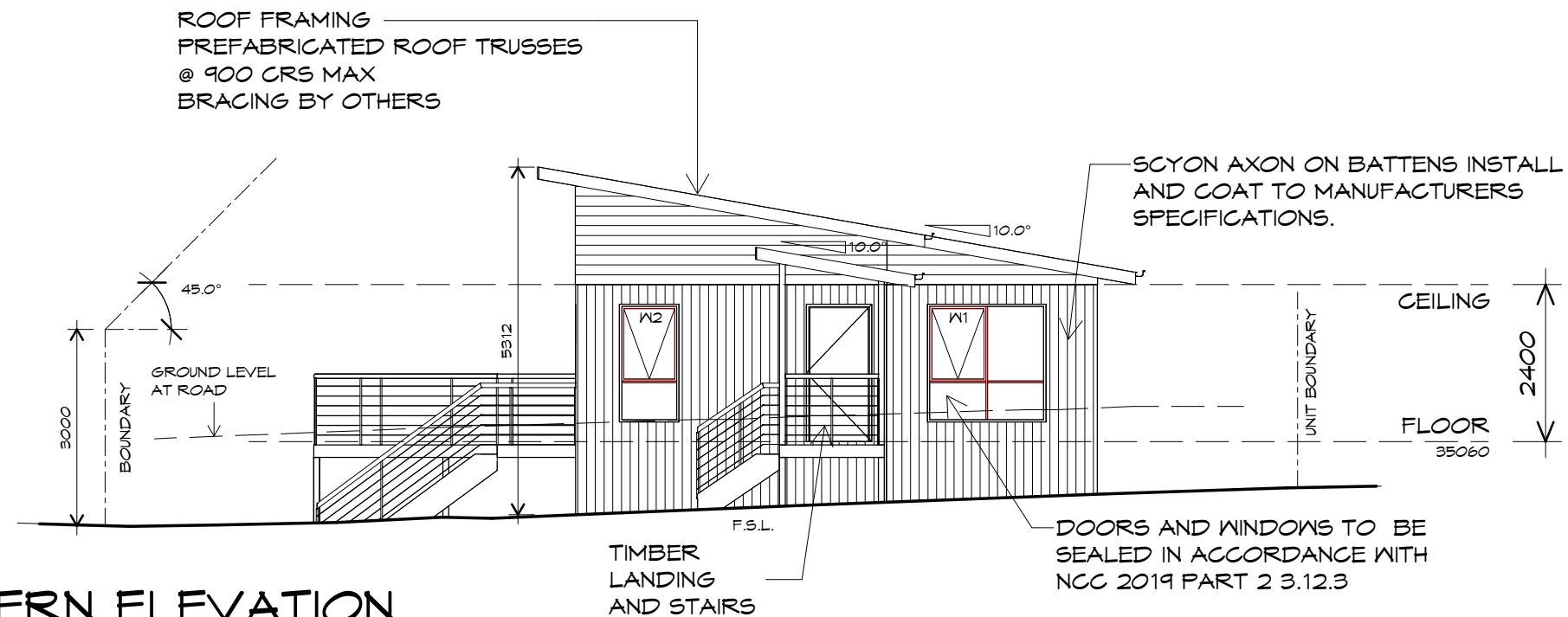
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## EASTERN ELEVATION

1 : 100



## SOUTHERN ELEVATION



**CENTACARE**  
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UNIT 1

PLANNING

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Project:  
**PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE**  
Client name:  
**CENTACARE EVOLVE HOUSING**

Drawing:  
**ELEVATIONS**

Drafted by: A.G.M. Approved by: F.G.G.

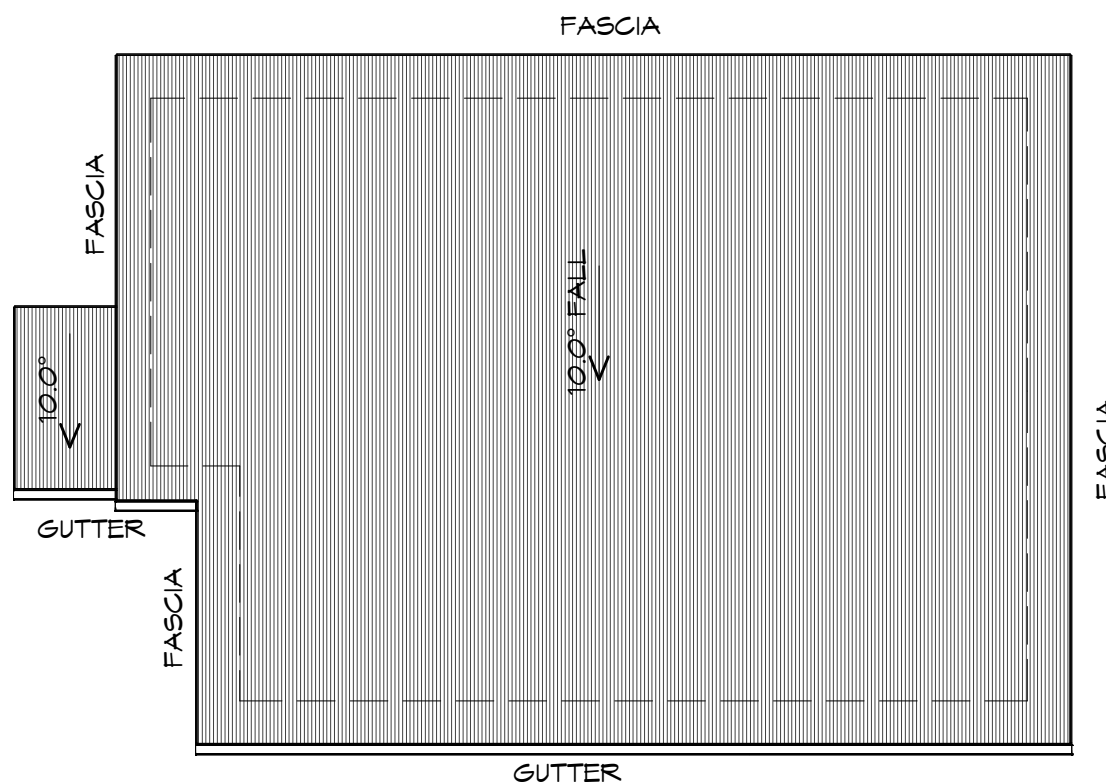
Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U1-03 Revision: 01



Accredited building practitioner: Frank Geskus -No CC246A





## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



**CENTACARE**  
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### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

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PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



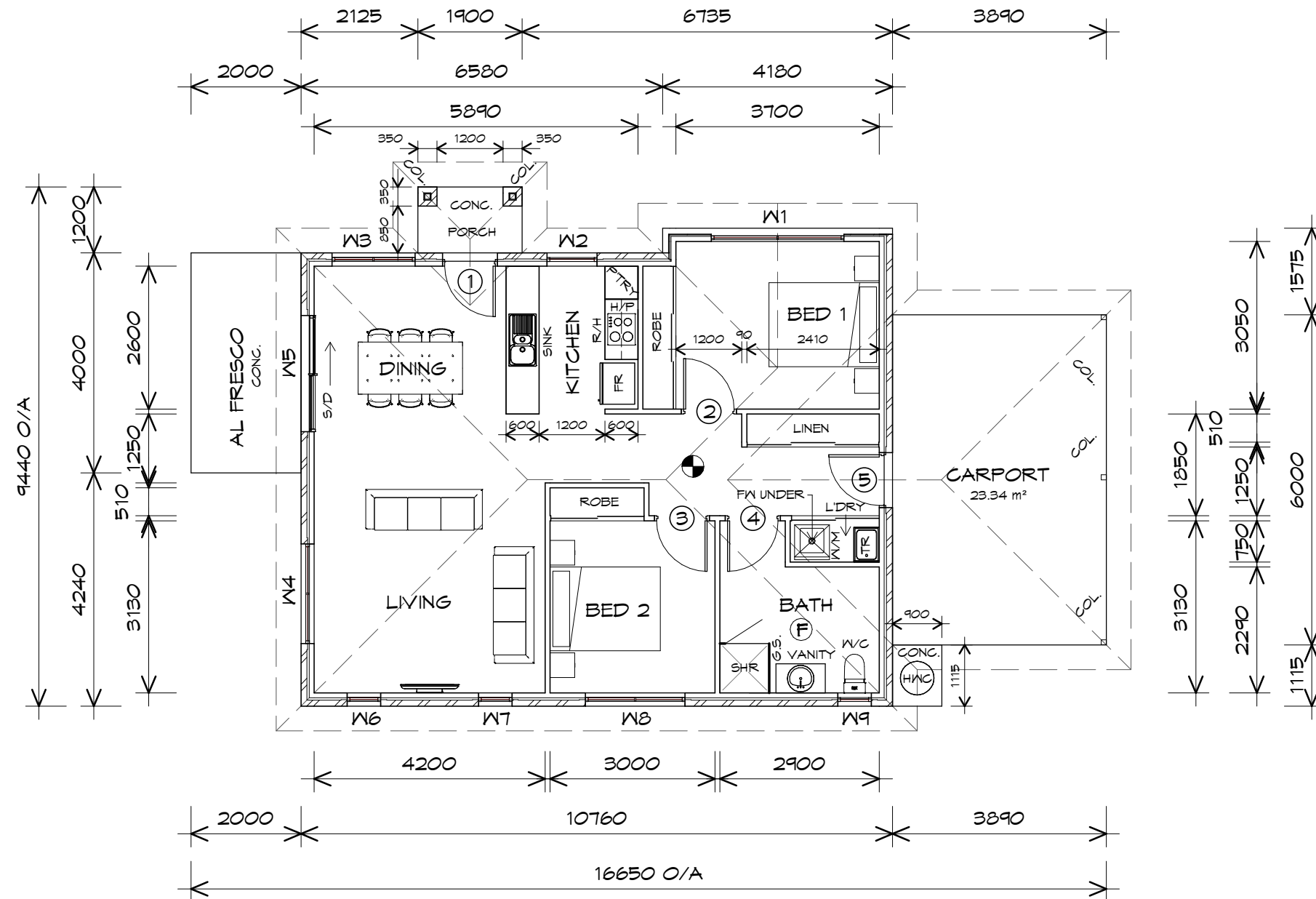
Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U1-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A





FLOOR PLAN  
1 : 100

FLOOR AREA	90.54	m2	(	9.74	SQUARES )
CARPORT AREA	23.34	m2	(	2.51	SQUARES )
AL FRESCO AREA	8.00	m2	(	0.86	SQUARES )
PORCH AREA	1.71	m2	(	0.18	SQUARES )
	123.59			13.29	

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

UNIT 2



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Project/Drawing no:  
PD20174 -U2-01

Accredited building practitioner: Frank Geskus -No CC246A

LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD VENT TO OUTSIDE AIR.
- (S) 240V SMOKE ALARM
- S/D SLIDING DOOR
- (F) FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	2410	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1500	1510	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	2100	2110	SLIDING DOOR	
W6	1800	610	AWNING WINDOW	
W7	1800	610	AWNING WINDOW	
W8	1800	1810	AWNING WINDOW	
W9	600	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE WITH FLY SCREENS TO SUIT ??? BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

PLANNING

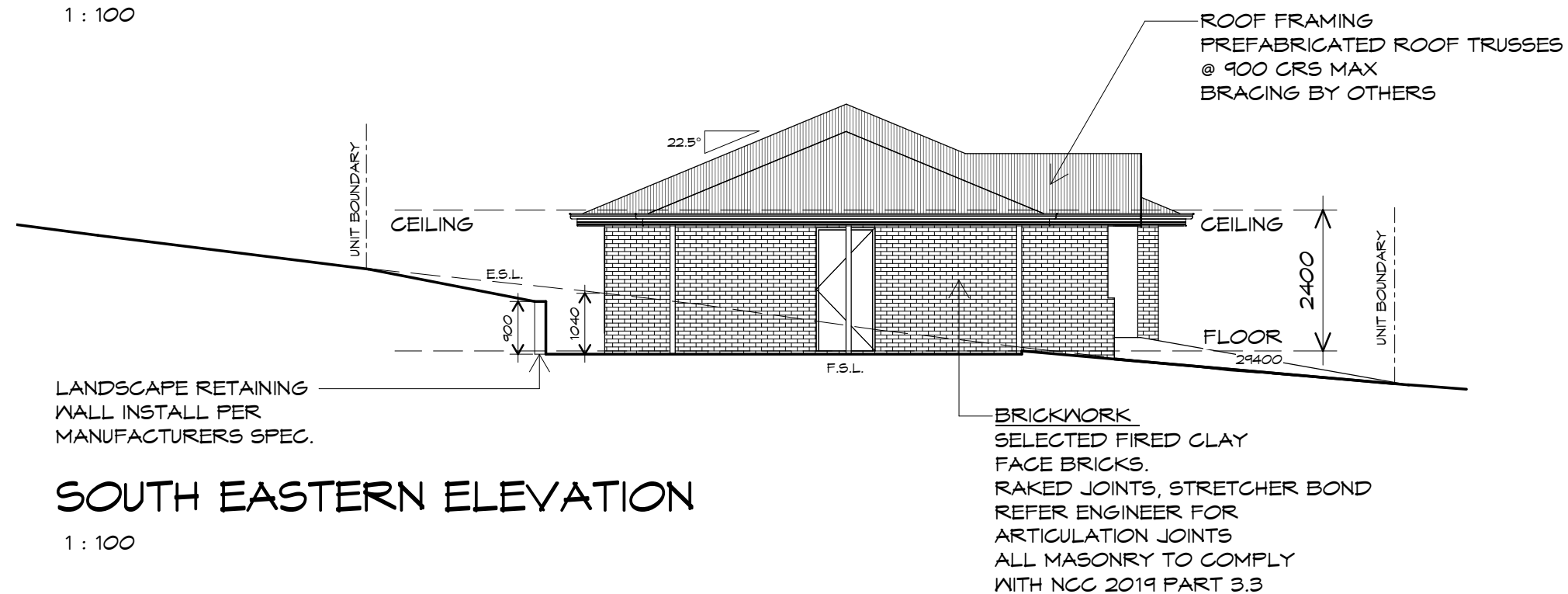
NOTE: DO NOT SCALE OFF DRAWINGS





## SOUTH WESTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 2



**CENTACARE**  
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CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date:  
19/11/2021

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Project/Drawing no:  
PD20174 -U2-02

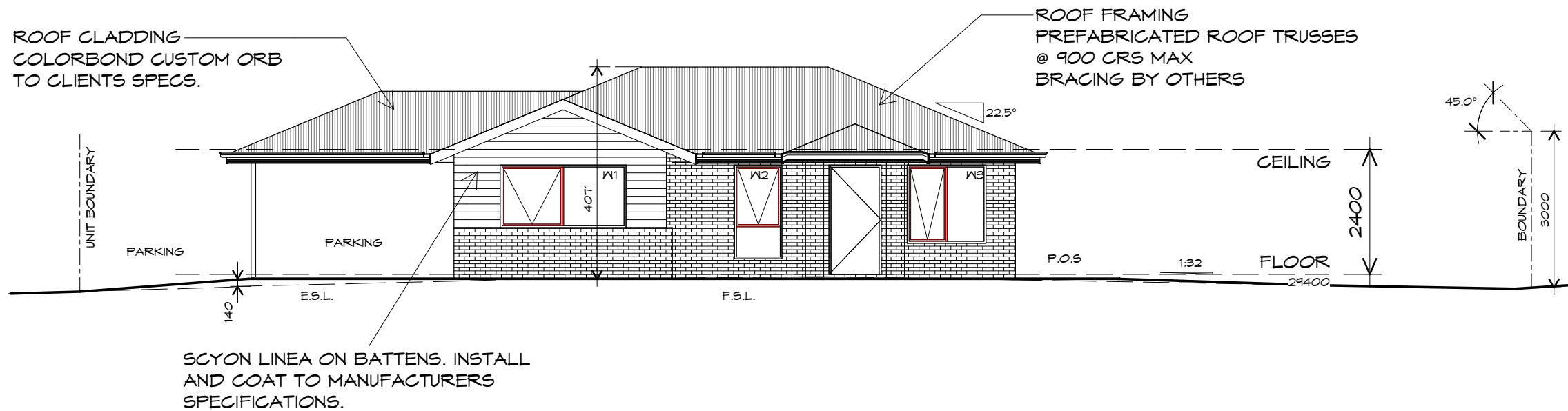
Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

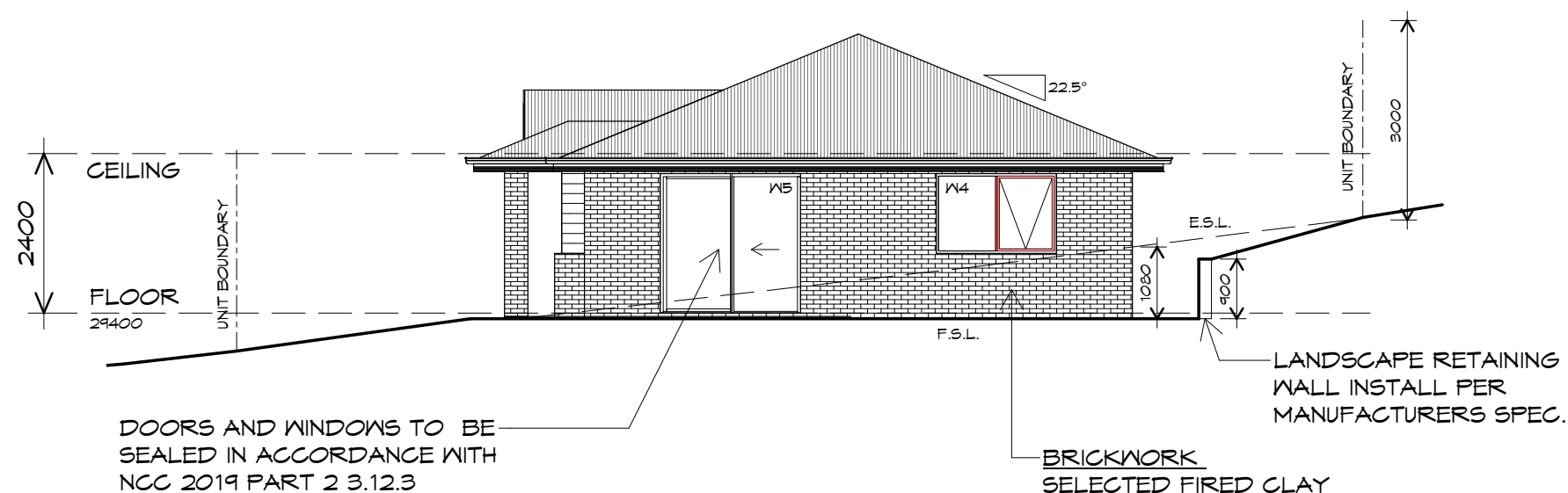
NOTE: DO NOT SCALE OFF DRAWINGS





## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 2



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

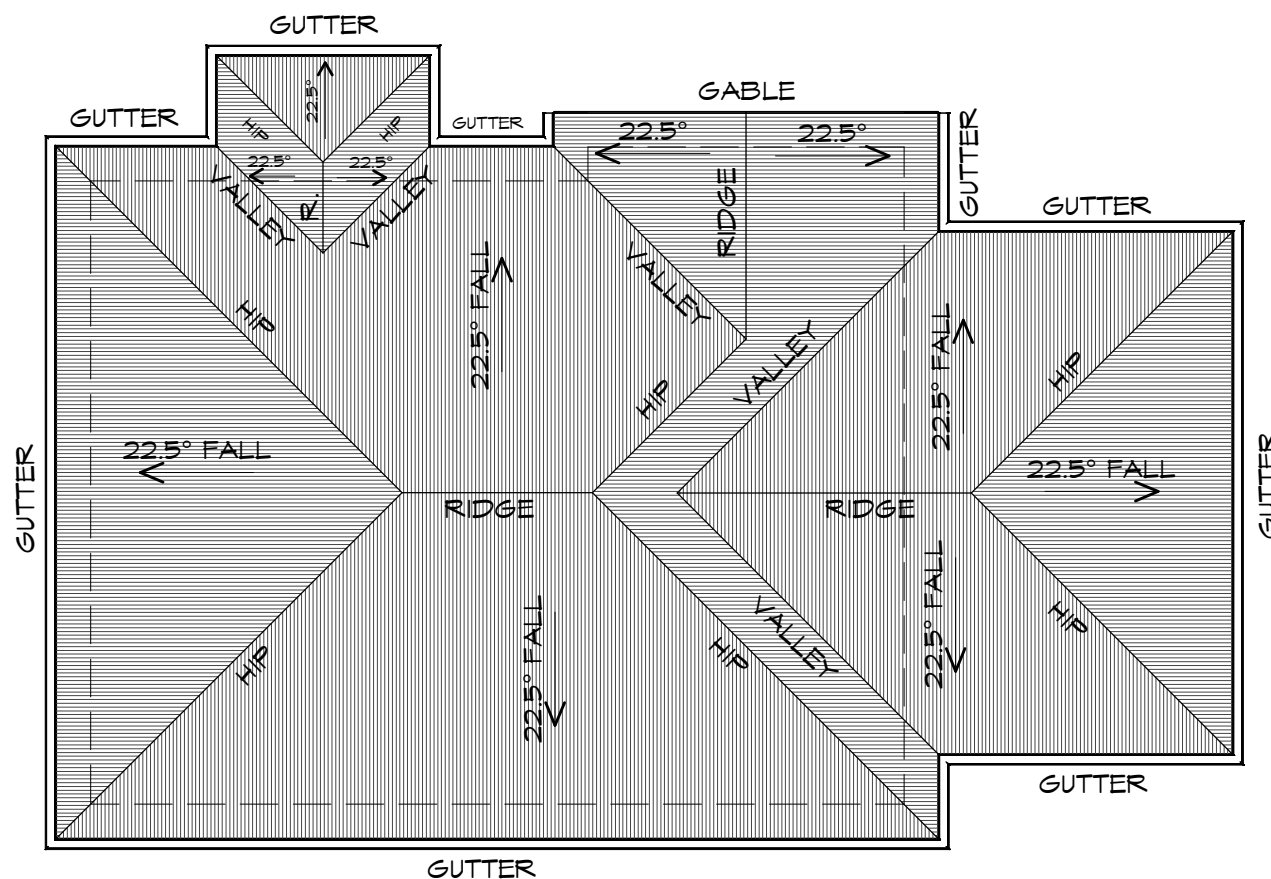
Project/Drawing no: PD20174 -U2-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 2



**CENTACARE**  
**evolve**  
HOUSING



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p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U2-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

### DOWNSPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNSPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8



## FLOOR PLAN

1 : 100

## UNIT 3



**CENTACARE**  
evolve  
HOUSING



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p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

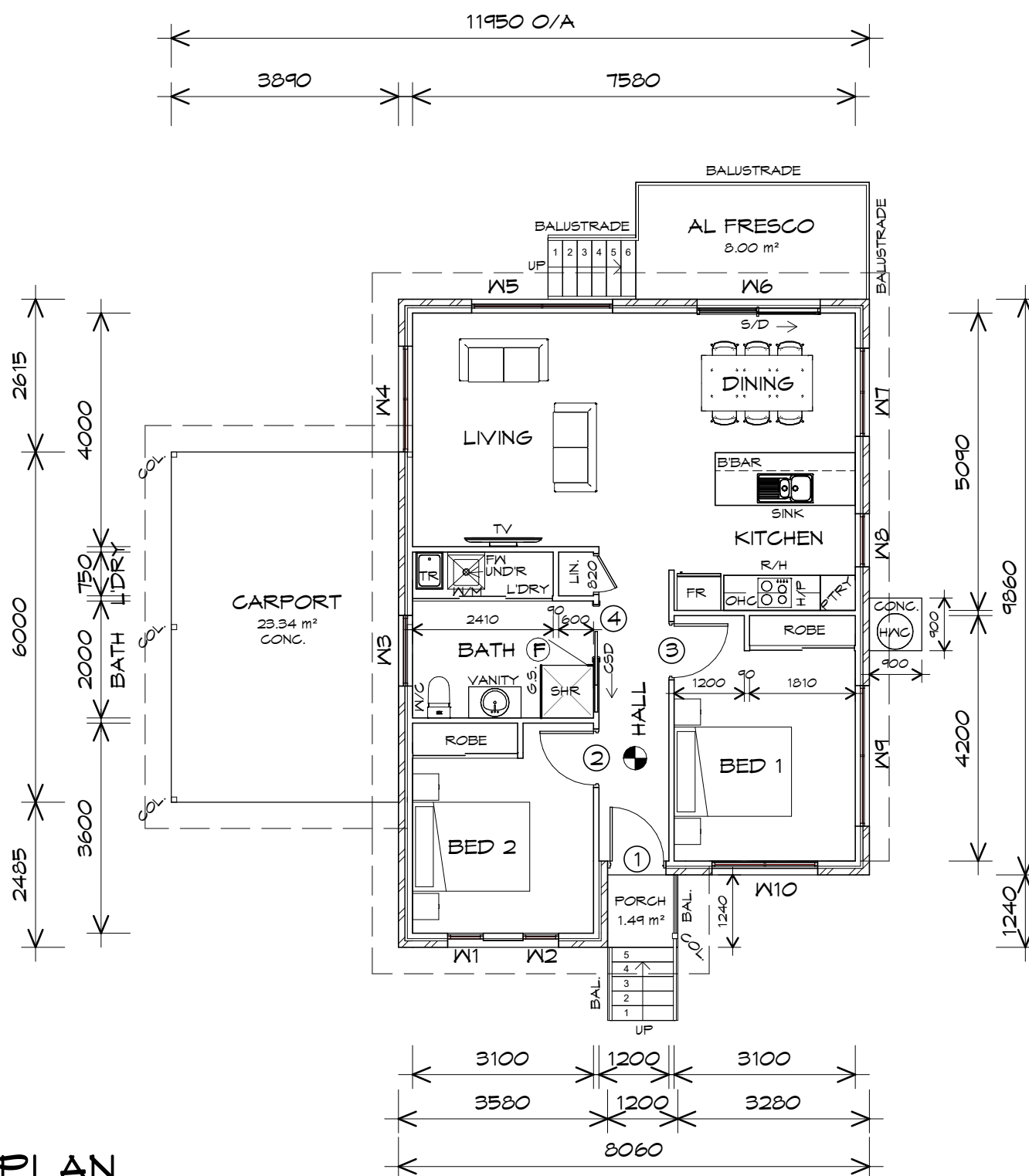


## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

FLOOR AREA	83.91	m2	( 9.02 SQUARES )
CARPORT AREA	23.34	m2	( 2.51 SQUARES )
PORCH AREA	1.49	m2	( 0.16 SQUARES )
AL FRESCO AREA	8.00	m2	( 0.86 SQUARES )
TOTAL AREA	116.74		12.55

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



### DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	

### WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	600	1210	AWNING WINDOW	OPAQUE
W4	1800	1810	AWNING WINDOW	
W5	600	2410	AWNING WINDOW	
W6	2100	2110	SLIDING DOOR	
W7	600	1510	AWNING WINDOW	
W8	1800	910	AWNING WINDOW	
W9	600	2410	AWNING WINDOW	
W10	600	1810	AWNING WINDOW	
W11	600	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Drawing:  
FLOOR PLAN

Date: 19/11/2021  
Scale: 1 : 100

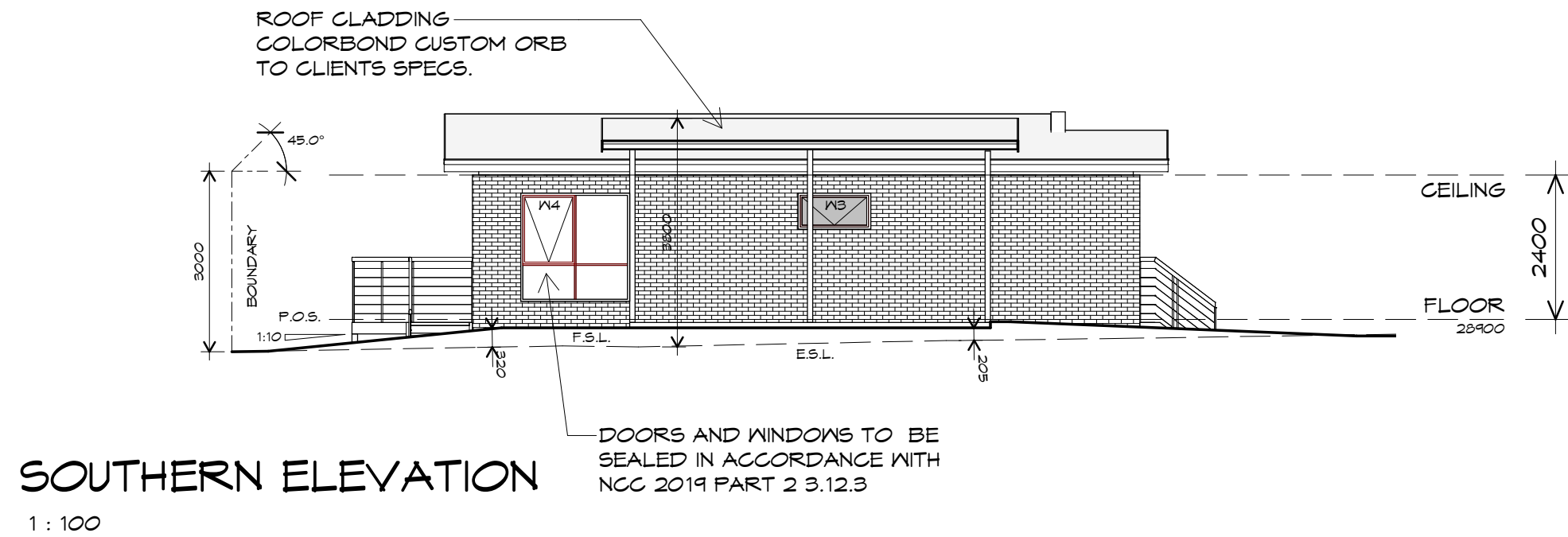
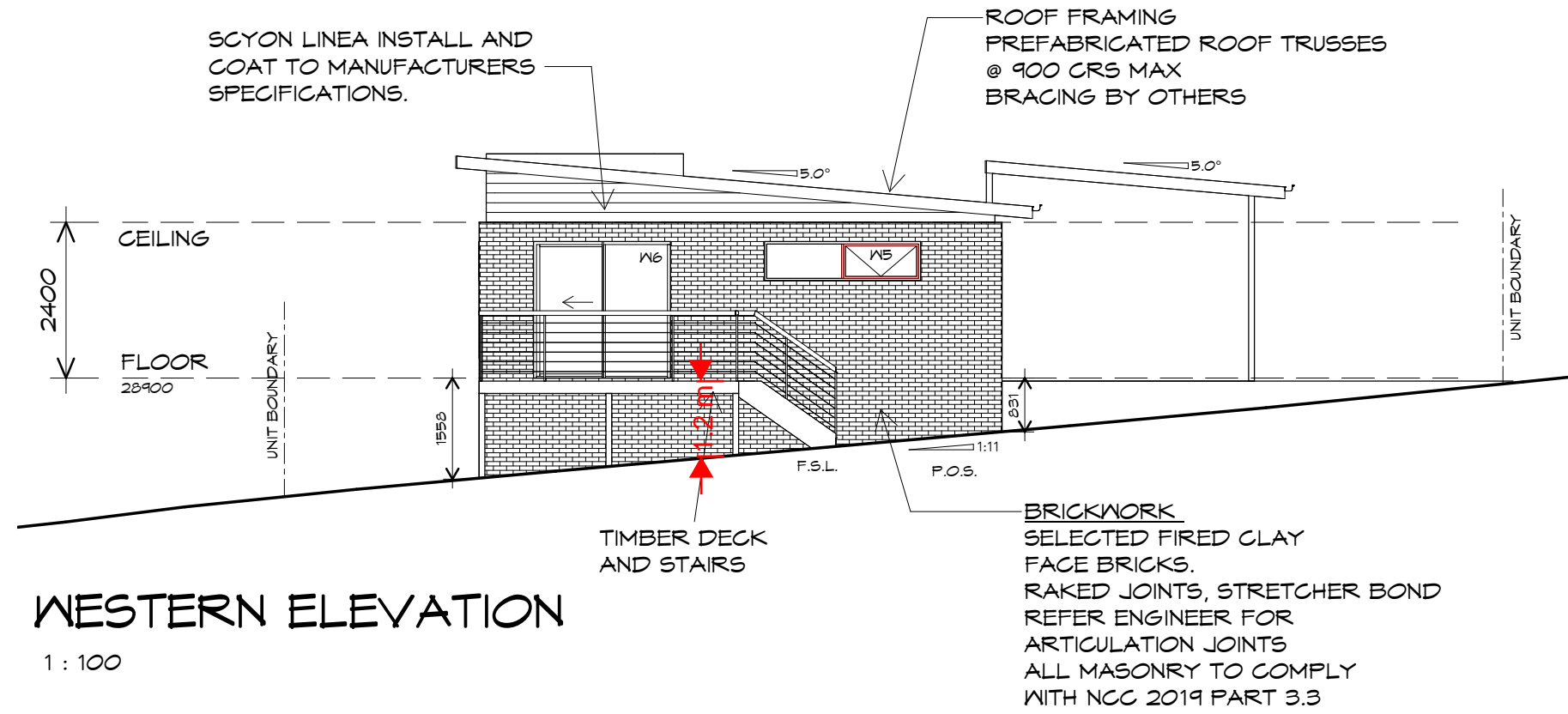
Project/Drawing no: PD20174 -U3-01  
Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





UNIT 3



**CENTACARE**  
**evolve**  
HOUSING



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p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
ELEVATIONS

Date:  
19/11/2021

Scale:  
1 : 100

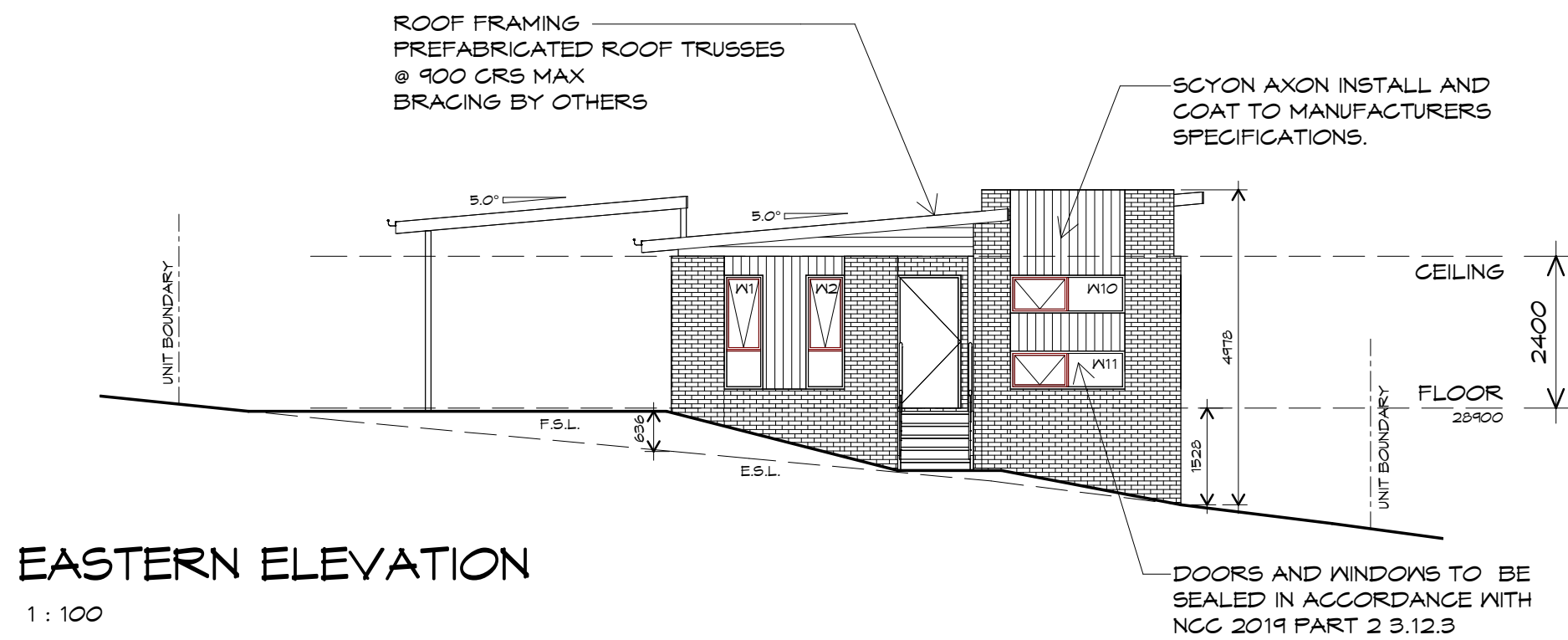
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PD20174 -U3-02

Revision:  
02

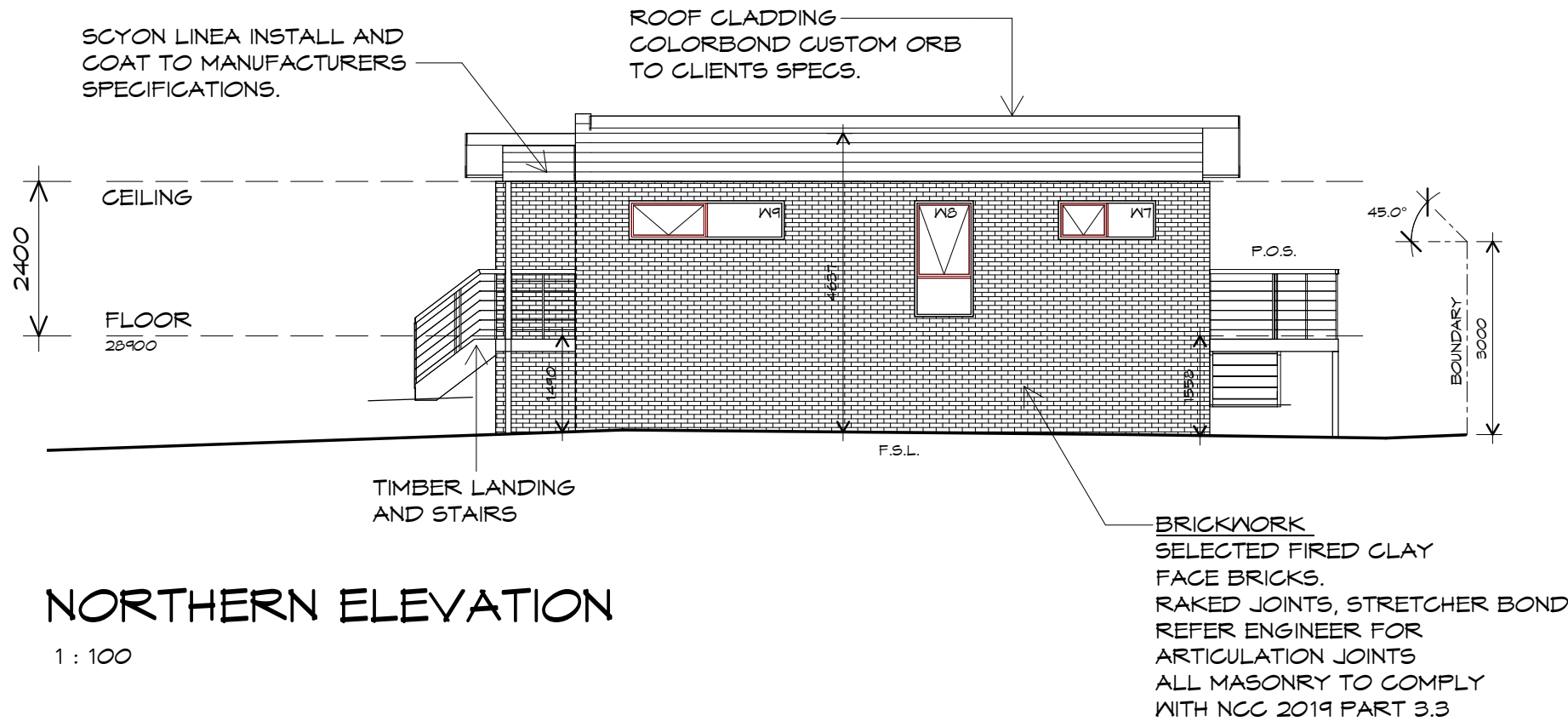
Accredited building practitioner: Frank Geskus -No CC246A







EASTERN ELEVATION  
1 : 100



NORTHERN ELEVATION  
1 : 100

UNIT 3



**CENTACARE**  
**evolve**  
HOUSING



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p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
ELEVATIONS

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U3-03

Revision:  
02

Accredited building practitioner: Frank Geskus -No CC246A





## UNIT 3



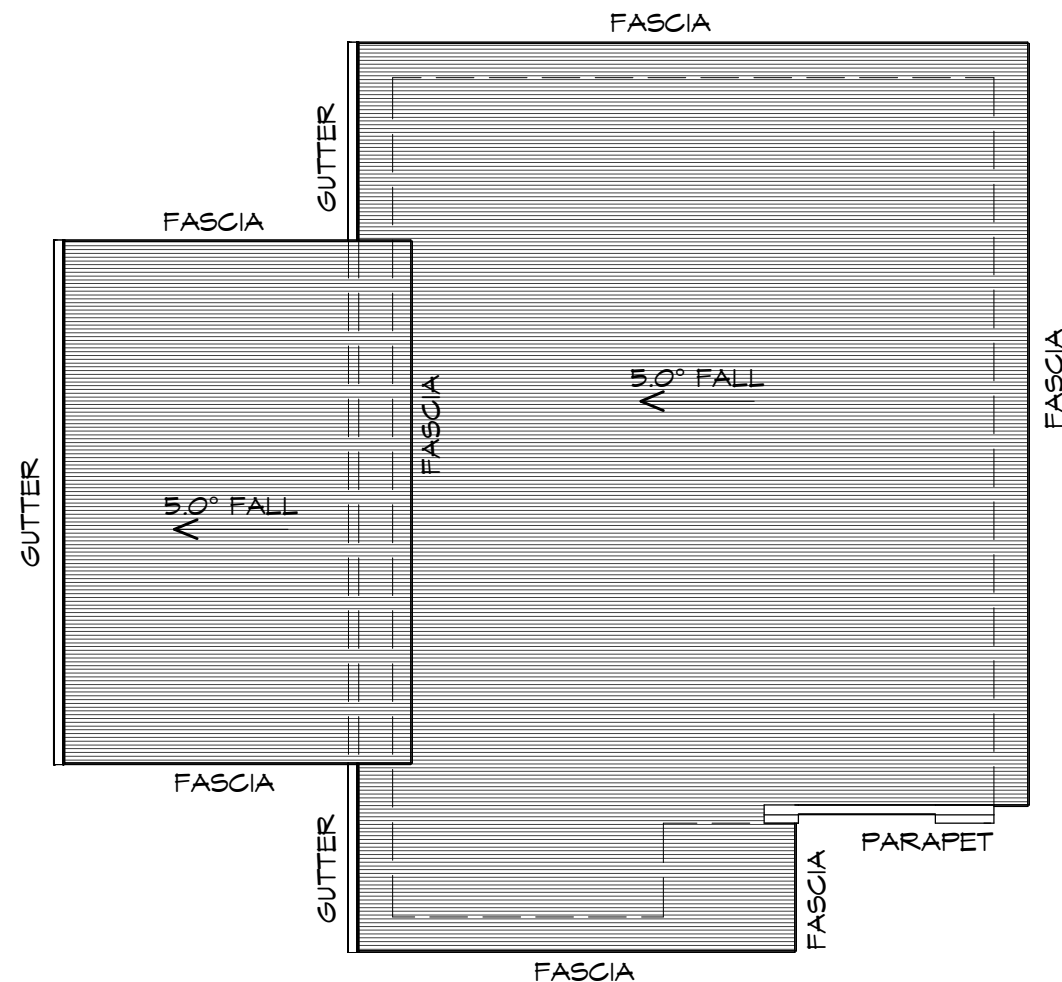
**CENTACARE**  
**evolve**  
HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U3-04

Revision:  
02

Accredited building practitioner: Frank Geskus -No CC246A

#### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



CARPORT AREA	24.62	m2	( 2.65 SQUARES )
FLOOR AREA	83.10	m2	( 8.94 SQUARES )
AL FRESCO AREA	8.00	m2	( 0.86 SQUARES )
PORCH AREA	1.50	m2	( 0.16 SQUARES )
TOTAL AREA	117.23		12.60

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- Ⓢ FW FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	EXTERNAL HALF GLASS	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1000	1810	AWNING WINDOW	
W3	2100	2410	SLIDING DOOR	
W3	1000	1810	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W7	600	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Drawing:  
FLOOR PLAN

Client name:  
CENTACARE EVOLVE HOUSING

Date: 19/11/2021  
Scale: 1 : 100

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Project/Drawing no: PD20174 -U4-01  
Revision: 01  
Accredited building practitioner: Frank Geskus -No CC246A

## FLOOR PLAN

1 : 100

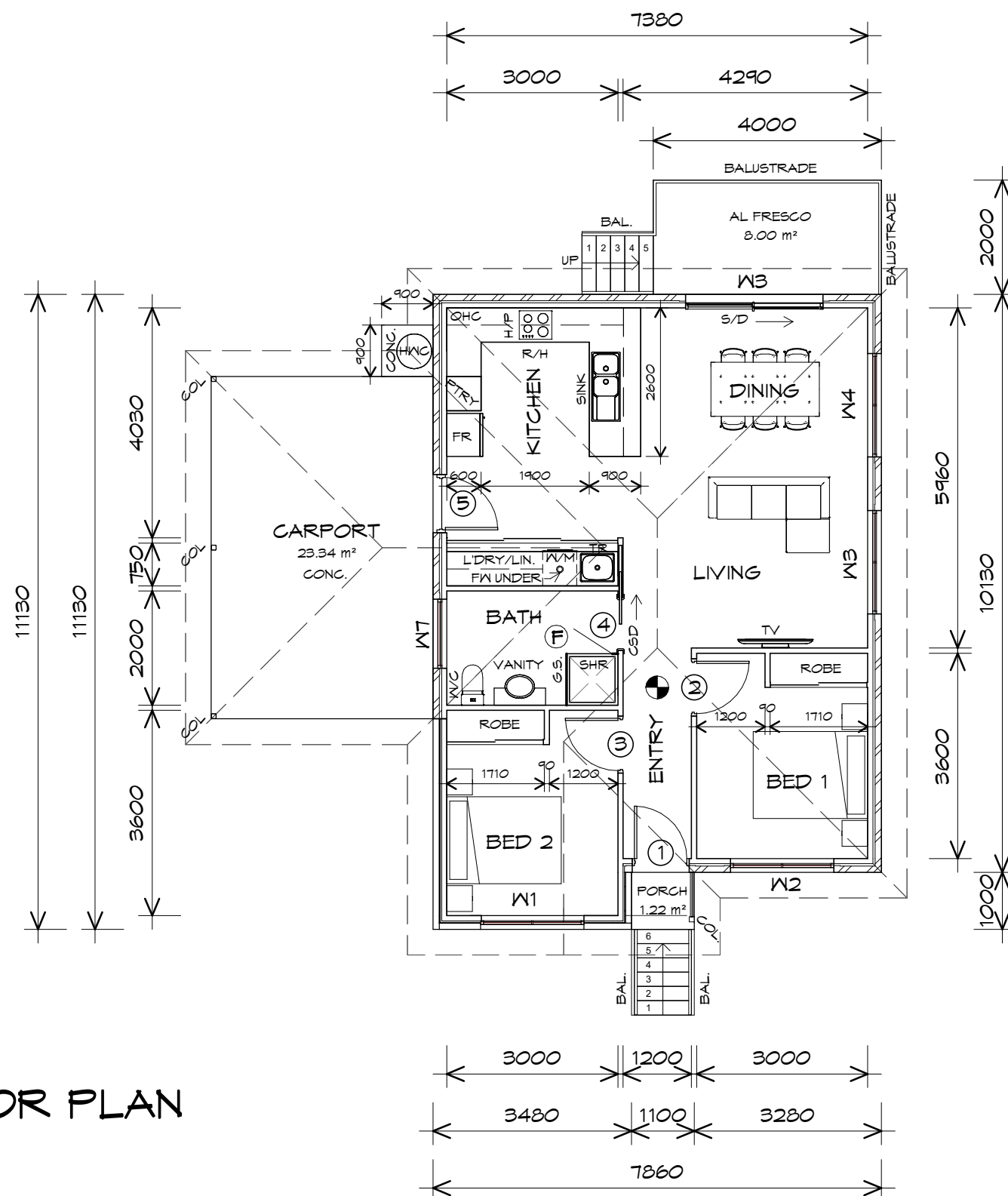
## UNIT 4



**CENTACARE**  
**evolve**  
HOUSING



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160 New Town Road, New Town, Hobart 7008  
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info@primedesigntas.com.au primedesigntas.com.au



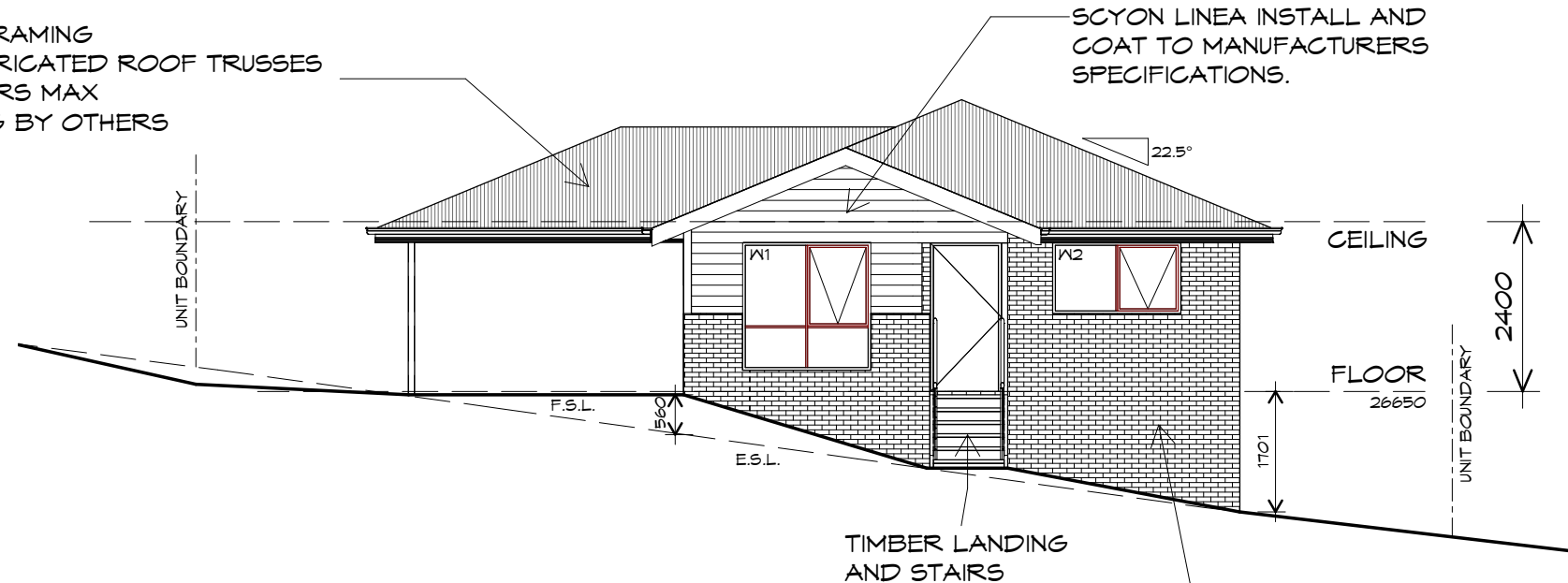
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



ROOF FRAMING  
 PREFABRICATED ROOF TRUSSES  
 @ 900 CRS MAX  
 BRACING BY OTHERS

SCYON LINEA INSTALL AND  
 COAT TO MANUFACTURERS  
 SPECIFICATIONS.

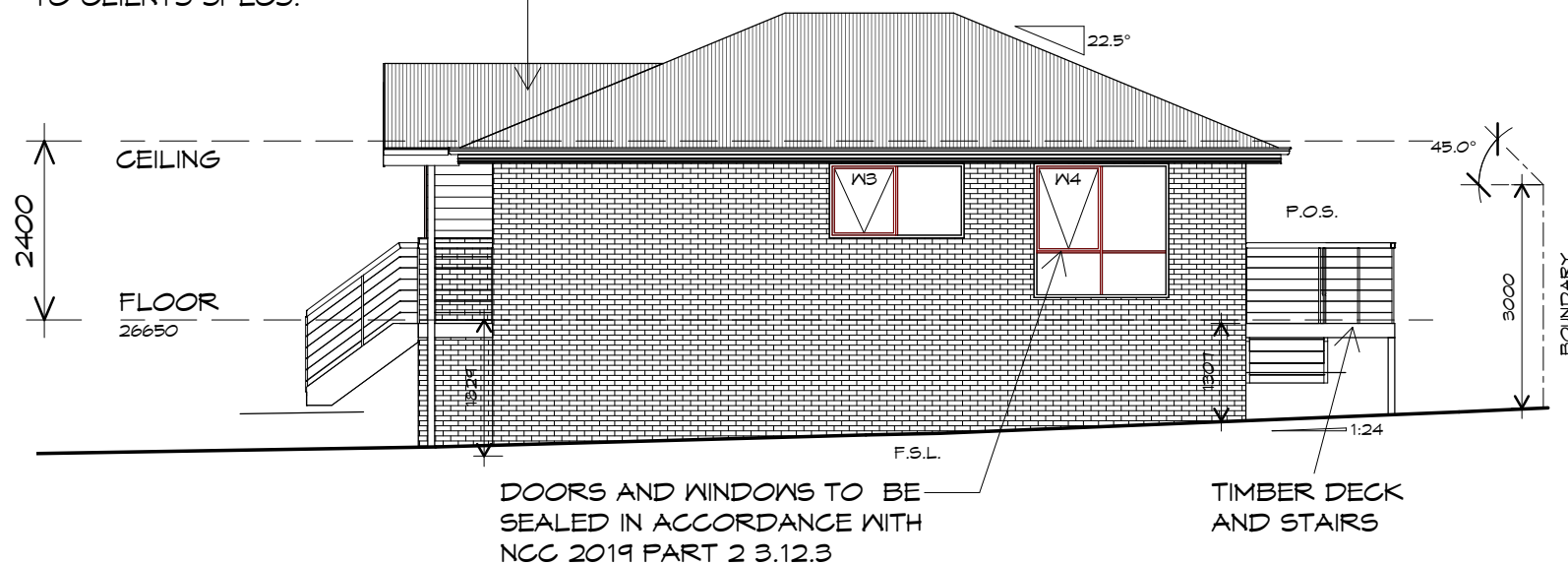


## EASTERN ELEVATION

1 : 100

BRICKWORK  
 SELECTED FIRED CLAY  
 FACE BRICKS.  
 RAKED JOINTS, STRETCHER BOND  
 REFER ENGINEER FOR  
 ARTICULATION JOINTS  
 ALL MASONRY TO COMPLY  
 WITH NCC 2019 PART 3.3

ROOF CLADDING  
 COLORBOND CUSTOM ORB  
 TO CLIENTS SPECS.



## NORTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE  
 SEALED IN ACCORDANCE WITH  
 NCC 2019 PART 2 3.12.3

TIMBER DECK  
 AND STAIRS

UNIT 4



**CENTACARE**  
 evolve  
 HOUSING

**Prime  
 Design**

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 p(l)+ 03 6332 3790  
 160 New Town Road, New Town, Hobart 7008  
 p(h)+ 03 6228 4575  
 info@primedesigntas.com.au primedesigntas.com.au

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMAN COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 ELEVATIONS

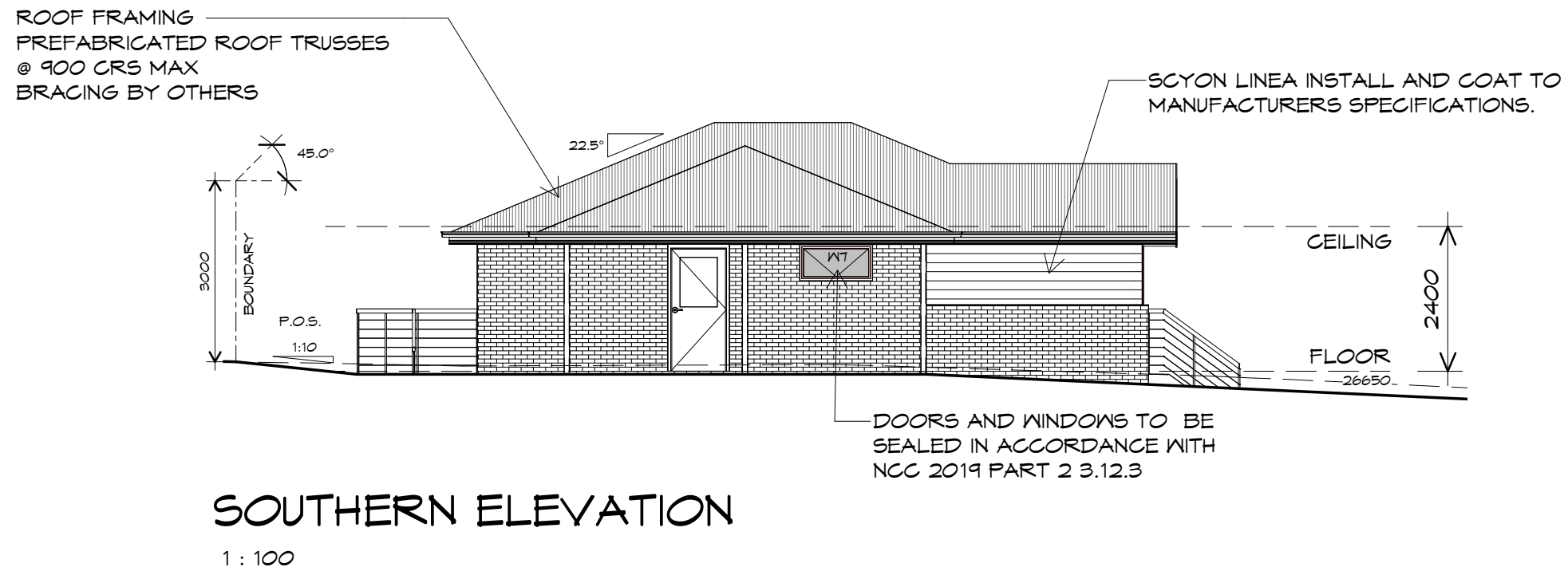
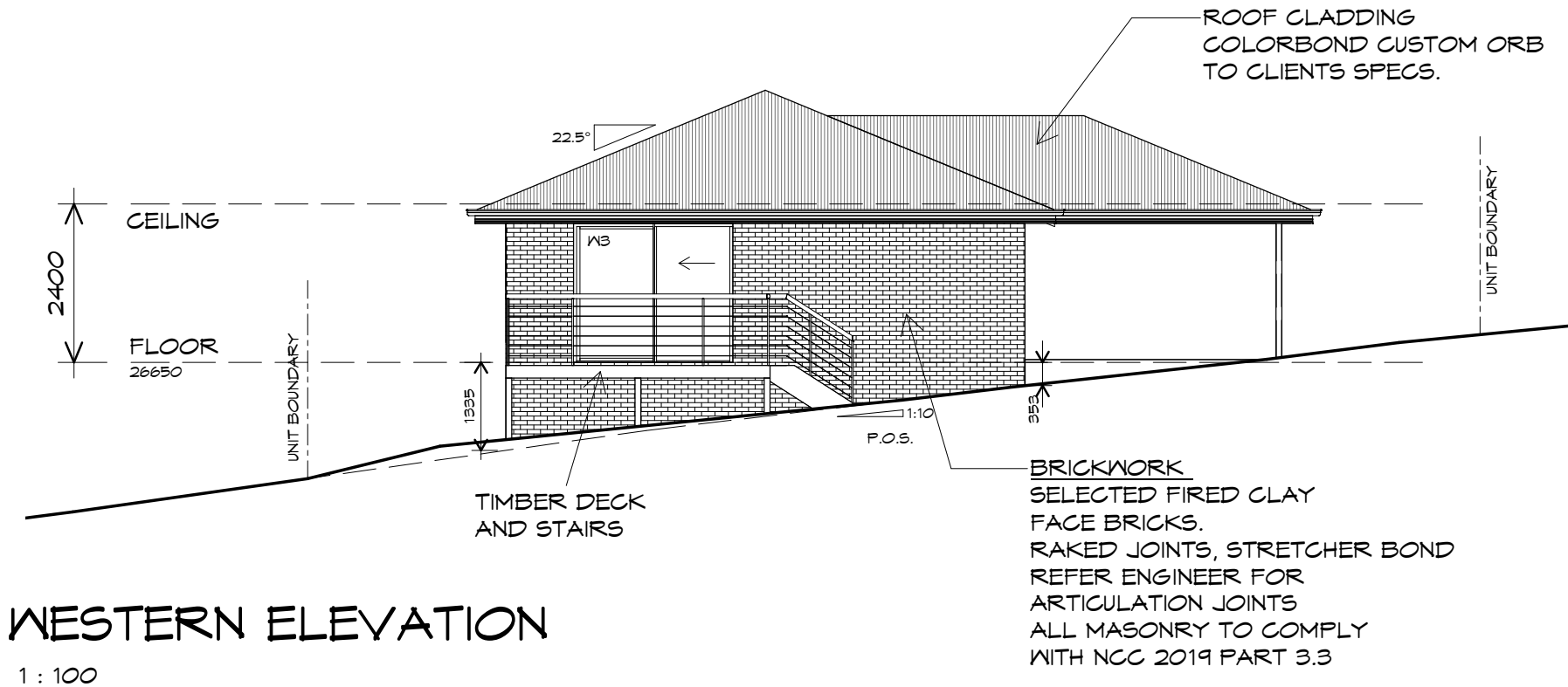
Date: 19/11/2021  
 Scale: 1 : 100

Project/Drawing no: PD20174 -U4-02  
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING  
 NOTE: DO NOT SCALE OFF DRAWINGS





UNIT 4



**CENTACARE**  
evolve  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by: A.G.M. Approved by: F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U4-03 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



## UNIT 4



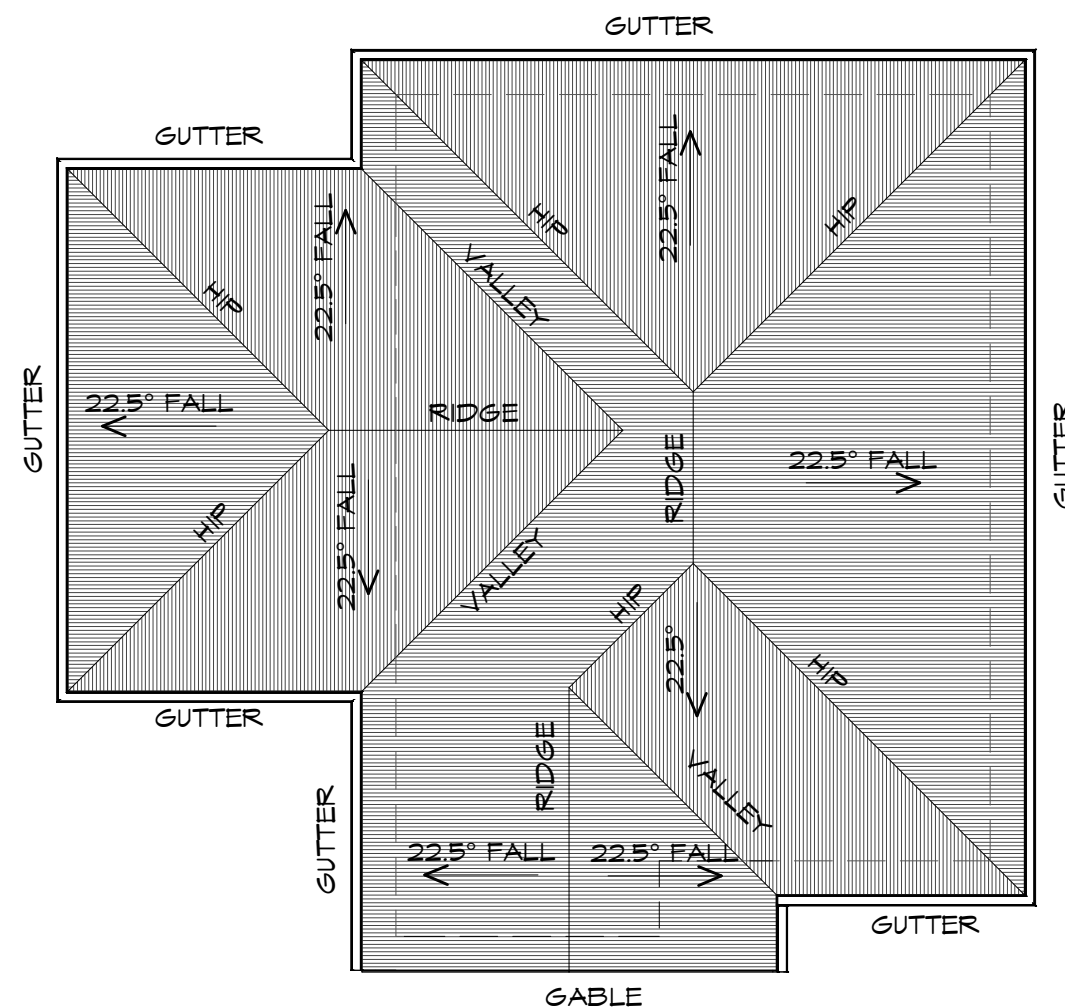
**CENTACARE**  
**evolve**  
HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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info@primedesigntas.com.au primedesigntas.com.au

#### ROOF PLUMBING NOTES:

##### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

##### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

##### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no:  
PD20174 -U4-04

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



# UNIT 5



## FLOOR PLAN

1 : 100

**CENTACARE**  
evolve  
HOUSING



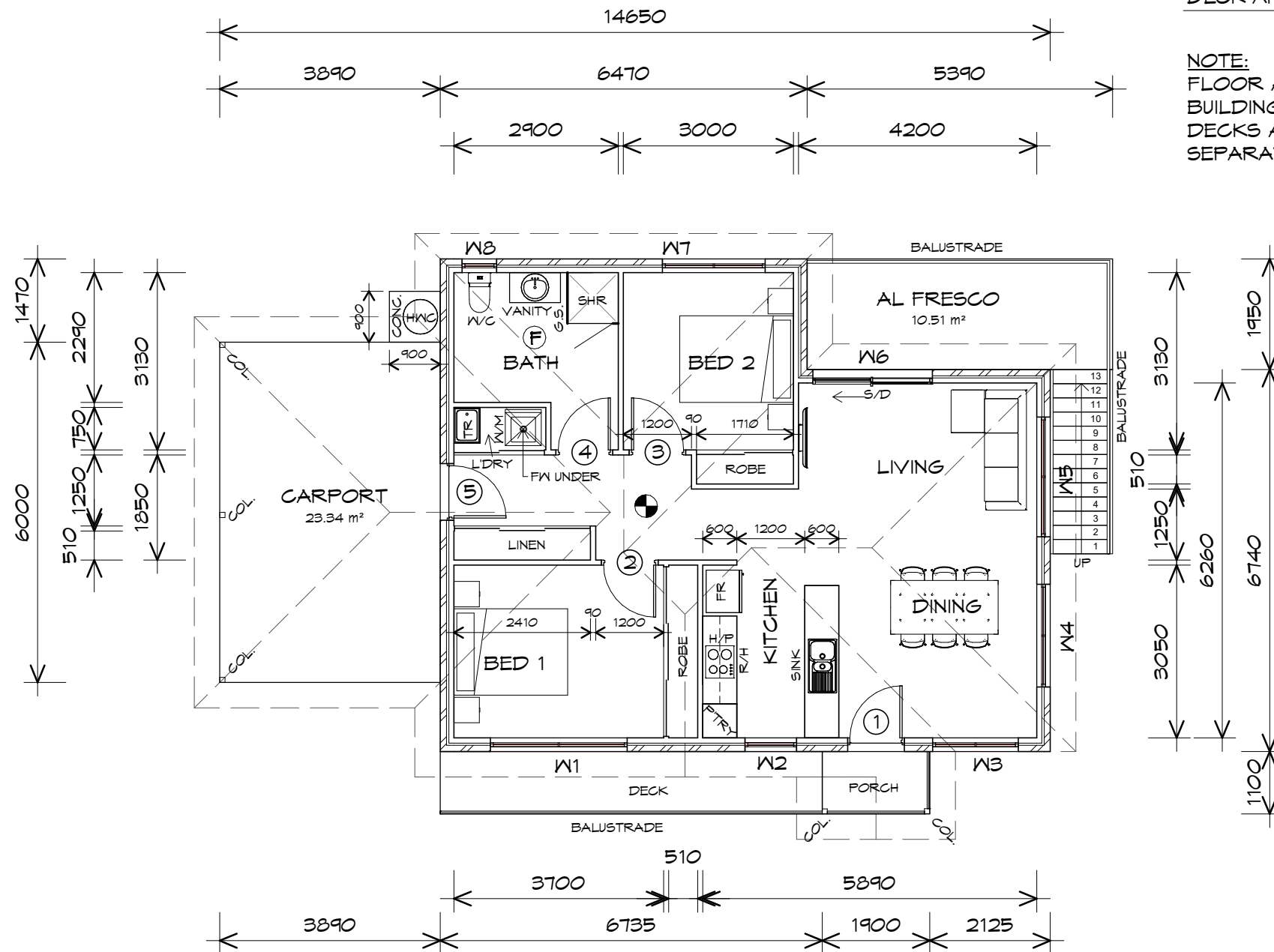
10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

FLOOR AREA	85.14 m2	( 9.15 SQUARES )
CARPORT AREA	23.34 m2	( 2.51 SQUARES )
AL FRESCO AREA	16.44 m2	( 1.77 SQUARES )
PORCH AREA	2.09 m2	( 0.22 SQUARES )
DECK AREA	7.41 m2	( 0.80 SQUARES )
	134.41	14.45

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ F/W FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	2410	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1500	1510	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	600	2110	AWNING WINDOW	
W6	2100	2110	SLIDING DOOR	
W7	1800	1810	AWNING WINDOW	
W8	600	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT ??? **BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G

Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U5-01

Revision:  
01

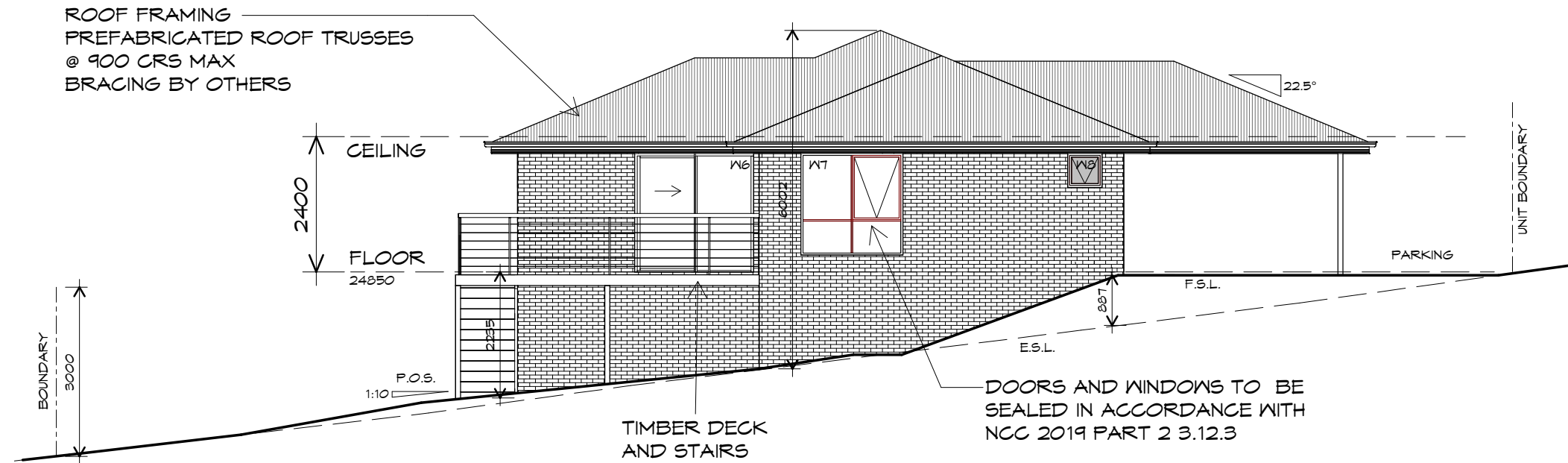


Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

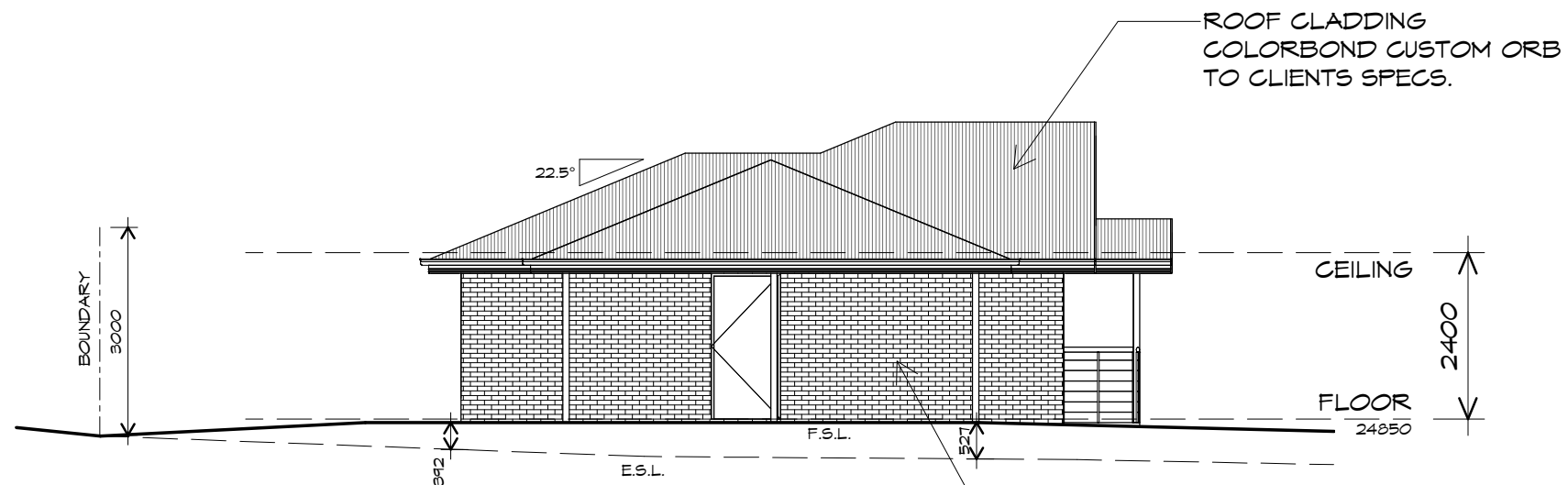
NOTE: DO NOT SCALE OFF DRAWINGS





WESTERN ELEVATION

1 : 100



SOUTHERN ELEVATION

1 : 100

UNIT 5



**CENTACARE**  
evolve  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



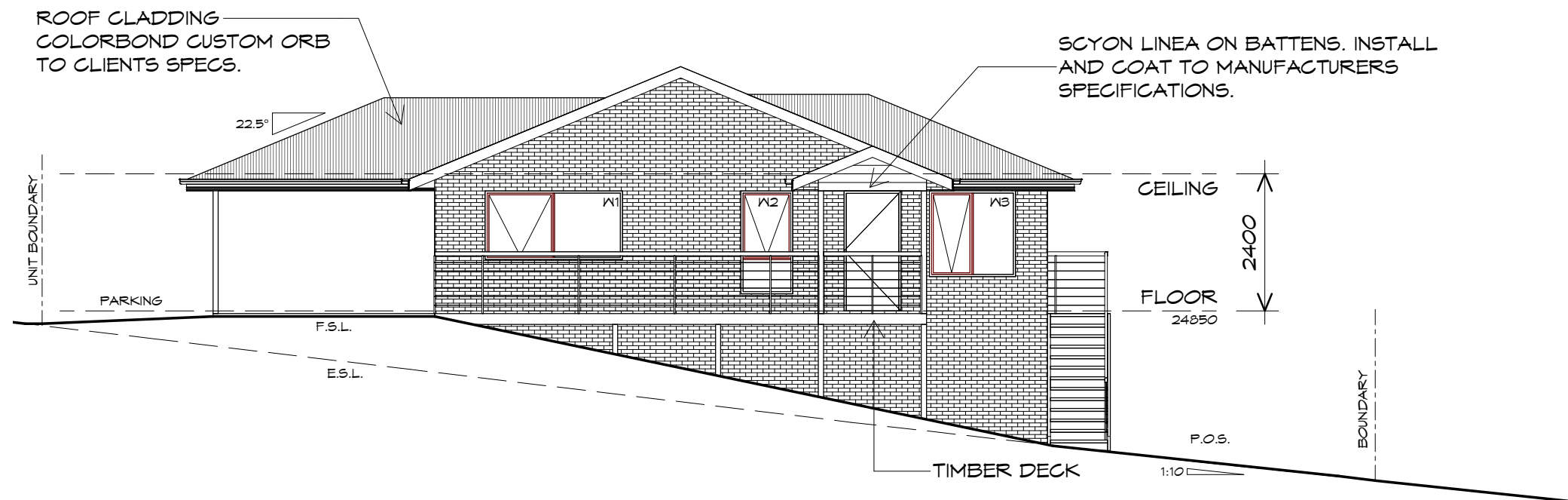
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ELEVATIONS

Date: 19/11/2021  
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Project/Drawing no: PD20174 -U5-02  
Revision: 01

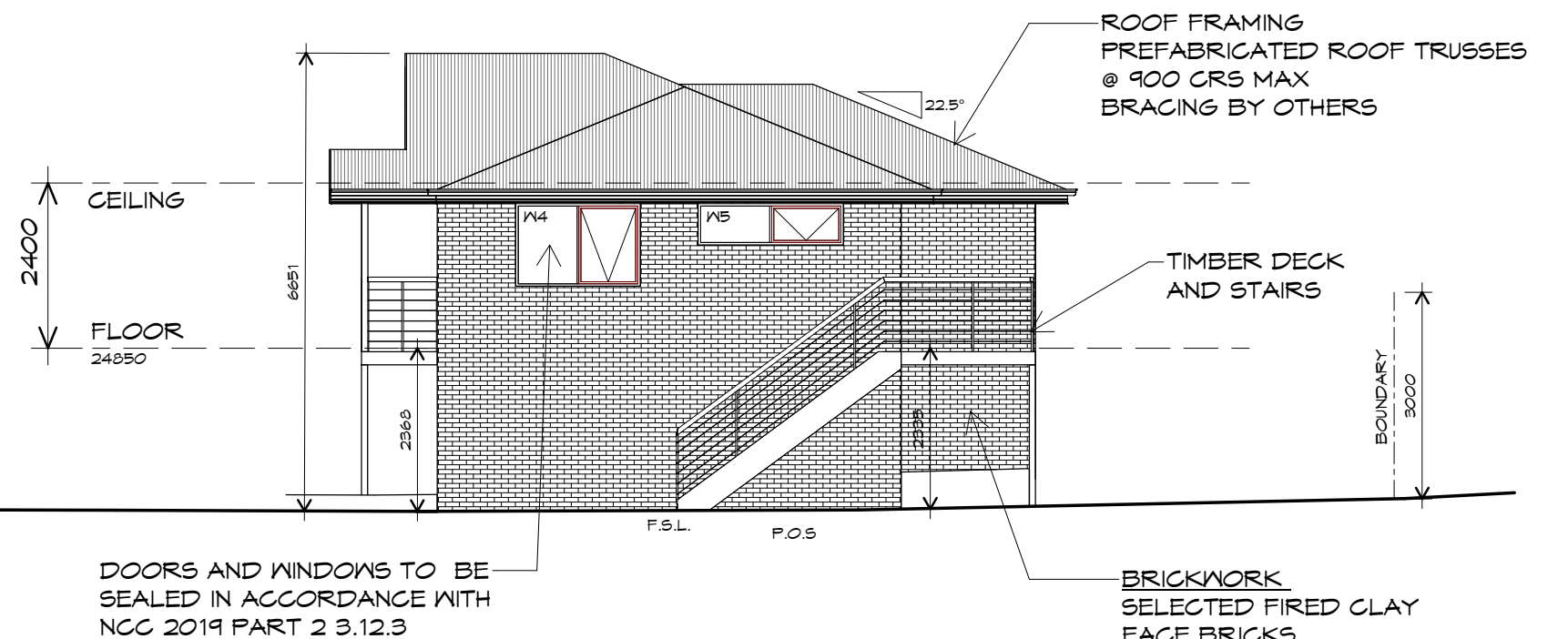
Accredited building practitioner: Frank Geskus -No CC246A





## EASTERN ELEVATION

1 : 100



## NORTHERN ELEVATION

1 : 100

UNIT 5



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

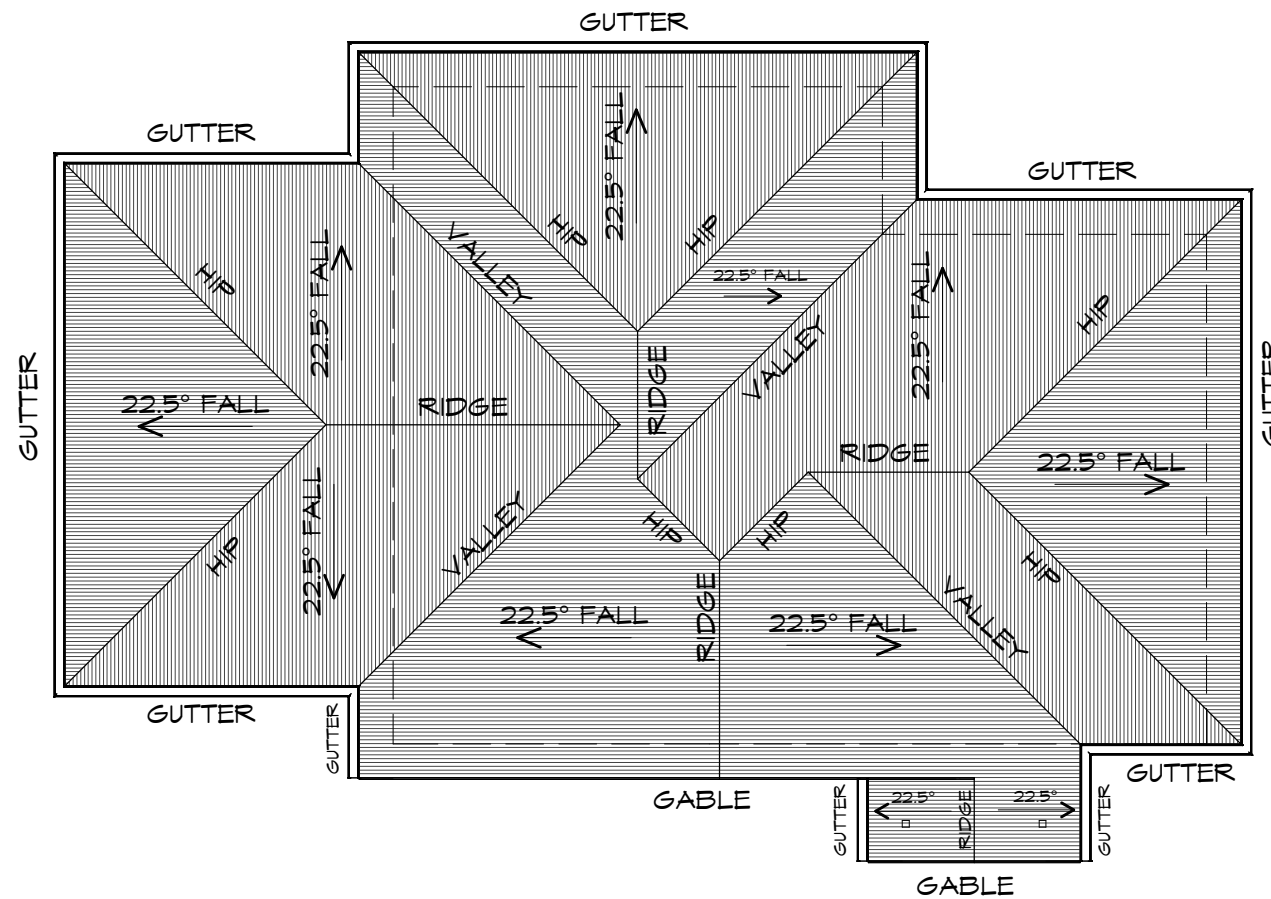
Project/Drawing no: PD20174 -U5-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 5



**CENTACARE**  
**evolve**  
HOUSING



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### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Drawing:  
ROOF PLAN

Client name:  
CENTACARE EVLOVE HOUSING

Date: 19/11/2021  
Scale: 1 : 100

Drafted by:  
A.G.M.

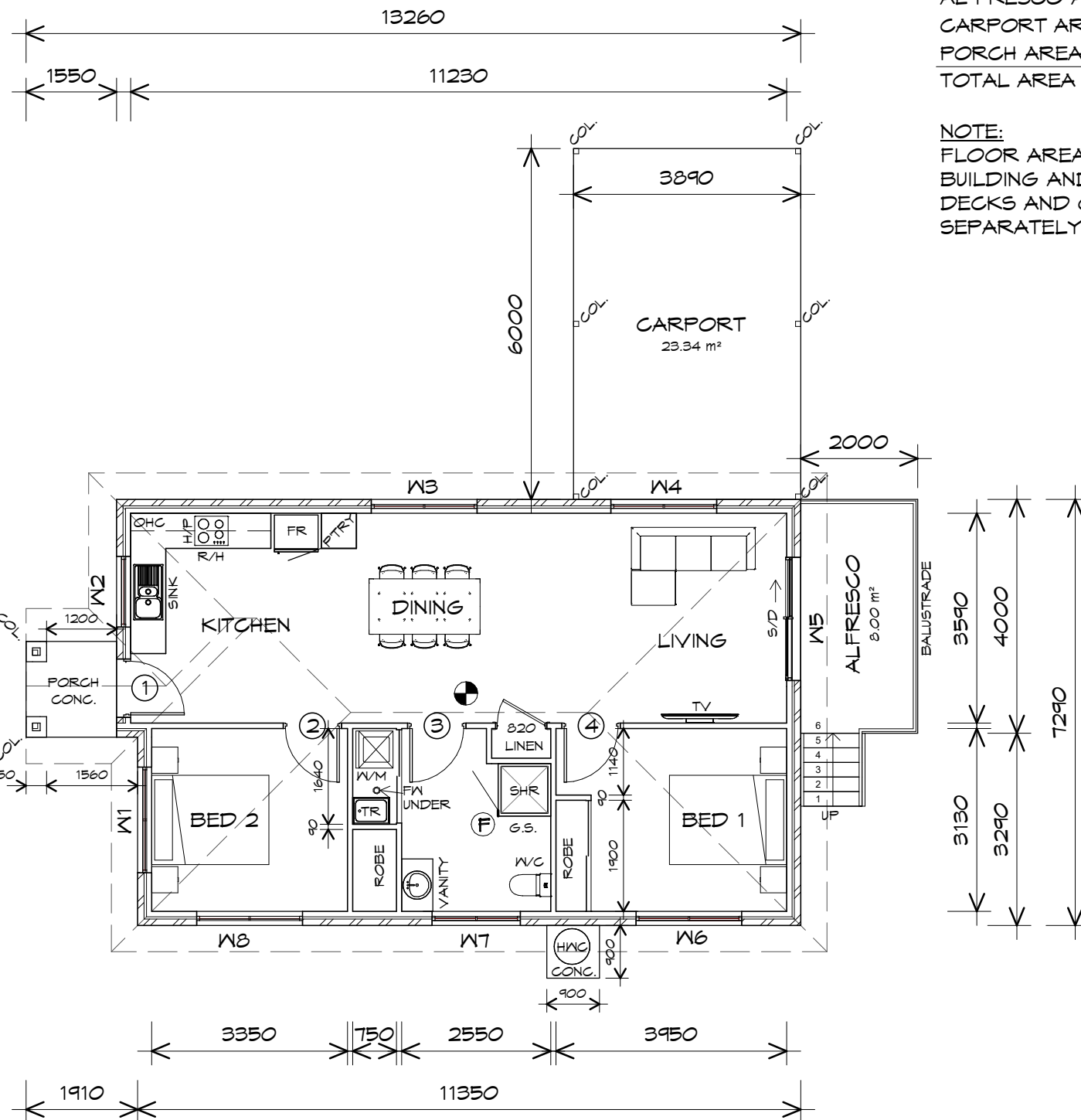
Approved by:  
F.G.G



Project/Drawing no: PD20174 -U5-04  
Revision: 01  
Accredited building practitioner: Frank Geskus -No CC246A







FLOOR AREA	84.21	m2	(	9.05	SQUARES )
AL FRESCO AREA	8.00	m2	(	0.86	SQUARES )
CARPORT AREA	23.34	m2	(	2.51	SQUARES )
PORCH AREA	2.48	m2	(	0.27	SQUARES )
TOTAL AREA	118.03			12.69	

**NOTE:**  
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
 DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- BAL.2 CRASH BARRIER

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	600	1810	AWNING WINDOW	
W2	900	1210	AWNING WINDOW	
W3	600	1810	AWNING WINDOW	
W4	600	1810	AWNING WINDOW	
W5	2100	2110	SLIDING DOOR	
W6	1800	1810	AWNING WINDOW	
W7	600	1510	AWNING WINDOW	OPAQUE
W8	1200	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
 WITH FLY SCREENS TO SUIT ??? BAL RATING.  
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
 PRIOR TO ORDERING

## FLOOR PLAN

1 : 100

UNIT 6



**CENTACARE**  
 evolve  
 HOUSING



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 160 New Town Road, New Town, Hobart 7008  
 p(h)+ 03 6228 4575  
 info@primedesigntas.com.au primedesigntas.com.au

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.

Drawing:  
 FLOOR PLAN

Date:  
 19/11/2021

Scale:  
 1 : 100

Project/Drawing no:  
 PD20174 -U6-01

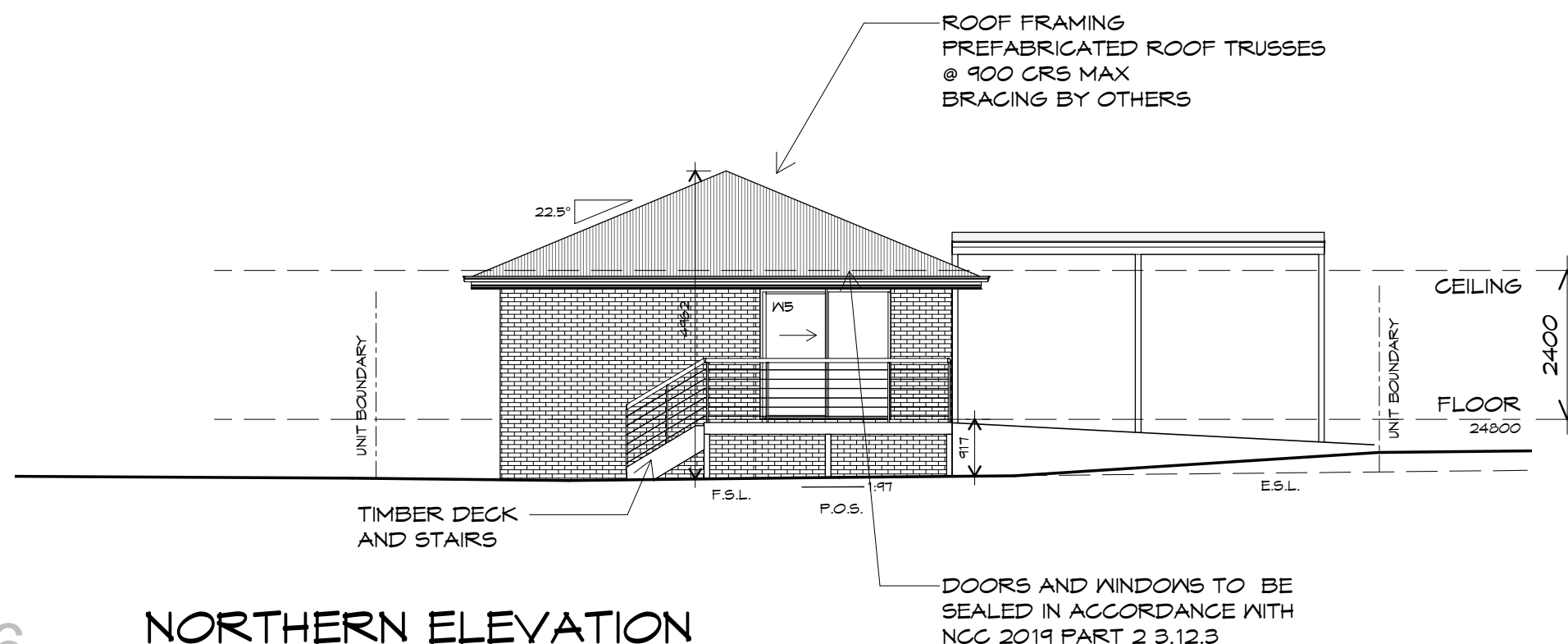
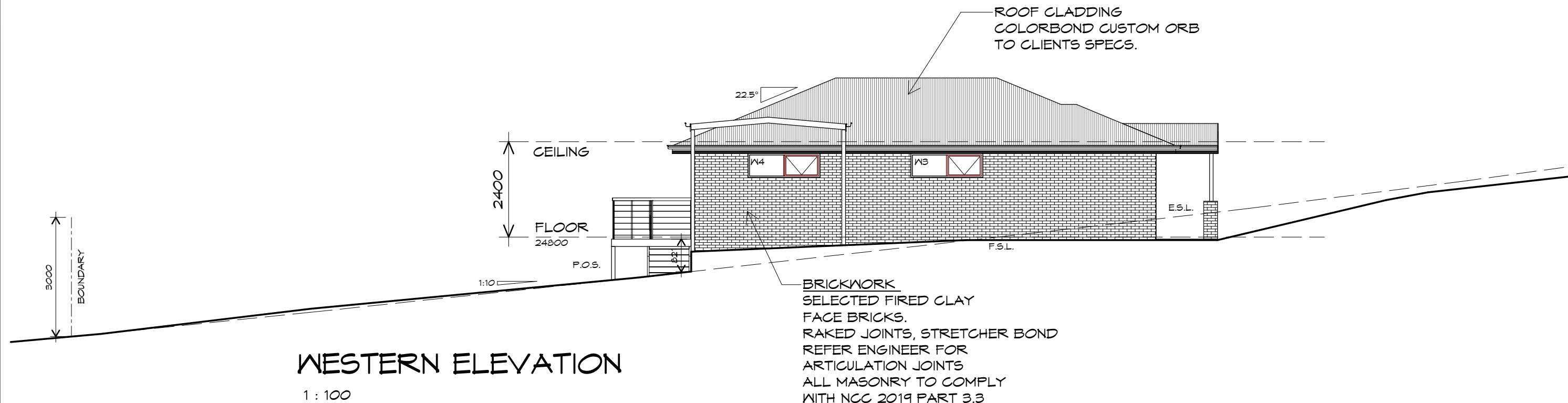
Revision:  
 02

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





UNIT 6

NORTHERN ELEVATION  
1 : 100



**CENTACARE**  
**evolve**  
**HOUSING**



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p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



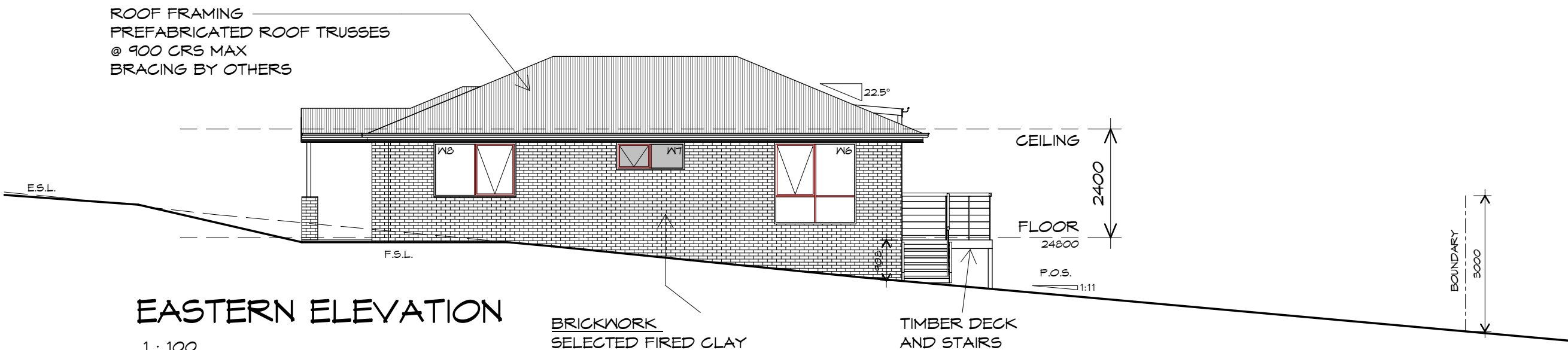
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ELEVATIONS

Date: 19/11/2021  
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Revision: 02

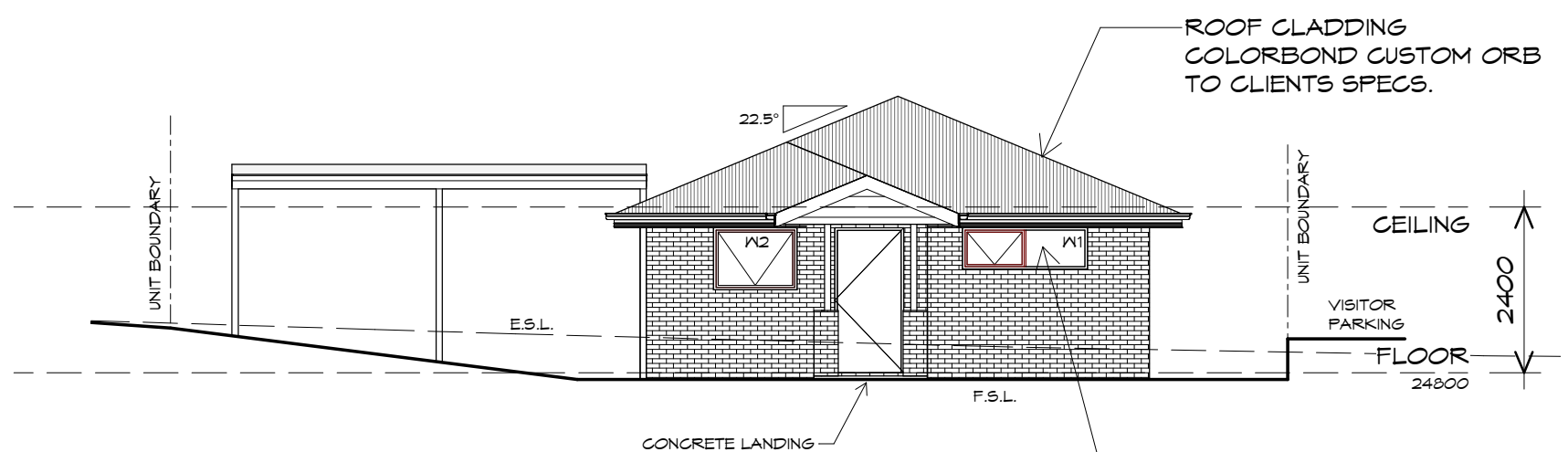
Accredited building practitioner: Frank Geskus -No CC246A





**EASTERN ELEVATION**  
1 : 100

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH NCC 2019 PART 3.3



**SOUTHERN ELEVATION**  
1 : 100

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
NCC 2019 PART 2 3.12.3

UNIT 6



**CENTACARE**  
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HOUSING



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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE**

Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by:  
**A.G.M.**

Approved by:  
**F.G.G.**

Drawing:  
**ELEVATIONS**

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U6-03 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A





## UNIT 6

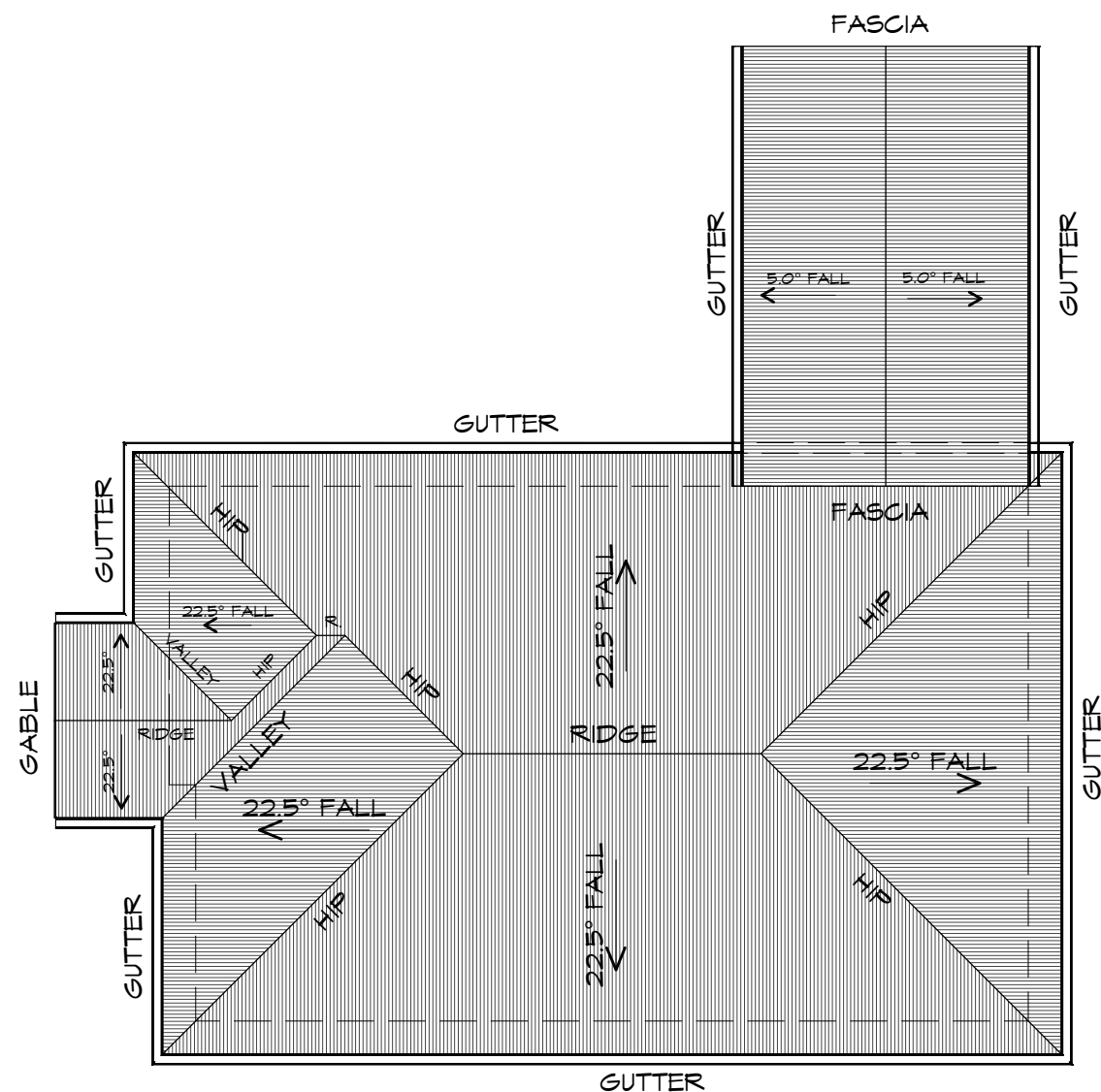


**CENTACARE**  
evolve  
HOUSING

### ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



#### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Drawing:  
ROOF PLAN

Client name:  
CENTACARE EVOLVE HOUSING

Date: 19/11/2021  
Scale: 1 : 100

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Project/Drawing no:  
PD20174 -U6-04

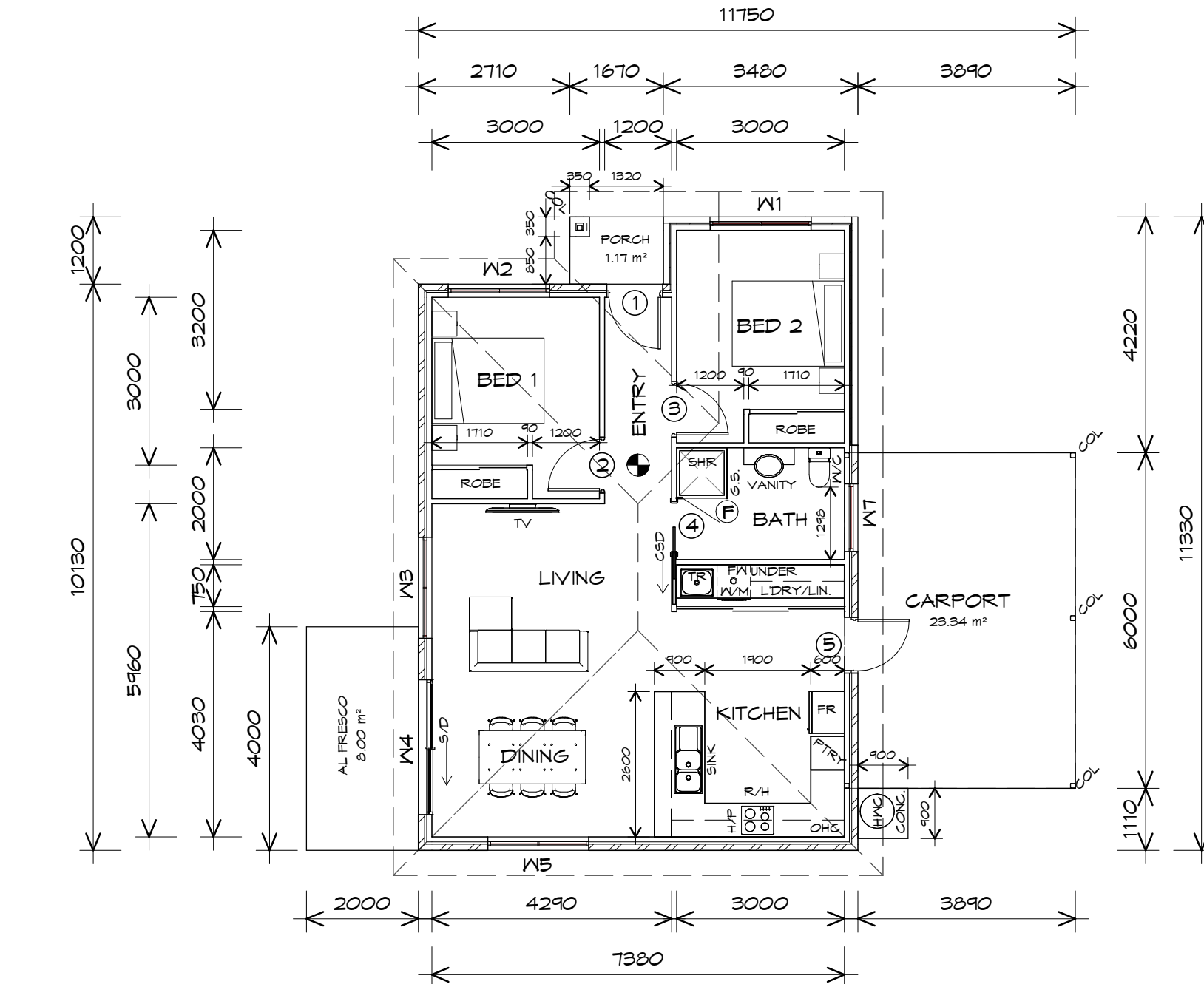
Revision:  
02

Accredited building practitioner: Frank Geskus -No CC246A



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FLOOR PLAN  
1 : 100

CARPORT AREA	24.62	m2	( 2.65 SQUARES )
FLOOR AREA	83.80	m2	( 9.01 SQUARES )
AL FRESCO AREA	8.00	m2	( 0.86 SQUARES )
PORCH AREA	2.00	m2	( 0.22 SQUARES )
TOTAL AREA	118.43		12.73

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

UNIT 7



CENTACARE  
evolve  
HOUSING



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## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- Ⓢ F/W FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1000	1810	AWNING WINDOW	
W3	1000	1810	AWNING WINDOW	
W4	2100	2410	SLIDING DOOR	
W5	1800	1810	AWNING WINDOW	
W7	600	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Drawing:  
FLOOR PLAN

Client name:  
CENTACARE EVOLVE HOUSING

Date: 19/11/2021  
Scale: 1 : 100

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

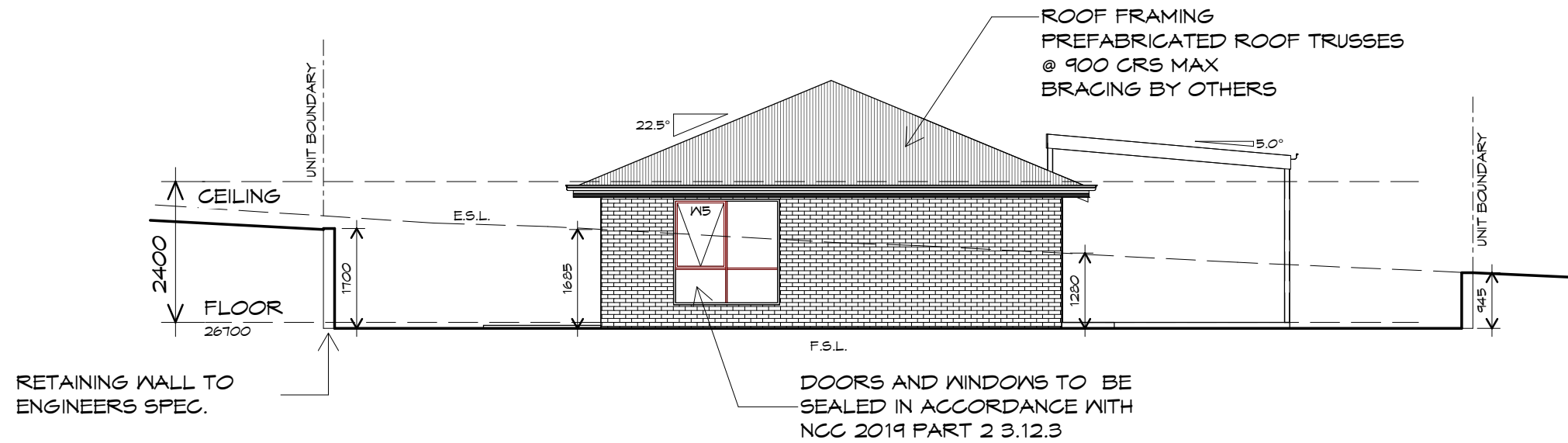


Project/Drawing no: PD20174 -U7-01  
Revision: 01  
Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

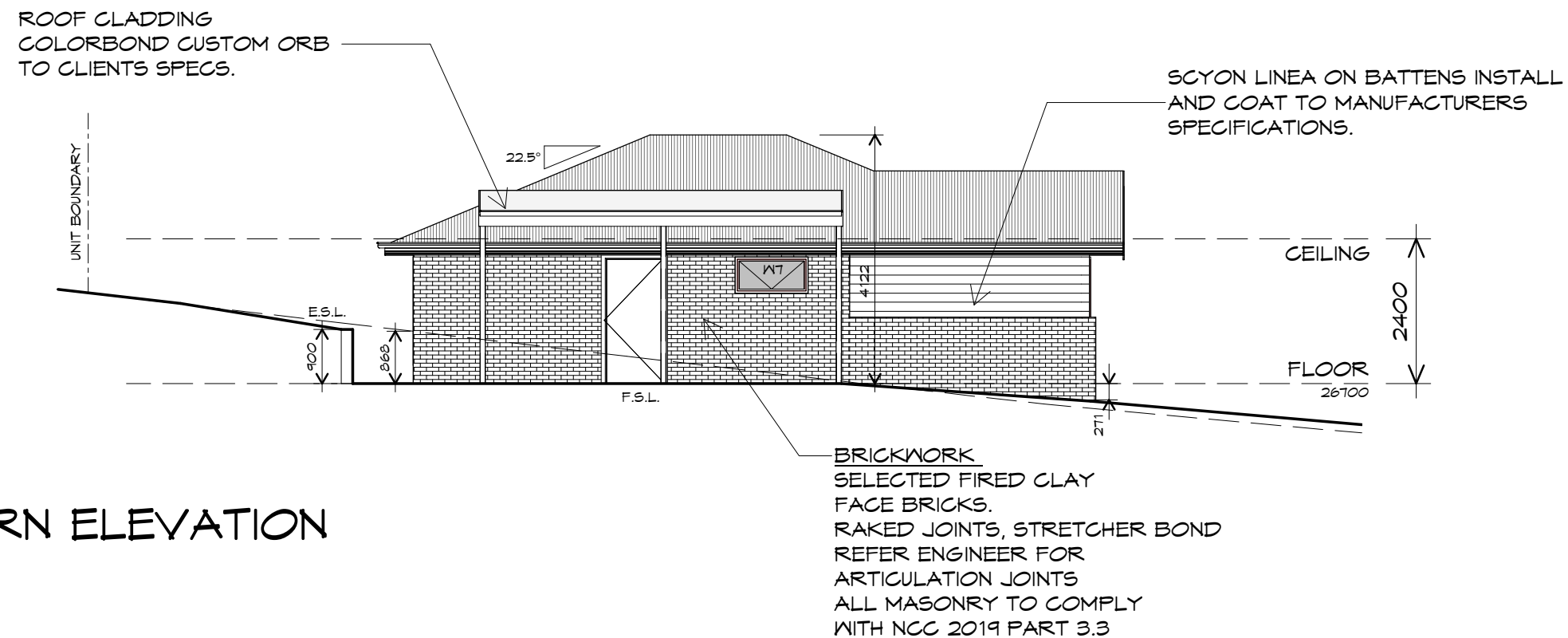
NOTE: DO NOT SCALE OFF DRAWINGS





## SOUTHERN ELEVATION

1 : 100



## EASTERN ELEVATION

1 : 100

UNIT 7



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



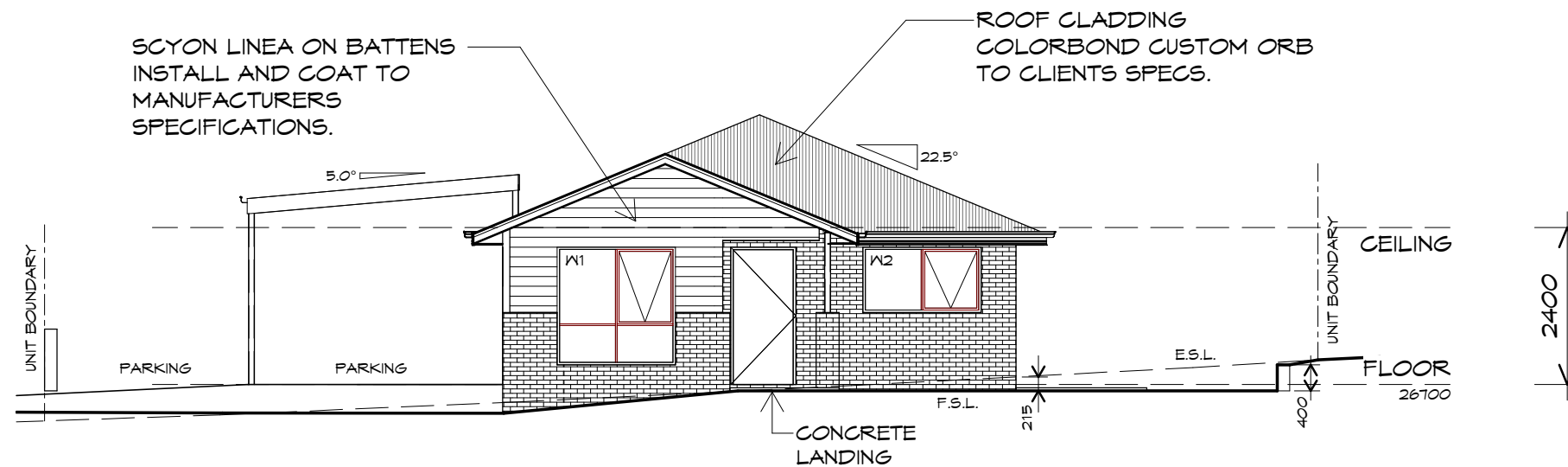
Drawing:  
ELEVATIONS

Date: 19/11/2021  
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Project/Drawing no: PD20174 -U7-02  
Revision: 01

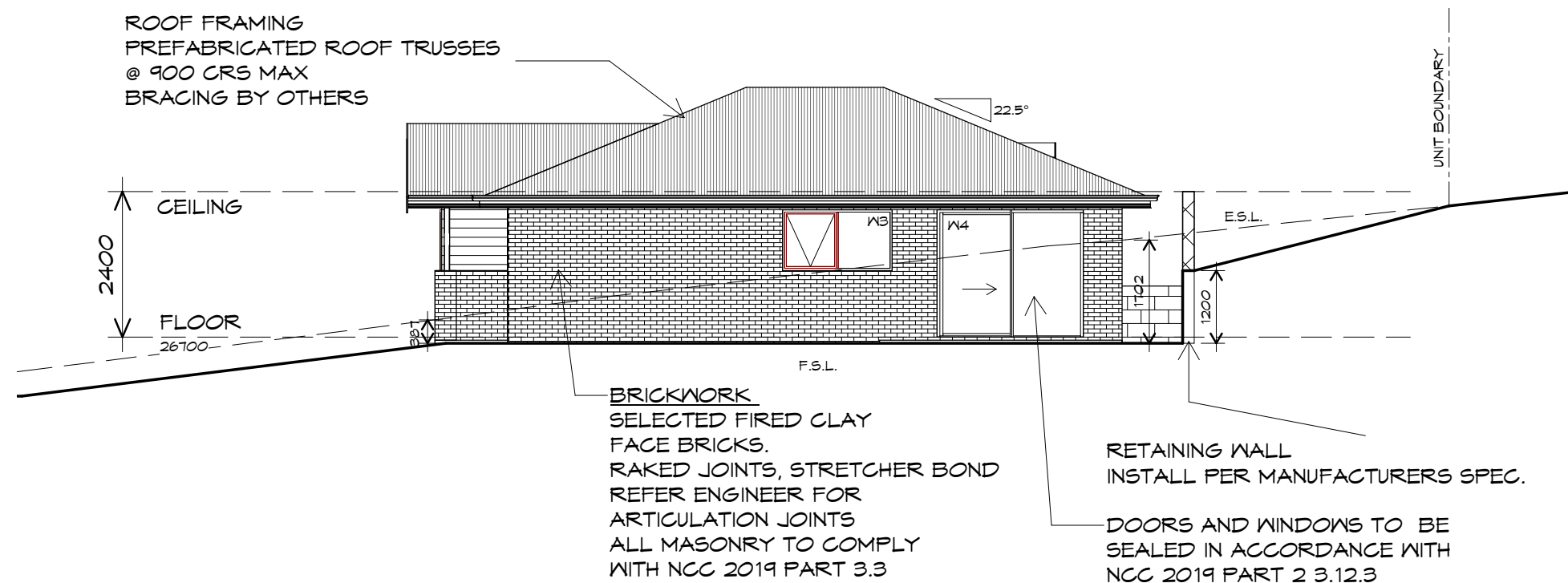
Accredited building practitioner: Frank Geskus -No CC246A





## NORTHERN ELEVATION

1 : 100



## WESTERN ELEVATION

1 : 100

UNIT 7



**CENTACARE**  
**evolve**  
HOUSING



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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U7-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



# UNIT 7



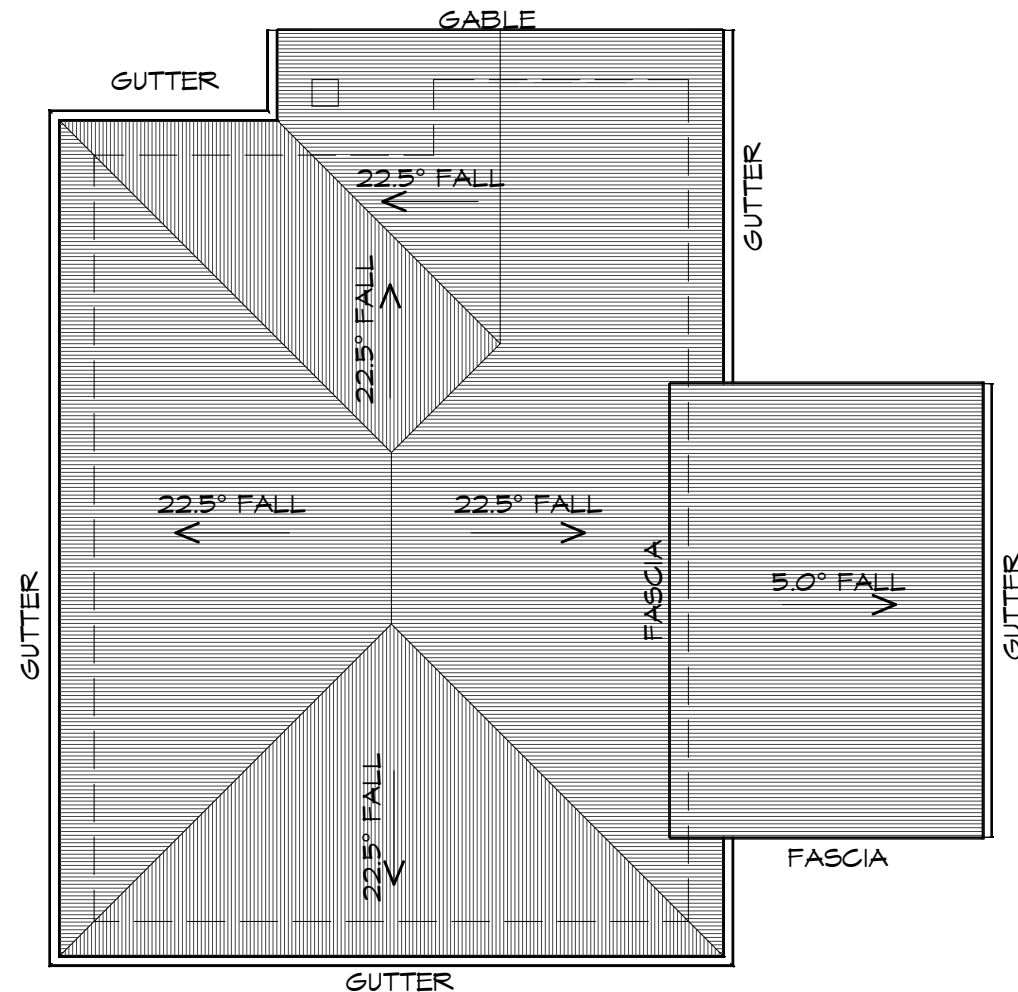
**CENTACARE**  
**evolve**  
 HOUSING

## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
 NCC 2019 PART 3.5.2.4.  
 WITH FALL NO LESS THAN  
 1:100 FOR BOX GUTTERS  
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
 400mm AND ROOF OVERHANG OF NOT  
 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.  
 B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
 PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
 WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
 ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
 CORROSION PROTECTION FOR SHEET ROOFING,  
 REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
 CONTACT BETWEEN DIFFERENT ROOFING  
 MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
 FREQUENCY FOR TRANSVERSE FLASHINGS AND  
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 DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF PENETRATION FLASHING DETAILS.  
 REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
 NCC 2019 PART 3.5.1.8

PLANNING  
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMAN COVE

Drawing:  
 ROOF PLAN

Client name:  
 CENTACARE EVOLVE HOUSING

Date: 19/11/2021  
 Scale: 1 : 100

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Project/Drawing no: PD20174 -U7-04  
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



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# FLOOR PLAN

1 : 100

## UNIT 8

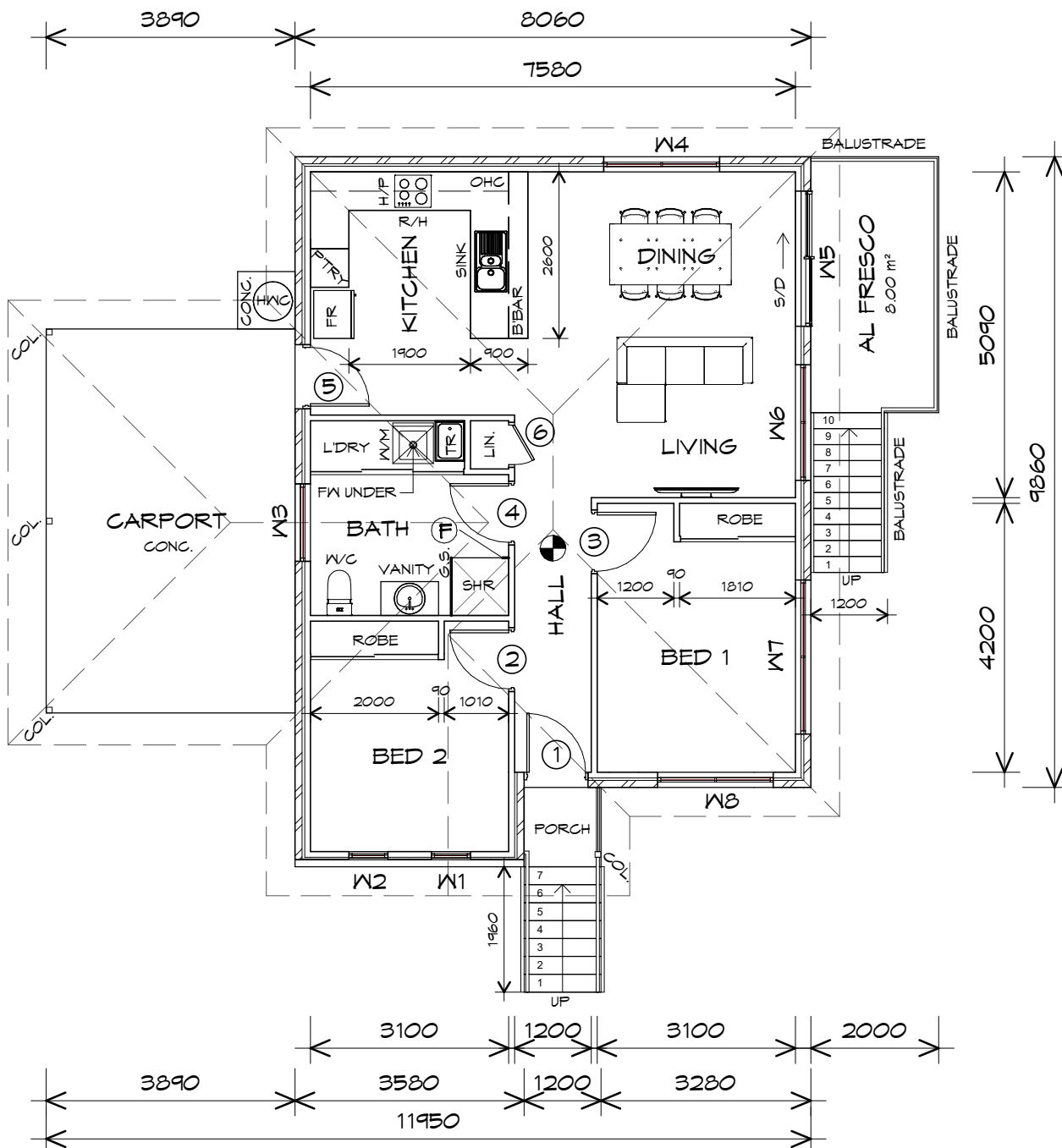


**CENTACARE**  
evolve  
HOUSING

### NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

CARPORT AREA	24.06 m2	( 2.59 SQUARES )
FLOOR AREA	82.03 m2	( 8.82 SQUARES )
AL FRESCO AREA	8.48 m2	( 0.91 SQUARES )
PORCH AREA	1.80 m2	( 0.19 SQUARES )
	116.36	12.51



## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- COL 350X350 BRICK COLUMN C/W 90 SHS INSIDE
- R/H RANGE HOOD
- HWC HOT WATER CYLINDER

### STAIRS

180 RISER  
260 GOING  
NON SLIP TO COMPLY  
NCC 2019 PART 3.9

### HANDRAIL

HANDRAIL REQUIRED TO AT LEAST  
ONE SIDE OF RAMP OR  
STAIRWAY IF HEIGHT MORE THAN 1m  
TO COMPLY NCC 2019 PART 3.9.2

## DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	
6	620	ROBE DOOR	

## WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	610	AWNING WINDOW	
W2	1200	610	AWNING WINDOW	
W3	600	1210	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	2100	2110	SLIDING DOOR	
W6	1000	1810	AWNING WINDOW	
W7	600	2410	AWNING WINDOW	
W8	1800	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Project:  
PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U8-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



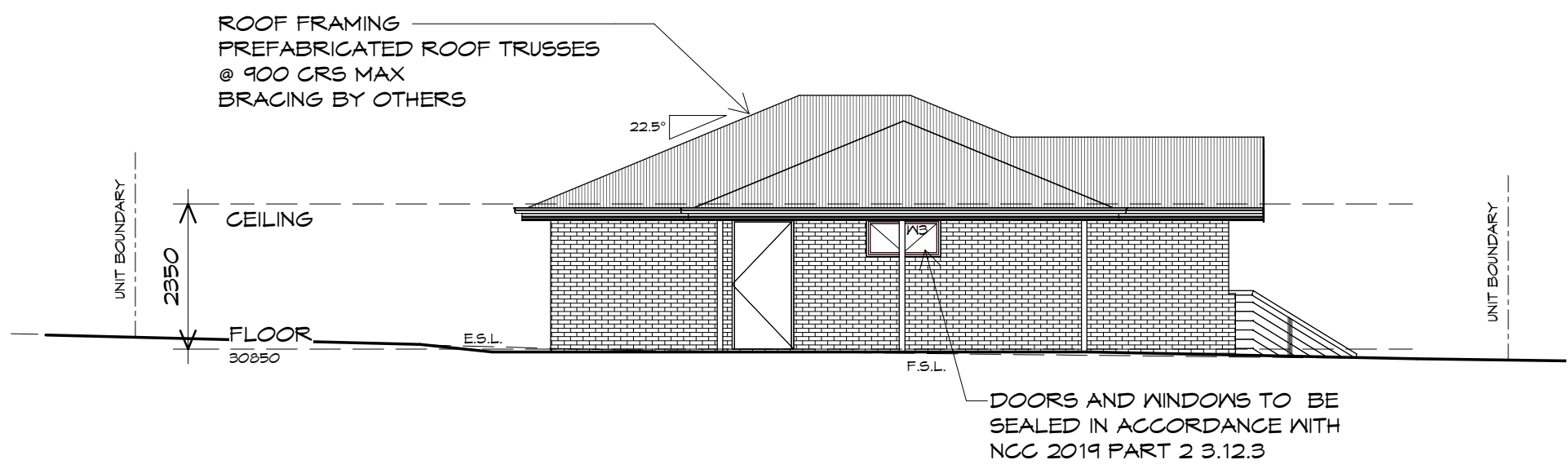
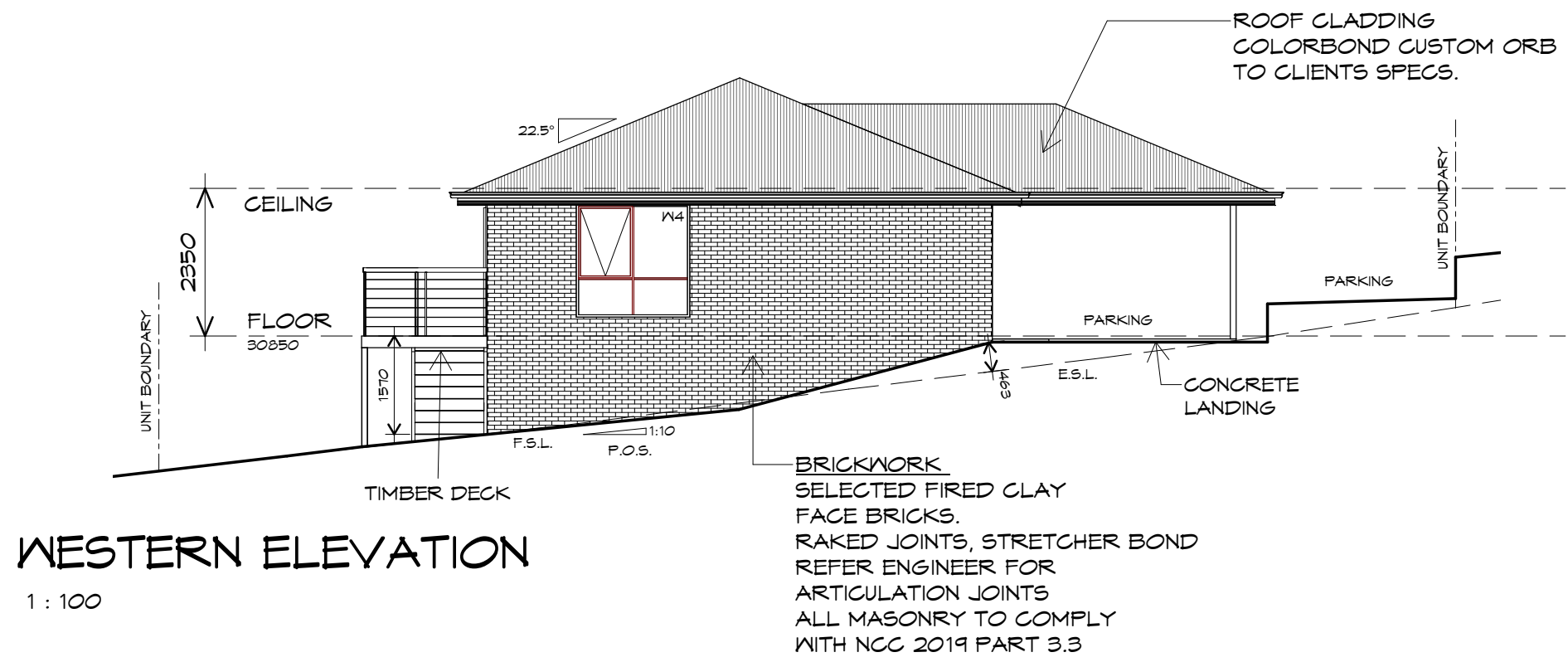
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





UNIT 8



**CENTACARE**  
**evolve**  
**HOUSING**

**Prime Design**

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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



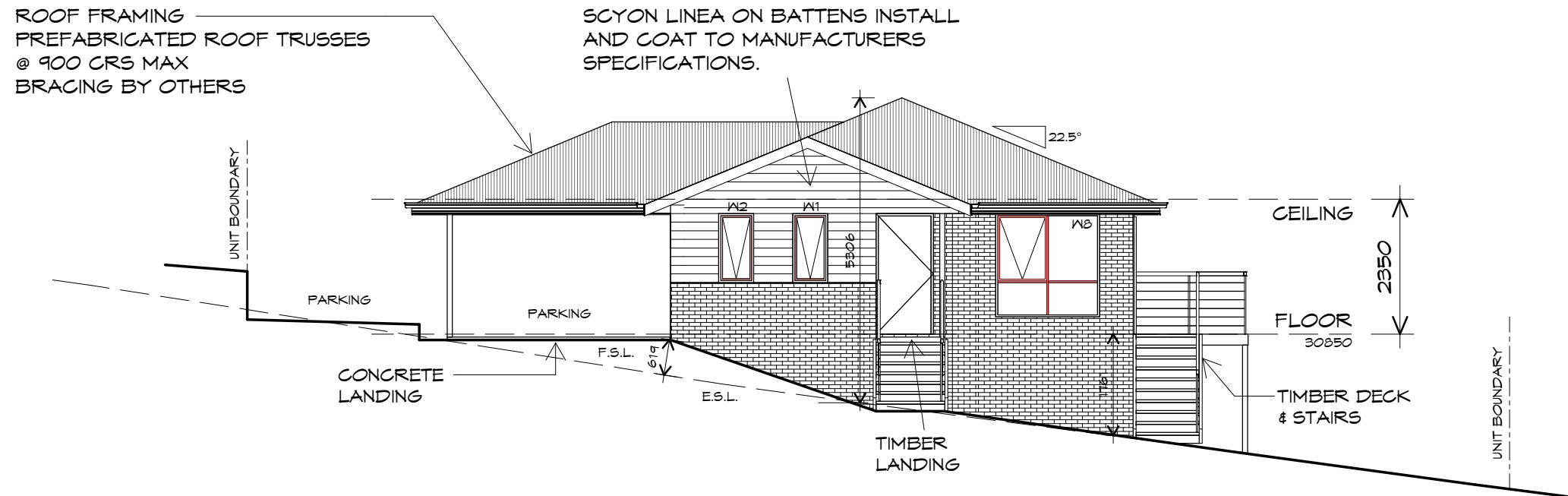
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ELEVATIONS

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U8-02 Revision: 01

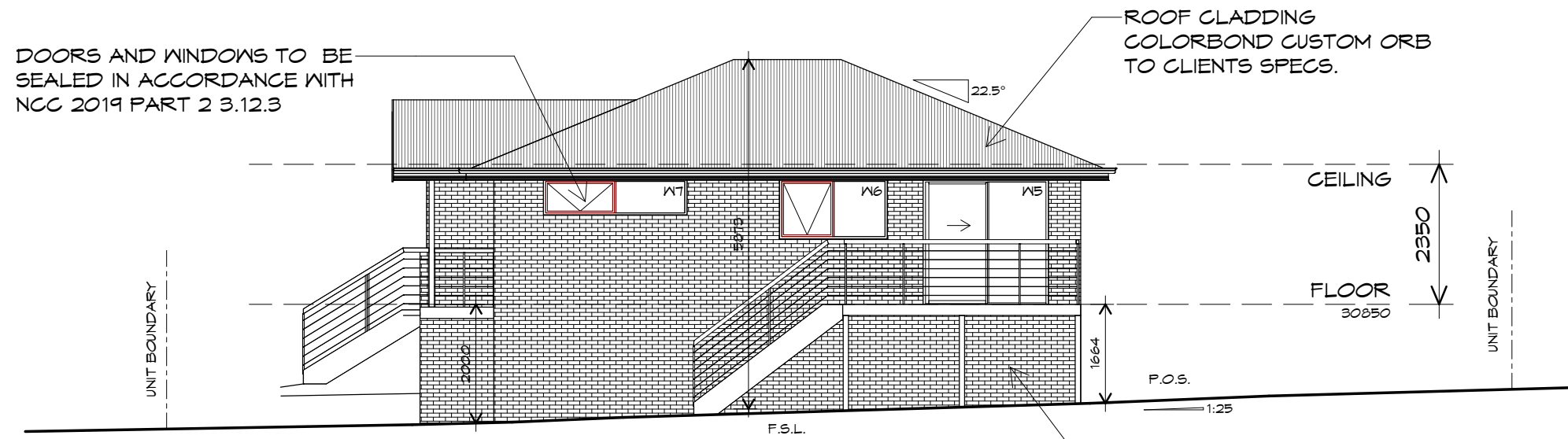
Accredited building practitioner: Frank Geskus -No CC246A





EASTERN ELEVATION

1 : 100



NORTHERN ELEVATION

1 : 100

UNIT 8



**CENTACARE**  
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Project:  
PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U8-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



## UNIT 8



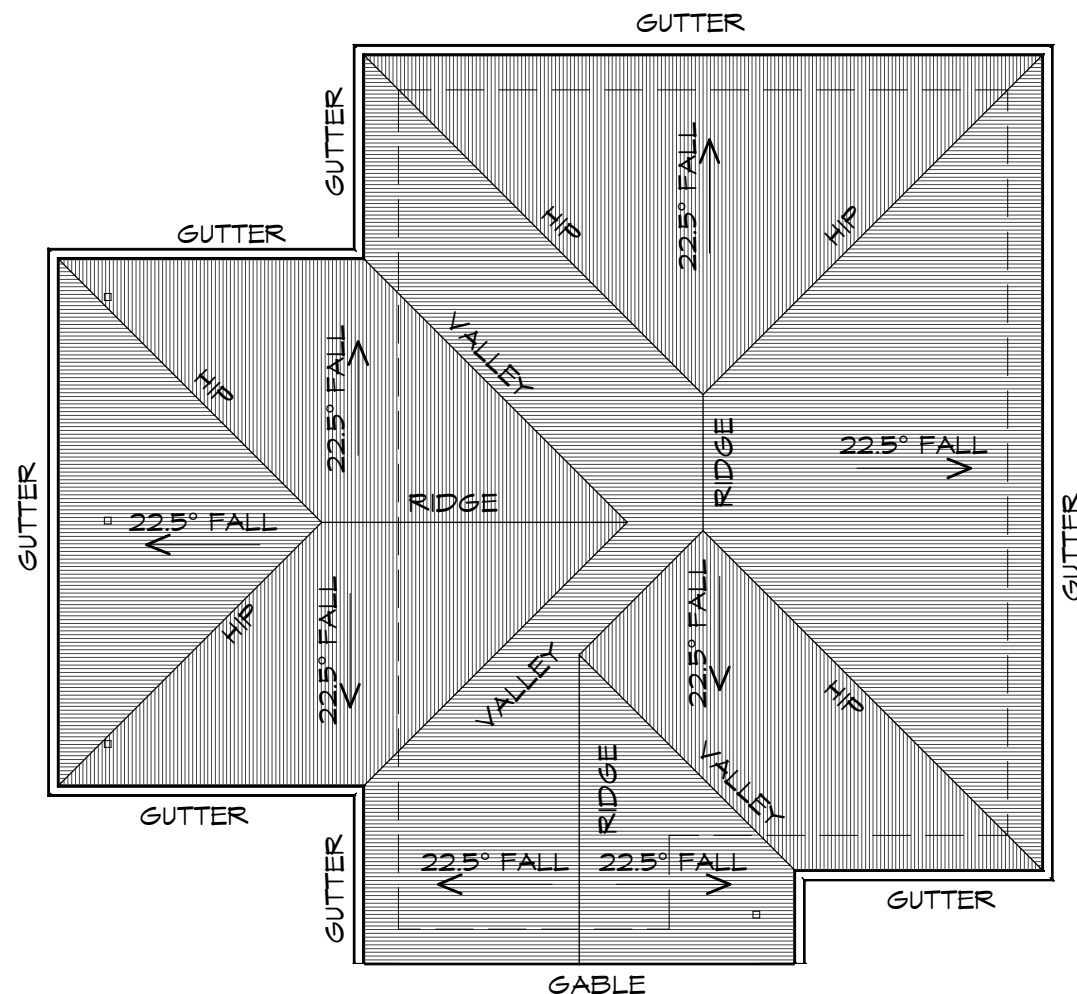
**CENTACARE**  
evolve  
HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



#### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

**VALLEY GUTTERS ON A ROOF WITH A PITCH:**  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8



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Project:  
PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U8-04

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGEHOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- ° FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

### STAIRS

180 RISER  
260 GOING  
NON SLIP TO COMPLY  
NCC 2019 PART 3.9

### HANDRAIL

HANDRAIL REQUIRED TO AT LEAST  
ONE SIDE OF RAMP OR  
STAIRWAY IF HEIGHT MORE THAN 1m  
TO COMPLY NCC 2019 PART 3.9.2

### NOTE:

WHERE LIGHT WEIGHT CLADDING IS  
USED DIMENSIONS ARE TO FRAME ONLY  
AND DO NOT INCLUDE LIGHT WEIGHT  
CLADDING

### DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

### WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	610	AWNING WINDOW	
W4	600	1810	AWNING WINDOW	
W5	600	910	AWNING WINDOW	OPAQUE
W6	2100	2110	SLIDING DOOR	
W7	1800	1810	AWNING WINDOW	
W8	600	1810	AWNING WINDOW	
W9	1800	910	AWNING WINDOW	
W10	600	2410	AWNING WINDOW	

ALUMINIUM WINDOWS ??? **GLAZING COMPLETE**  
WITH FLY SCREENS TO SUIT ??? **BAL RATING.**  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Project:

PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Drawing:

FLOOR PLAN

Client name:

CENTACARE EVOLVE HOUSING

Date:

19/11/2021

Scale:

1 : 100

Drafted by:

A.G.M.

Approved by:

F.G.G.



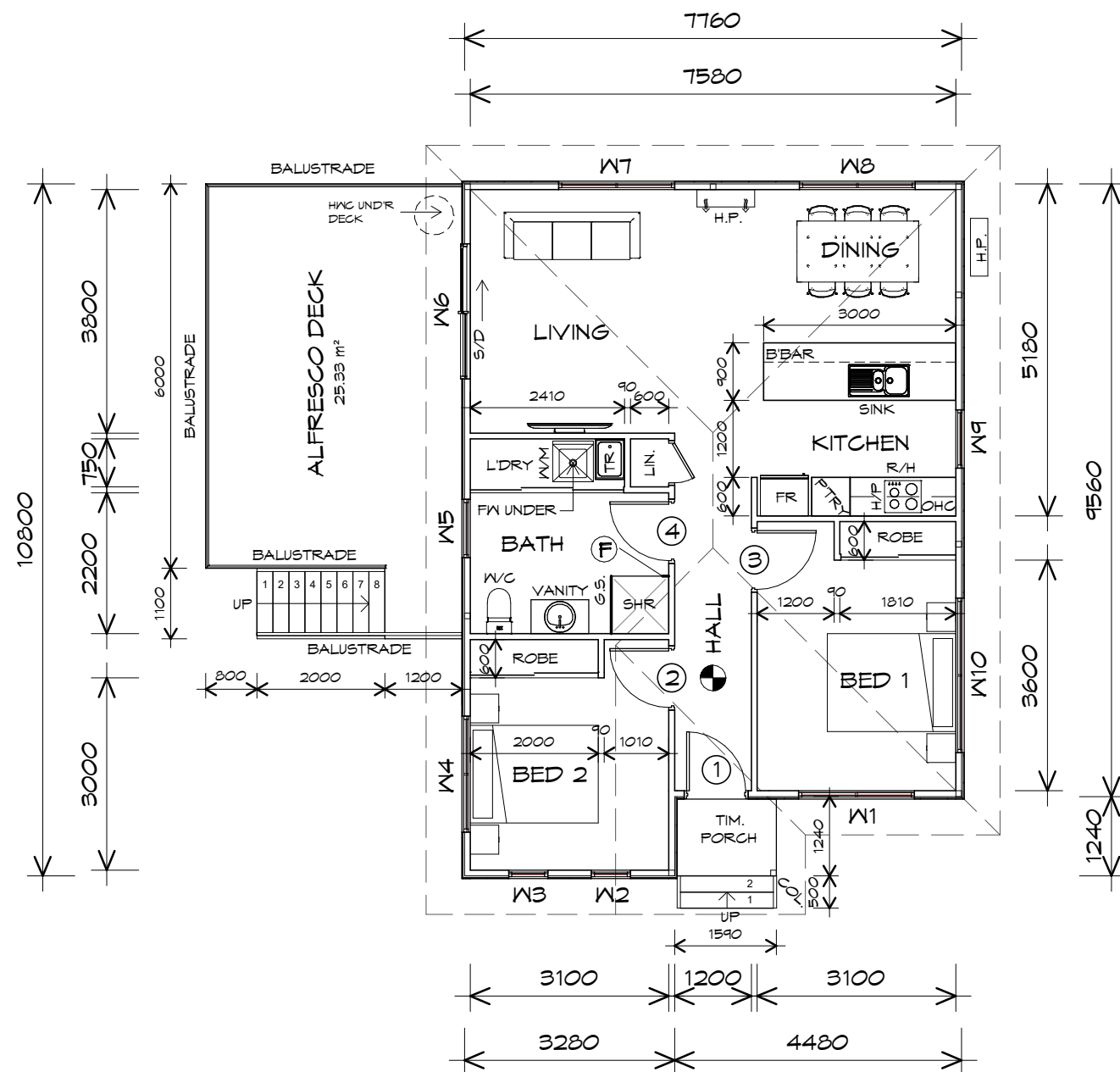
Project/Drawing no:

PD20174 -U9-01

Revision:

01

Accredited building practitioner: Frank Geskus -No CC246A



## FLOOR PLAN

1 : 100

ALFRESCO AREA	25.33	m2	( 2.72	SQUARES )
FLOOR AREA	79.43	m2	( 8.54	SQUARES )
PORCH AREA	1.86	m2	( 0.20	SQUARES )
TOTAL AREA	106.62		11.46	

### NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.

UNIT 9



**CENTACARE**  
**evolve**  
HOUSING



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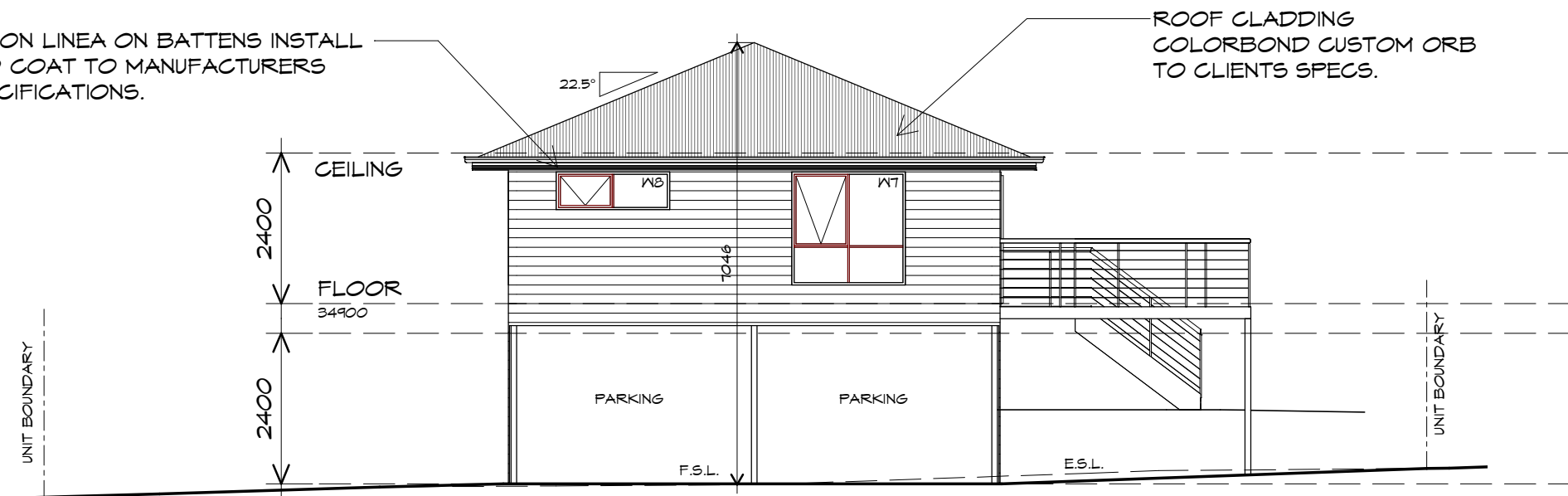
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



SCYON LINEA ON BATTENS INSTALL  
AND COAT TO MANUFACTURERS  
SPECIFICATIONS.

ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.

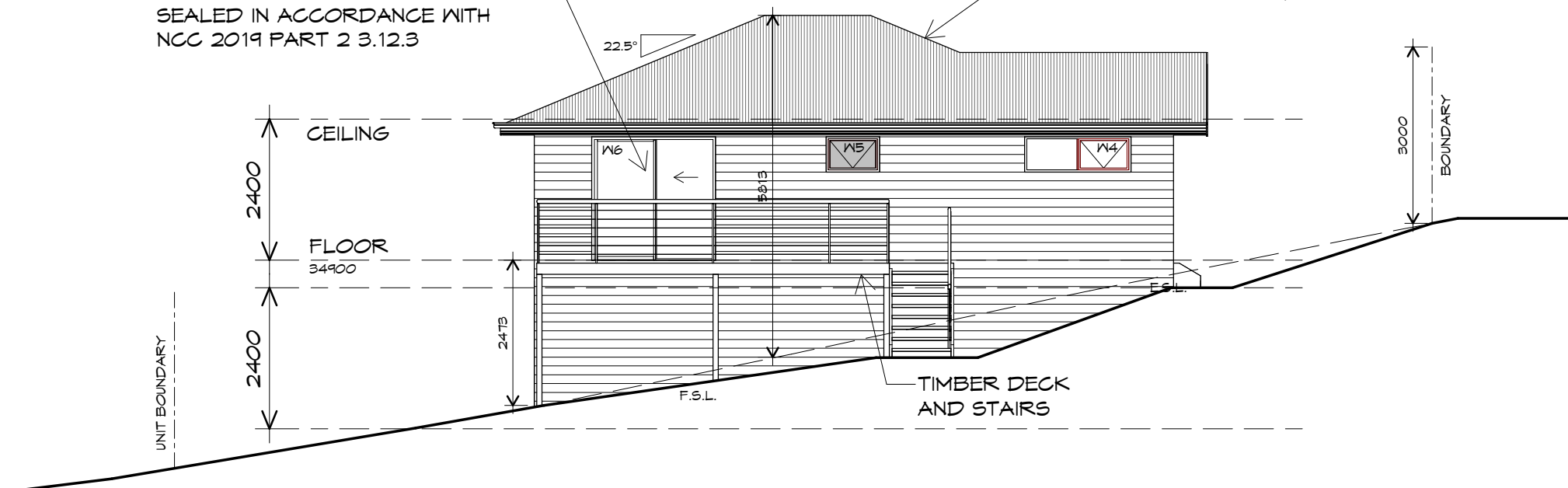


## NORTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
NCC 2019 PART 2 3.12.3

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS



## WESTERN ELEVATION

1 : 100

UNIT 9



**CENTACARE**  
**evolve**  
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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

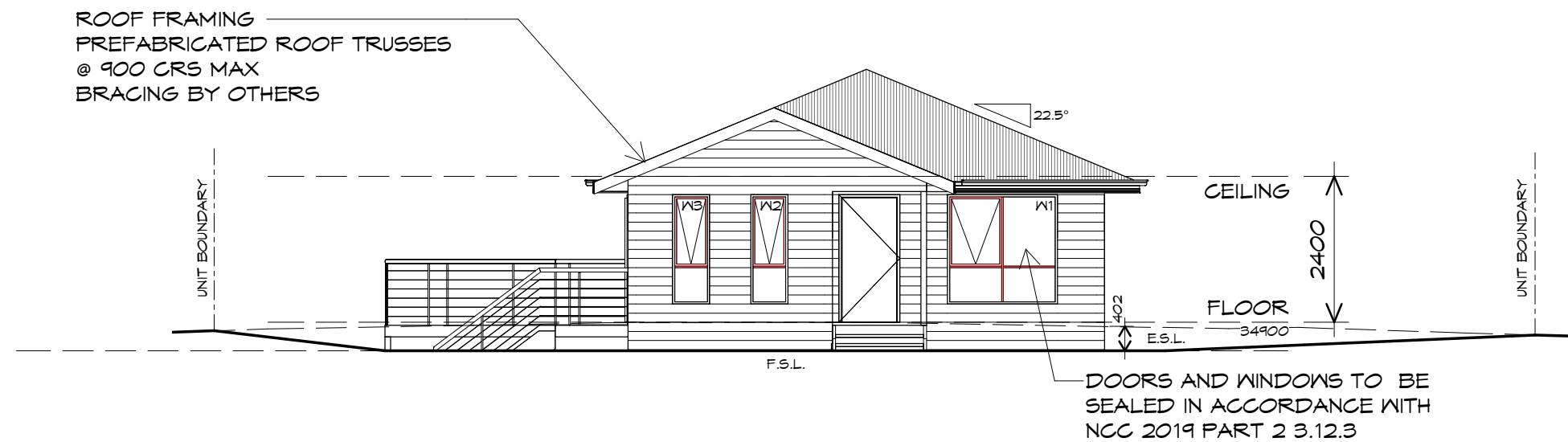
Project/Drawing no: PD20174 -U9-02  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

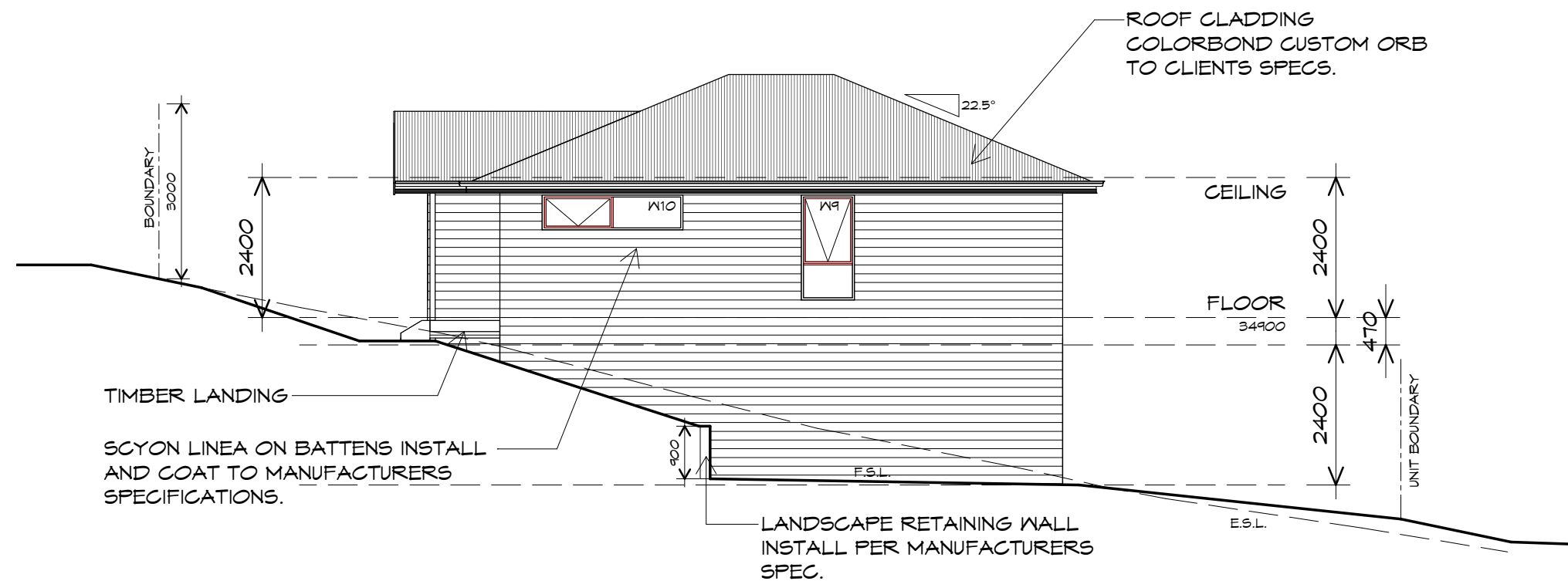
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## SOUTHERN ELEVATION

1 : 100



## EASTERN ELEVATION

1 : 100

UNIT 9



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

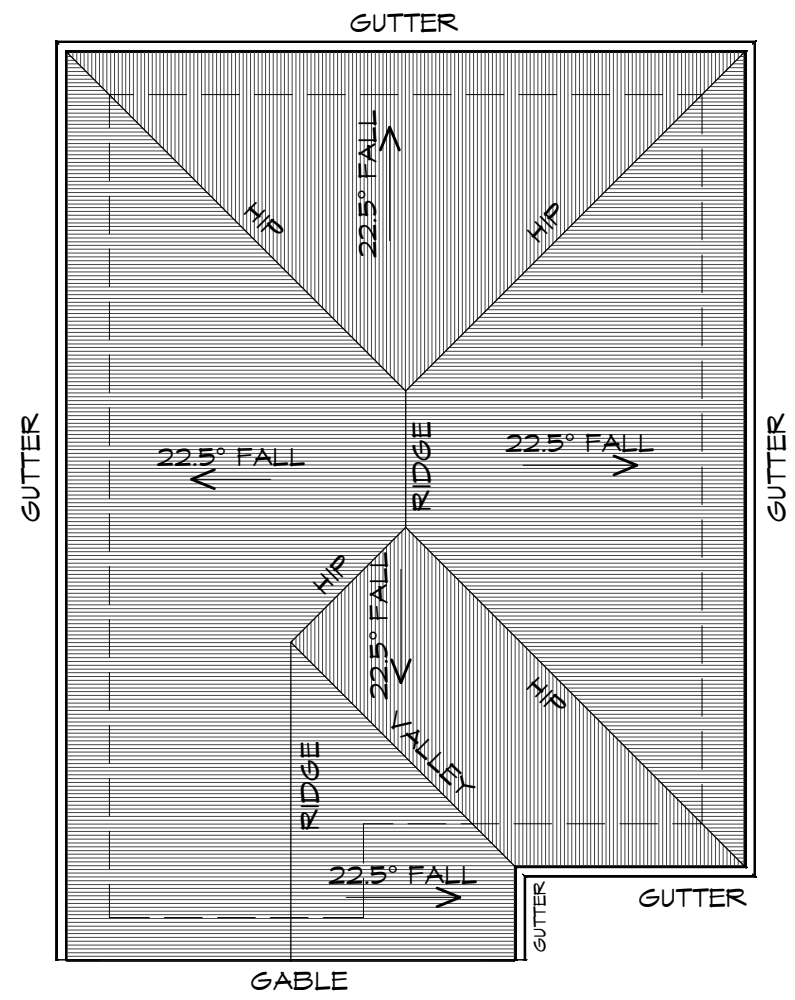
Project/Drawing no: PD20174 -U9-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





## ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

METAL ROOF  
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
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FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

## UNIT 9



**CENTACARE**  
**evolve**  
**HOUSING**



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p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U9-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	ROBE DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	600	1810	AWNING WINDOW	
W4	2100	2110	SLIDING DOOR	
W5	1800	910	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	600	1510	AWNING WINDOW	OPAQUE
W9	600	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT ??? **BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Project:  
PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
FLOOR PLAN

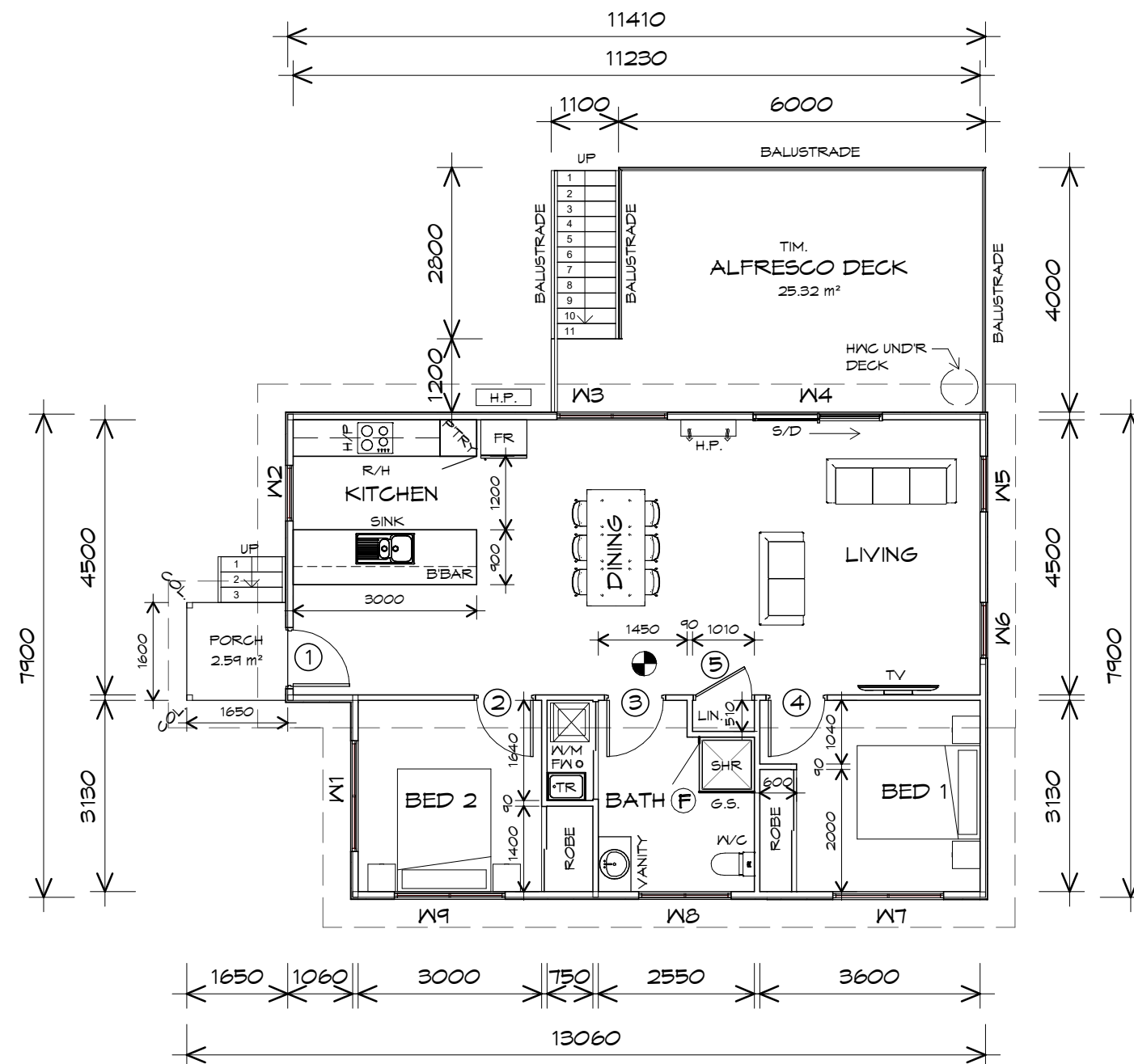
Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U10-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



## FLOOR PLAN

1 : 100

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.

FLOOR AREA	87.38 m2	( 9.40 SQUARES )
ALFRESCO AREA	25.80 m2	( 2.77 SQUARES )
PORCH AREA	2.68 m2	( 0.29 SQUARES )
TOTAL AREA	115.86	12.46



**CENTACARE**  
**evolve**  
HOUSING

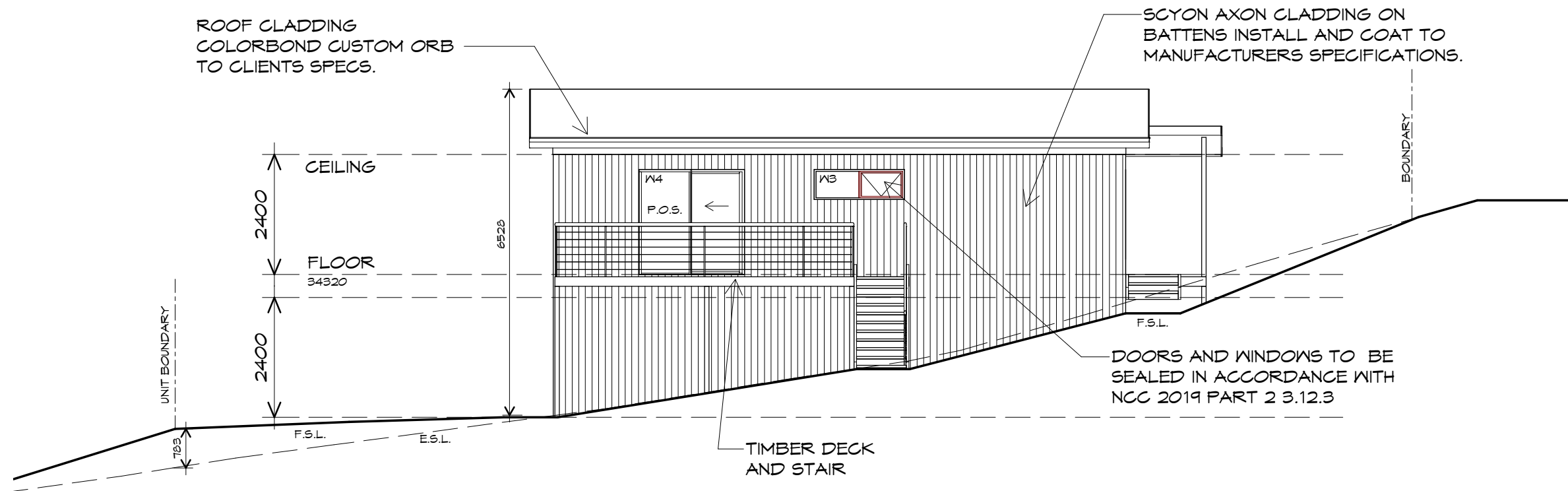


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UNIT 10

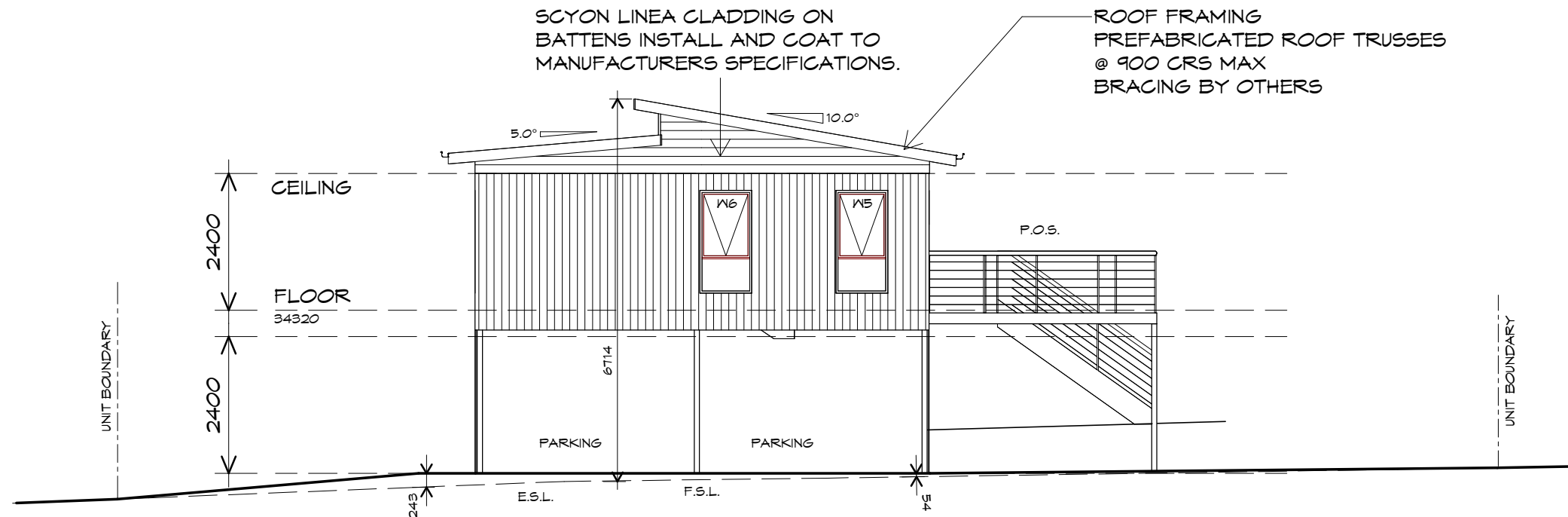


Accredited building practitioner: Frank Geskus -No CC246A



## NORTH WESTERN ELEVATION

1:100



## NORTH EASTERN ELEVATION

1:100



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1:100

Project/Drawing no: PD20174 -U10-02  
Revision: 01

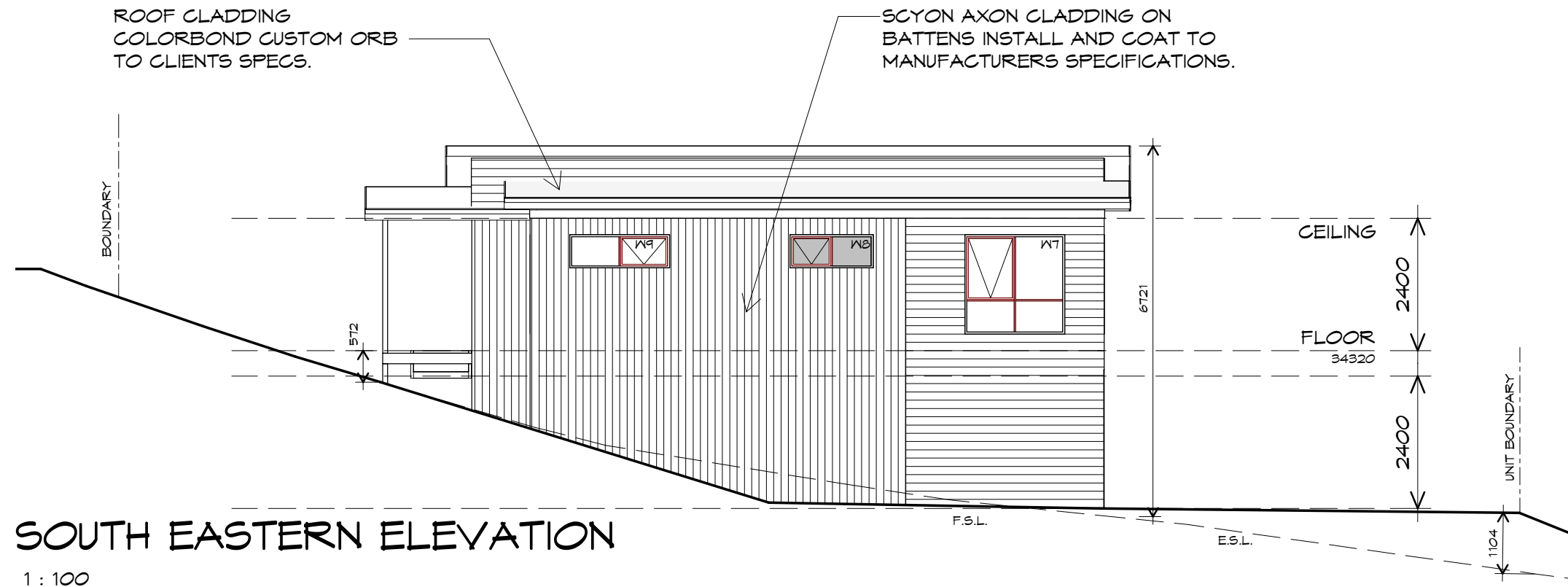
Accredited building practitioner: Frank Geskus -No CC246A

UNIT 10

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





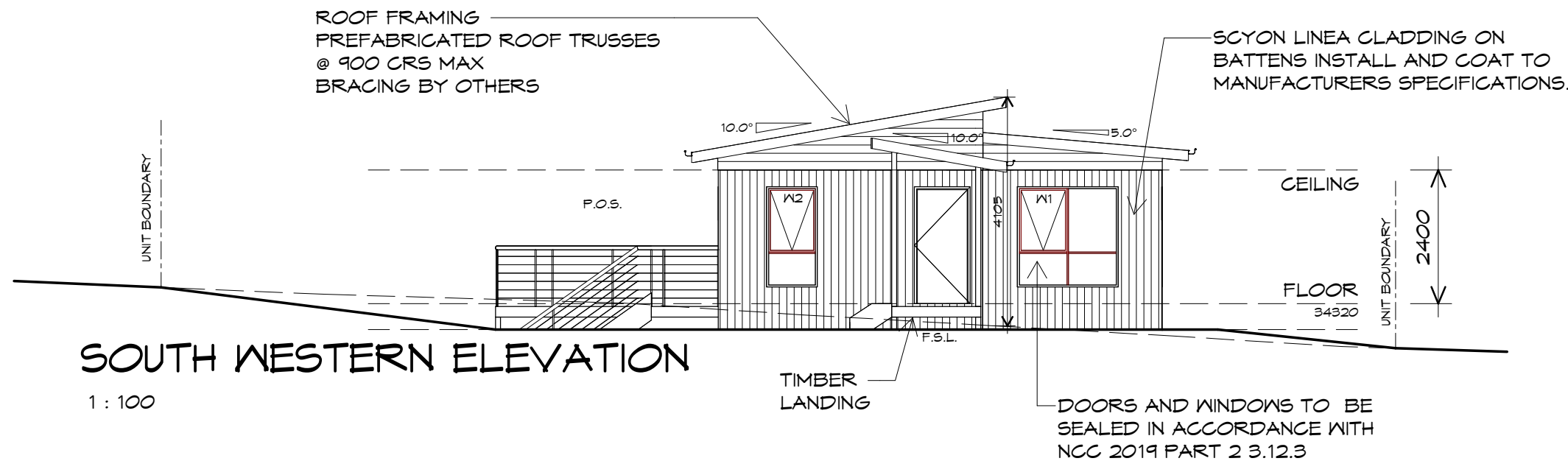
**Prime Design**  
10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENTIAL DEVELOPMENT**  
**LAMPRILL CIRCLE,**  
**HERDSMANS COVE**  
Client name:  
**CENTACARE EVOLVE HOUSING**

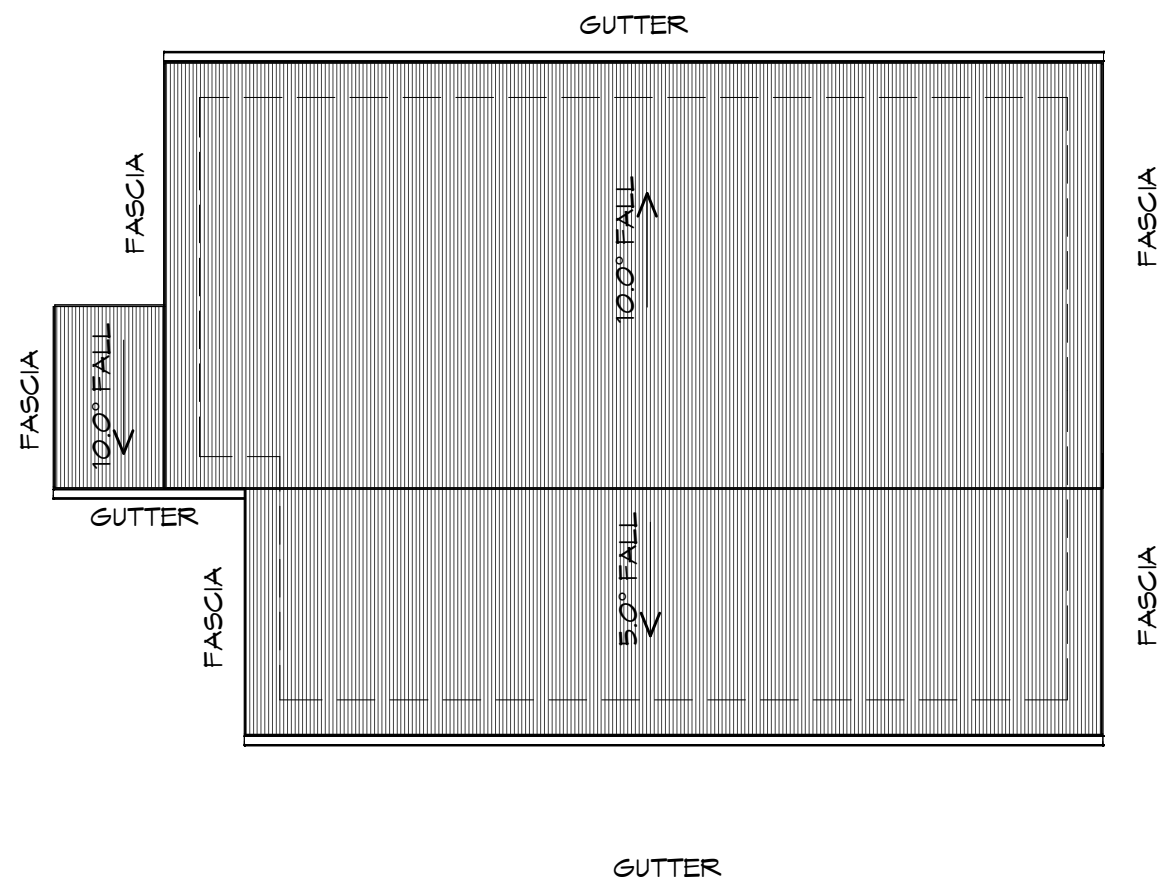
Drawing:  
**ELEVATIONS**

Drafted by: <b>A.G.M.</b>	Approved by: <b>F.G.G.</b>
Date: <b>19/11/2021</b>	Scale: <b>1 : 100</b>

Project/Drawing no: <b>PD20174 -U10-03</b>	Revision: <b>01</b>
Accredited building practitioner: Frank Geskus -No CC246A	



**CENTACARE**  
**evolve**  
HOUSING



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



**CENTACARE**  
**evolve**  
HOUSING

UNIT 10



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### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U10-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



# UNIT 11



**CENTACARE**  
evolve  
HOUSING

## FLOOR PLAN

1 : 100



10 Goodman Court, Invermay Tasmania 7248,  
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160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

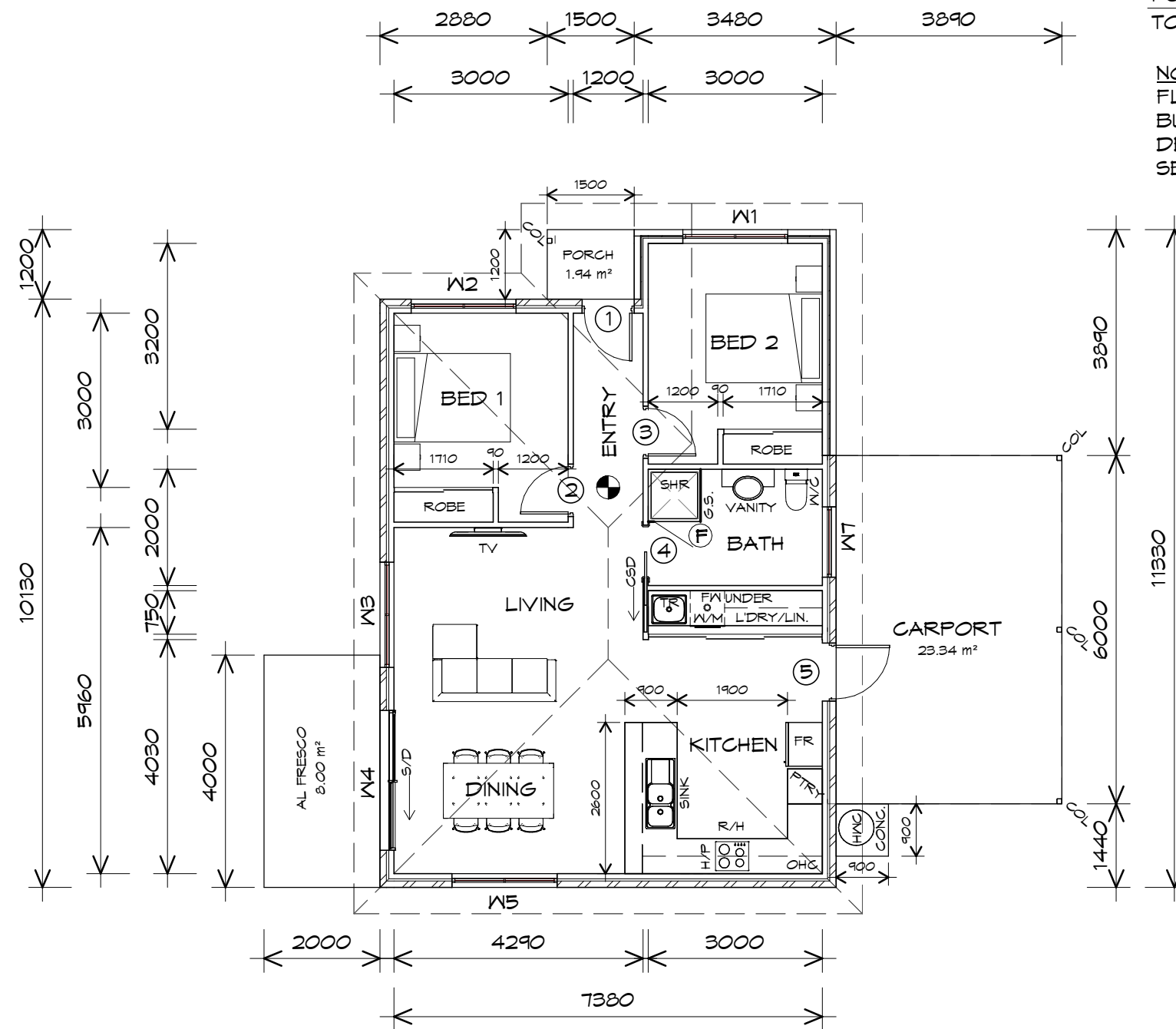
Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U11-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



CARPORT AREA	23.34	m2	( 2.51 SQUARES )
FLOOR AREA	83.10	m2	( 8.94 SQUARES )
AL FRESCO AREA	8.00	m2	( 0.86 SQUARES )
PORCH AREA	3.15	m2	( 0.34 SQUARES )
TOTAL AREA	117.59		12.64

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- Ⓢ FW FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

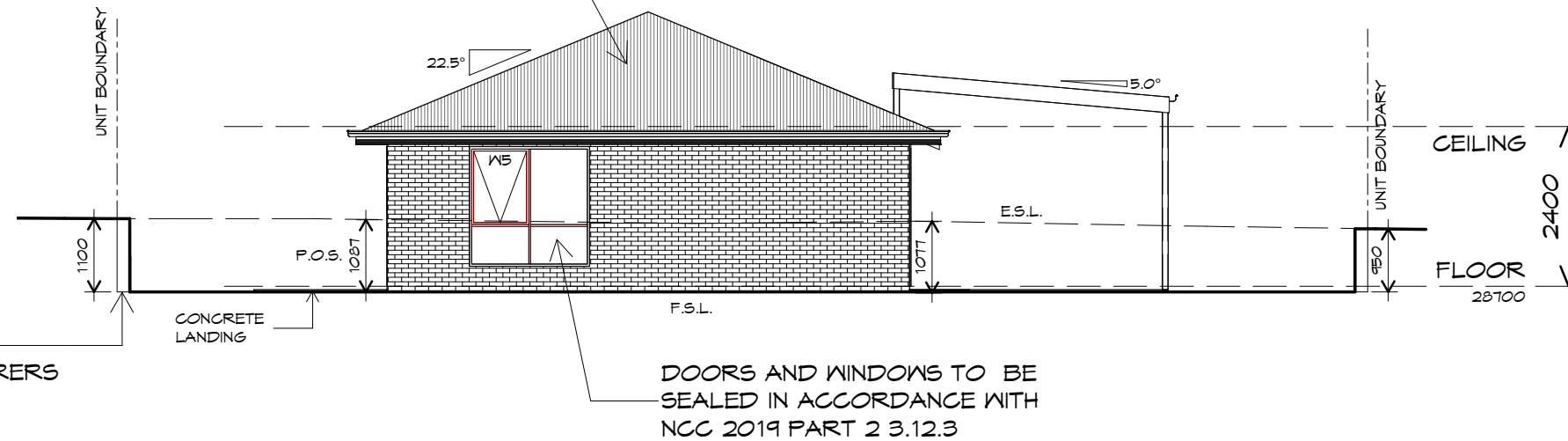
DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1000	1810	AWNING WINDOW	
W3	1000	1810	AWNING WINDOW	
W4	2100	2410	SLIDING DOOR	
W5	1800	1810	AWNING WINDOW	
W7	600	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

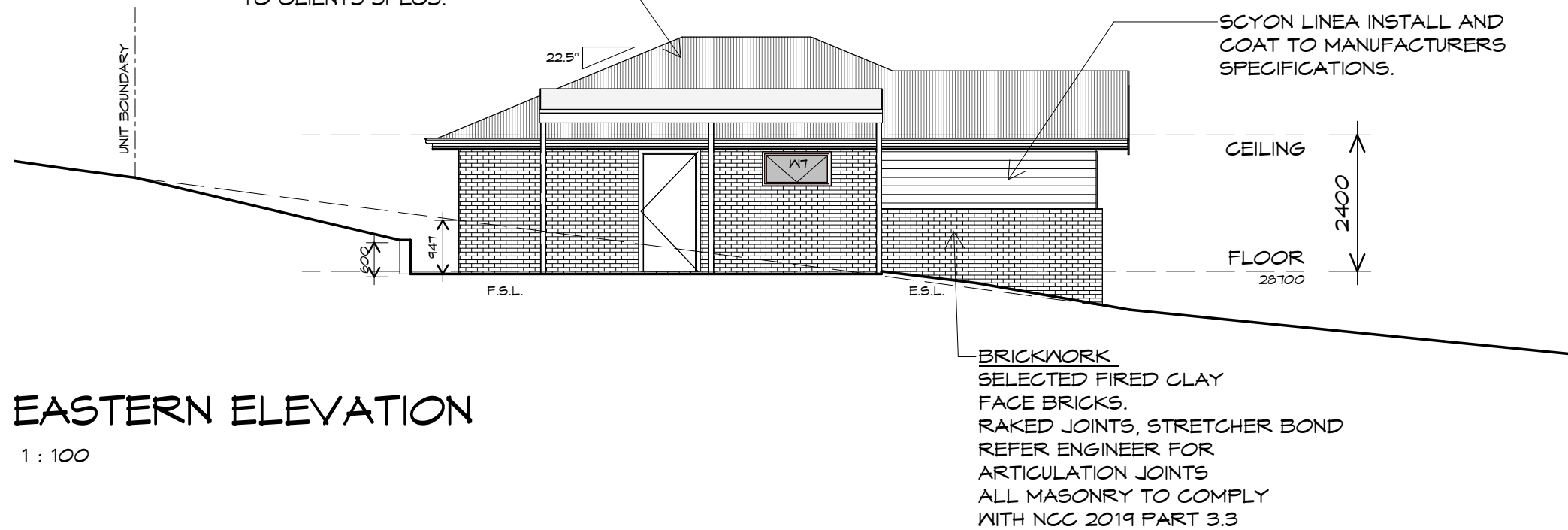
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## SOUTHERN ELEVATION

1 : 100



## EASTERN ELEVATION

1 : 100

# UNIT 11



**CENTACARE**  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by: A.G.M. Approved by: F.G.G.

Drawing:  
**ELEVATIONS**

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no:	Revision:
PD20174 -U11-02	01

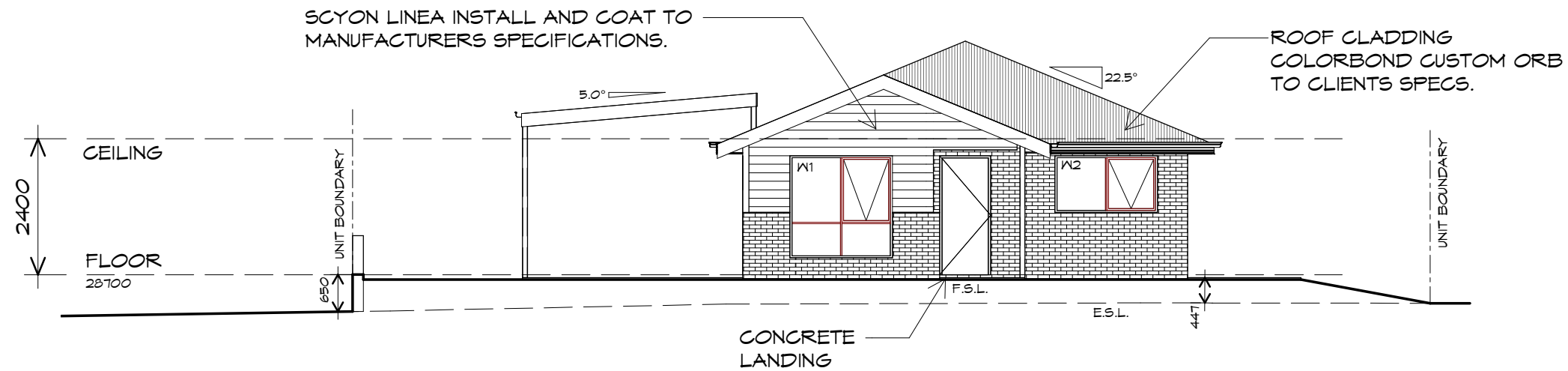
Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

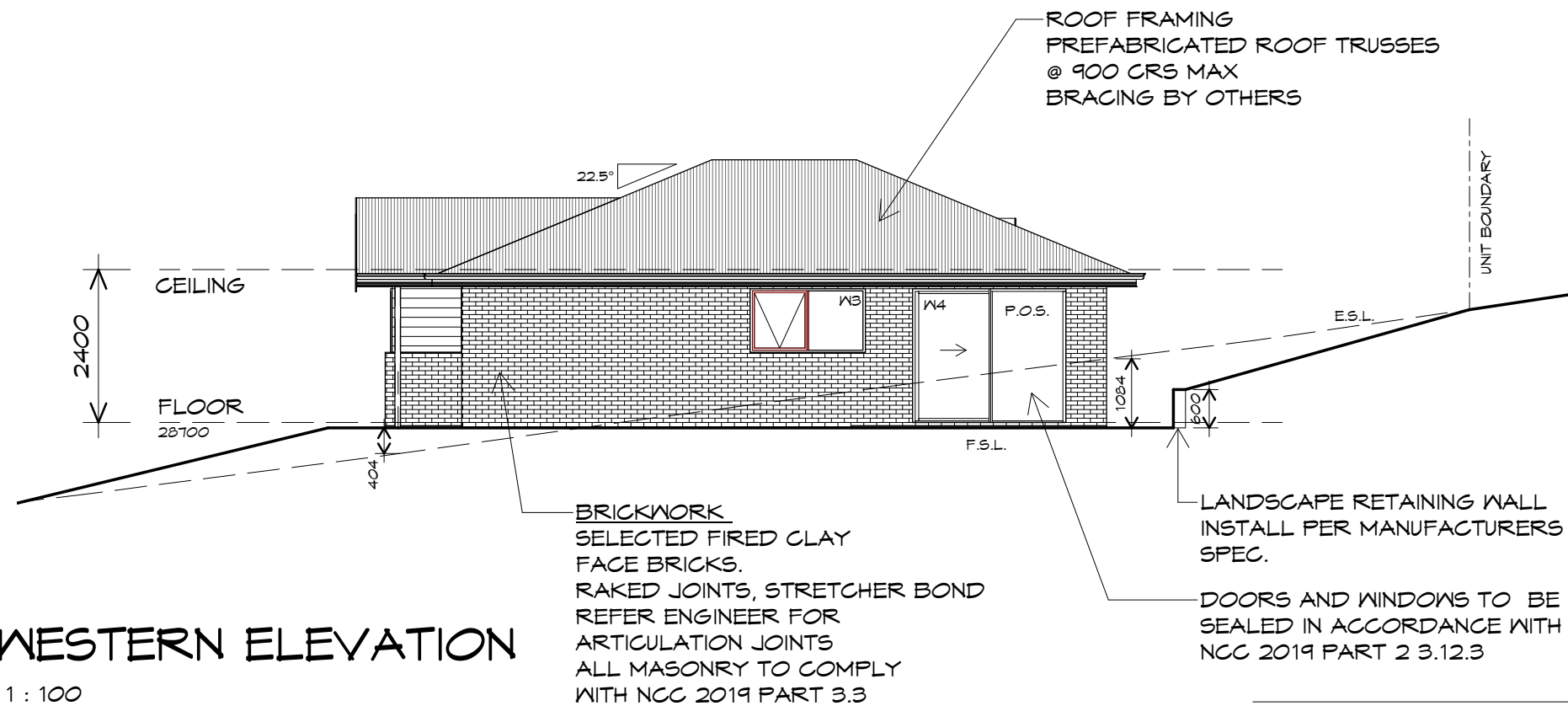
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1  
1  
0  
2  
2





NORTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

UNIT 11



**CENTACARE**  
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HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by: A.G.M. Approved by: F.G.G.

Drawing:  
ELEVATIONS

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U11-03 Revision: 01



Accredited building practitioner: Frank Geskus -No CC246A

# UNIT 11



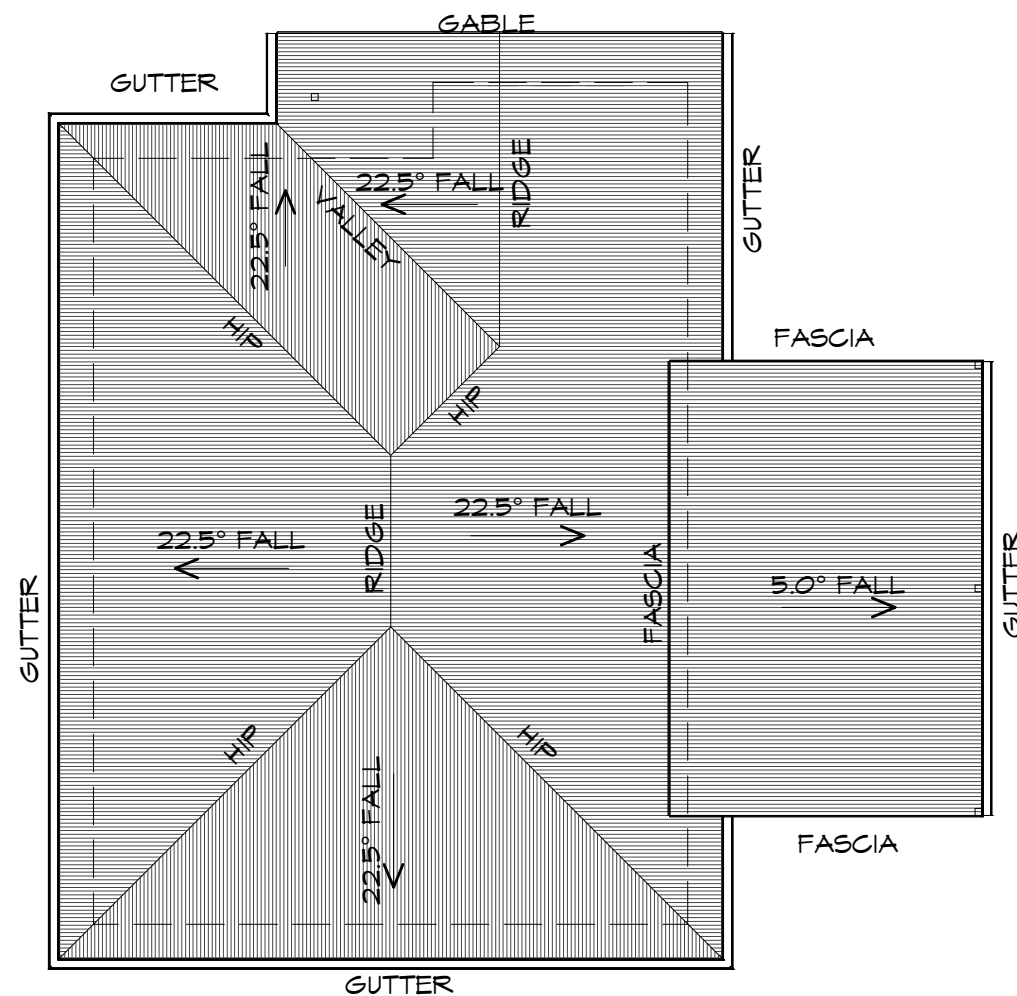
**CENTACARE**  
**evolve**  
 HOUSING

## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
 NCC 2019 PART 3.5.2.4.  
 WITH FALL NO LESS THAN  
 1:100 FOR BOX GUTTERS  
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
 400mm AND ROOF OVERHANG OF NOT  
 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.  
 B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
 PLAN ARE NOMINAL ONLY.  
 EXACT LOCATION & NUMBER OF D.P.'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
 WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
 ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
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 REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
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 FREQUENCY FOR TRANSVERSE FLASHINGS AND  
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 DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF PENETRATION FLASHING DETAILS.  
 REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
 NCC 2019 PART 3.5.1.8



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 info@primedesign.com.au primedesign.com.au

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMAN COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 ROOF PLAN

Date: 19/11/2021  
 Scale: 1 : 100

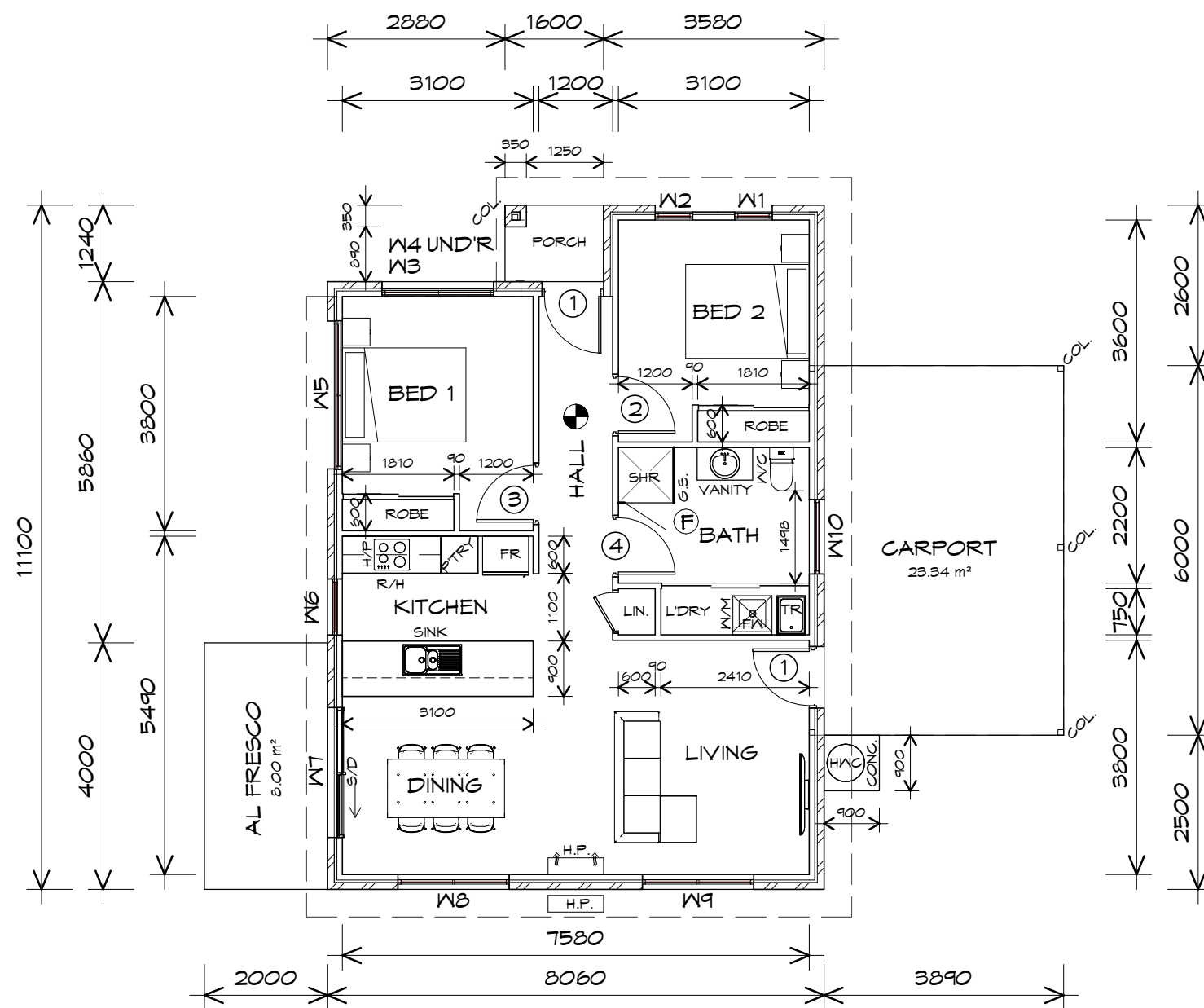
Project/Drawing no: PD20174 -U11-04  
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





CARPORT AREA	23.34	m <sup>2</sup>	( 2.51	SQUARES )
FLOOR AREA	83.91	m <sup>2</sup>	( 9.02	SQUARES )
ALFRESCO AREA	8.00	m <sup>2</sup>	( 0.86	SQUARES )
PORCH AREA	1.86	m <sup>2</sup>	( 0.20	SQUARES )
TOTAL AREA	117.11		12.59	

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## FLOOR PLAN

1 : 100

## UNIT 12



**CENTACARE**  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGEHOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	600	1810	AWNING WINDOW	
W4	600	1810	AWNING WINDOW	
W5	600	2410	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	2100	2110	SLIDING DOOR	
W8	1200	1810	AWNING WINDOW	
W9	1200	1810	AWNING WINDOW	
W10	900	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Drawing:  
FLOOR PLAN

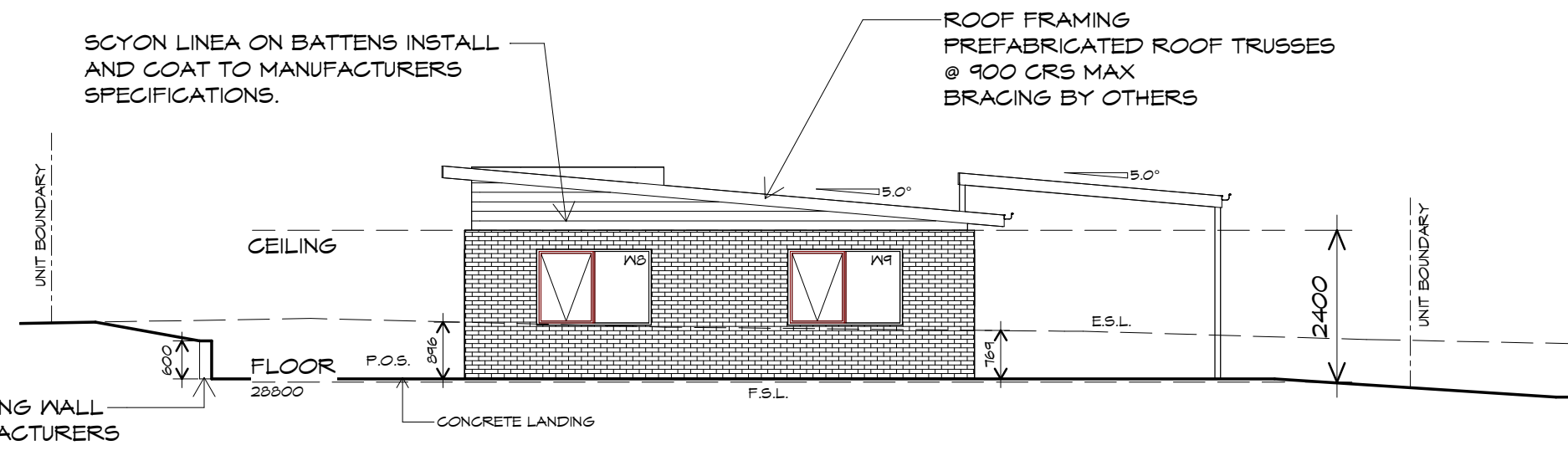
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Project/Drawing no: PD20174 -U12-01  
Revision: 02

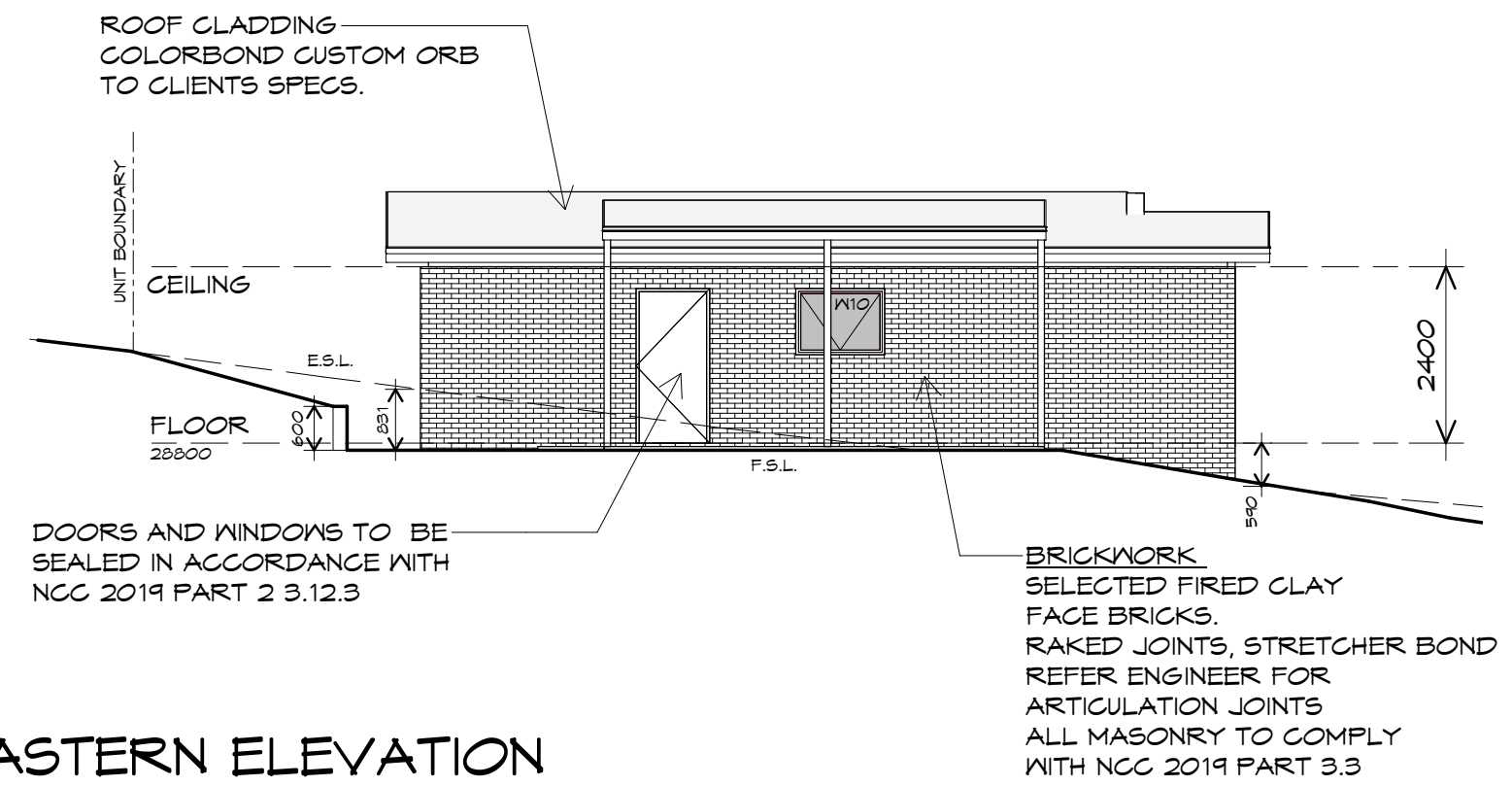
Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



SOUTH WESTERN ELEVATION  
1 : 100



SOUTH EASTERN ELEVATION  
1 : 100

UNIT 12



**CENTACARE**  
**evolve**  
**HOUSING**



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p(l)+ 03 6332 3790  
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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
ELEVATIONS

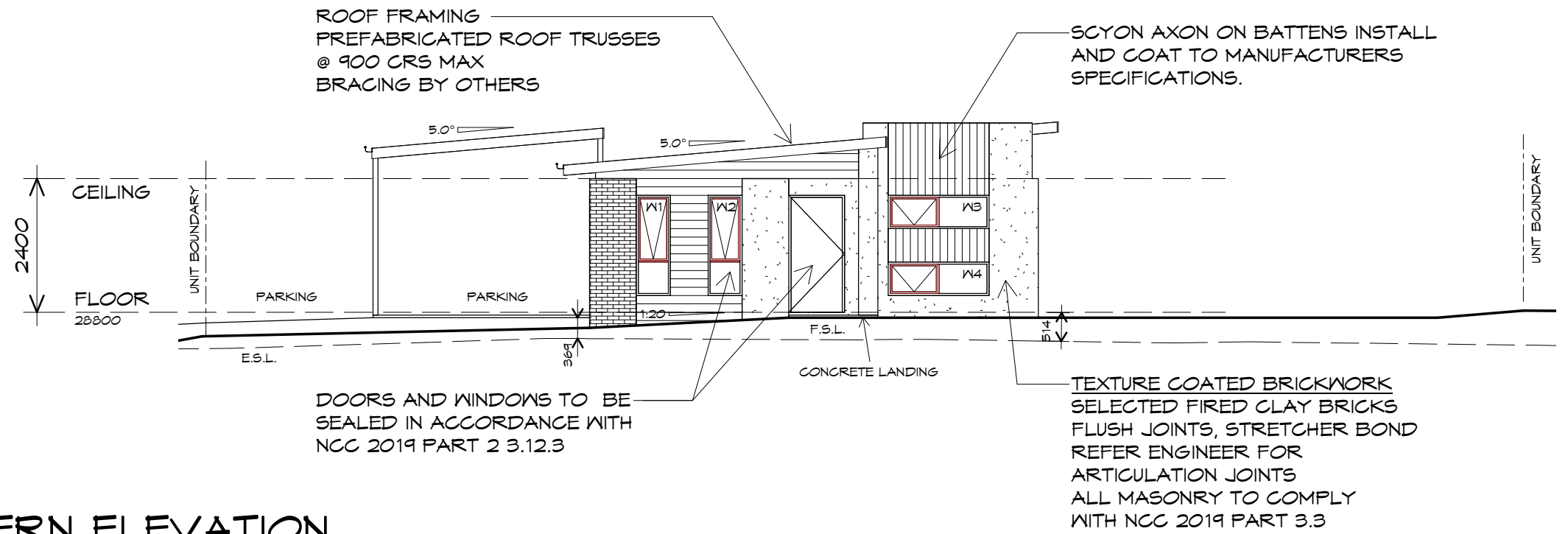
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Project/Drawing no: PD20174 -U12-02 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

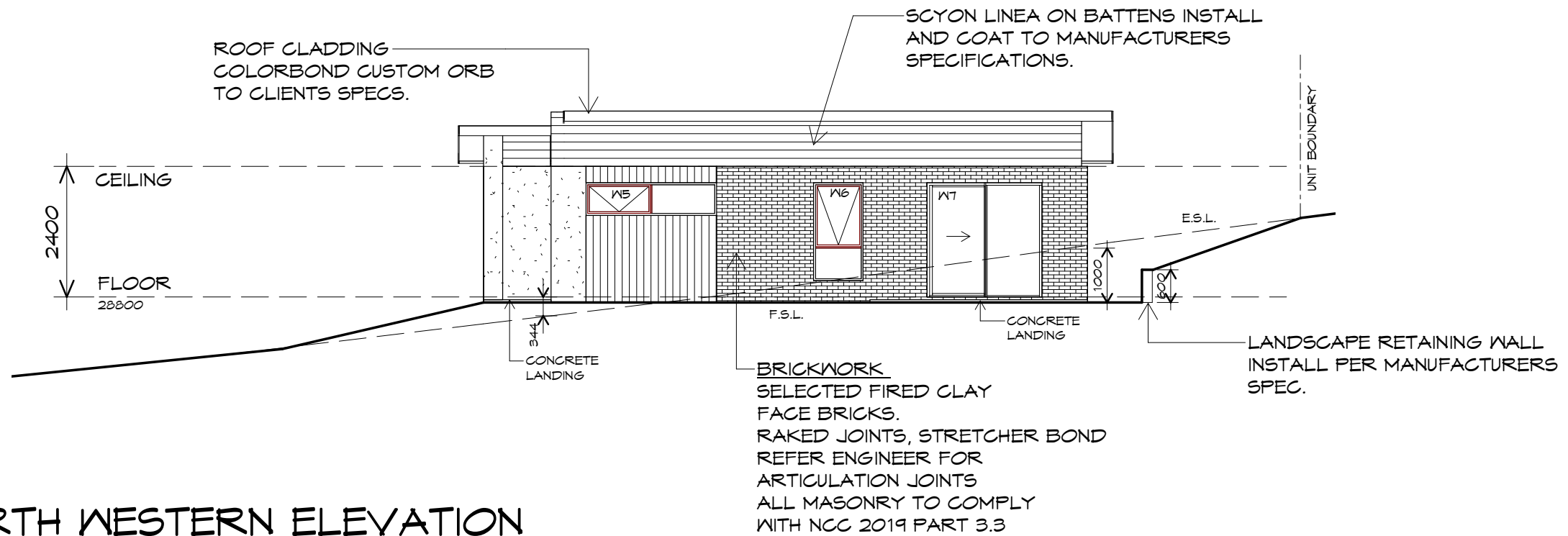






NORTH EASTERN ELEVATION

1 : 100



NORTH WESTERN ELEVATION

1 : 100

UNIT 12



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U12-03

Revision:  
02

Accredited building practitioner: Frank Geskus -No CC246A

## UNIT 12



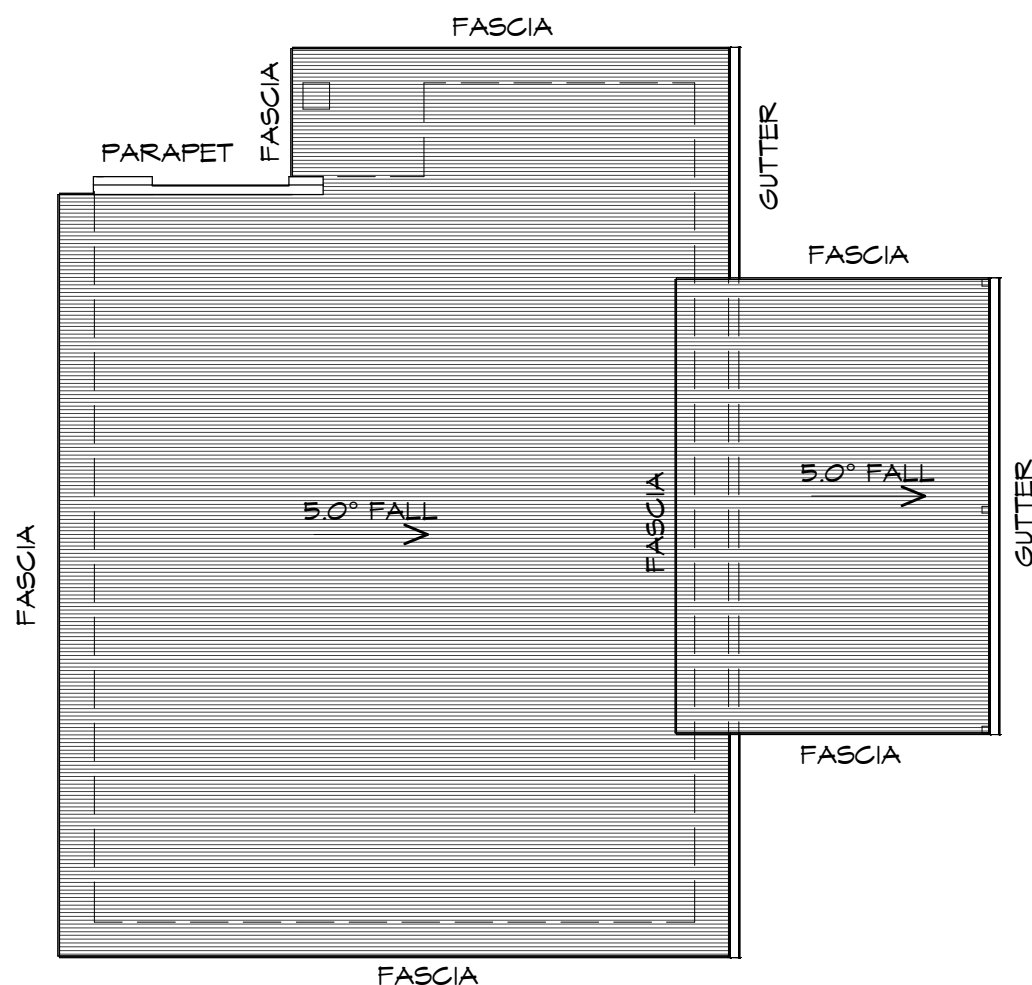
**CENTACARE**  
**evolve**  
 HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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#### ROOF PLUMBING NOTES:

##### GUTTER INSTALLATION

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 WITH FALL NO LESS THAN  
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 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

##### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
 400mm AND ROOF OVERHANG OF NOT  
 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.  
 B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
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DOWNPIPE POSITIONS SHOWN ON THIS  
 PLAN ARE NOMINAL ONLY.  
 EXACT LOCATION & NUMBER OF D.P'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
 WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

##### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
 ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
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 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
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Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 ROOF PLAN

Date: 19/11/2021  
 Scale: 1 : 100

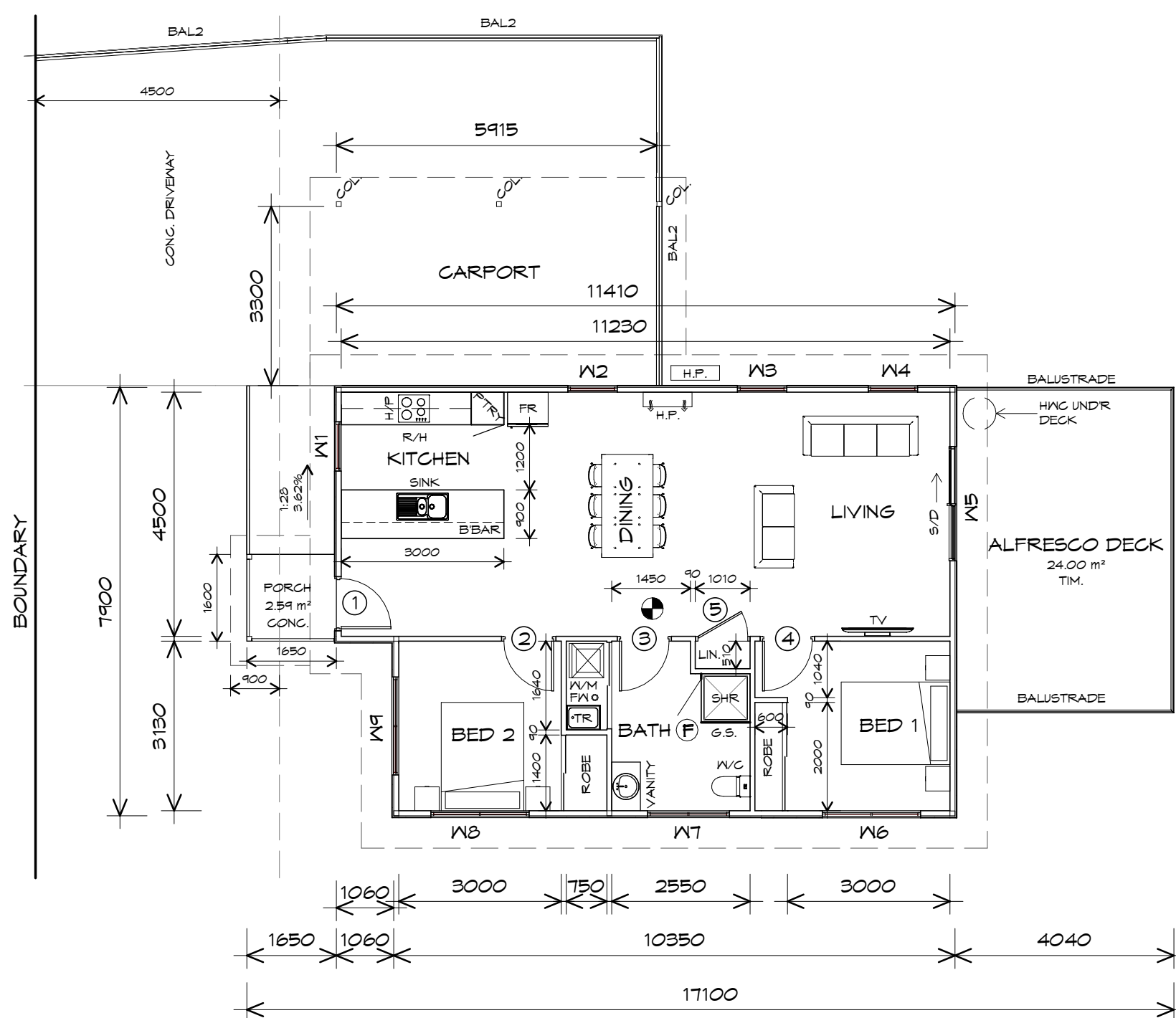
Project/Drawing no: PD20174 -U12-04  
 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGEHOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- BAL.2 CRASH BARRIER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	ROBE DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1800	910	AWNING WINDOW	
W4	1800	910	AWNING WINDOW	
W5	2100	2110	SLIDING DOOR	
W6	1800	1810	AWNING WINDOW	
W7	600	1510	AWNING WINDOW	OPAQUE
W8	600	1810	AWNING WINDOW	
W9	1800	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? GLAZING COMPLETE WITH FLY SCREENS TO SUIT ??? BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



**CENTACARE**  
**evolve**  
HOUSING



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Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U13-01

Revision:  
03

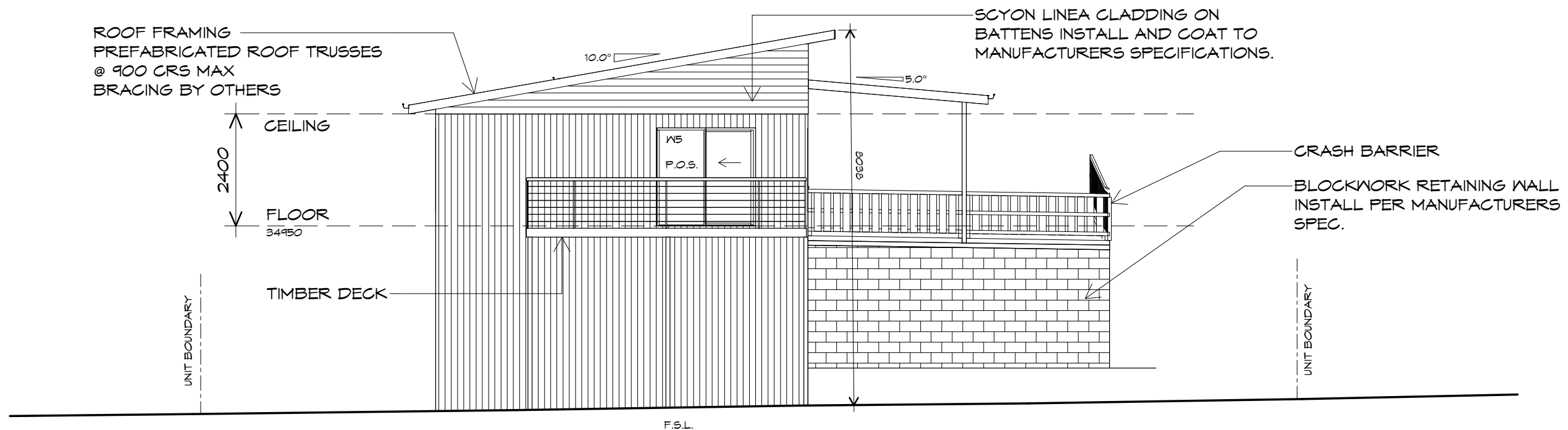
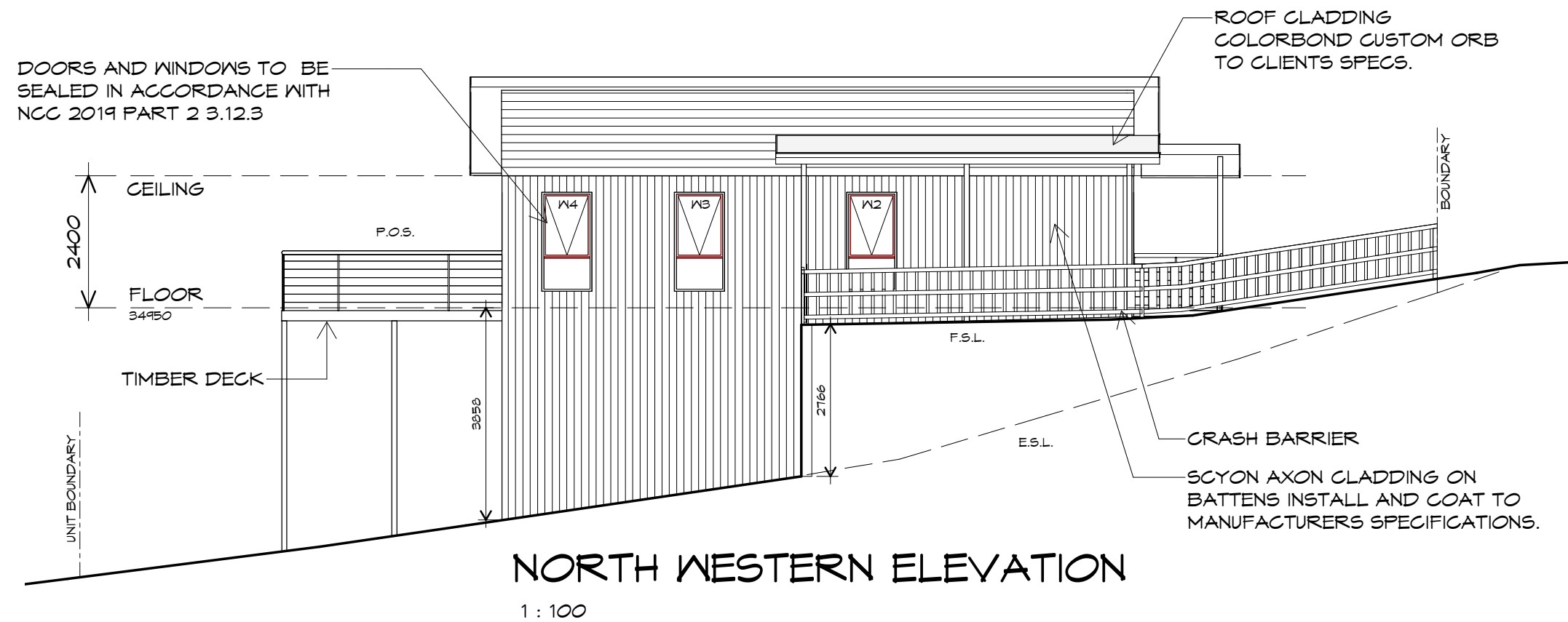
Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

UNIT 13





**CENTACARE**  
**evolve**  
HOUSING

UNIT 13



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U13-02  
Revision: 03

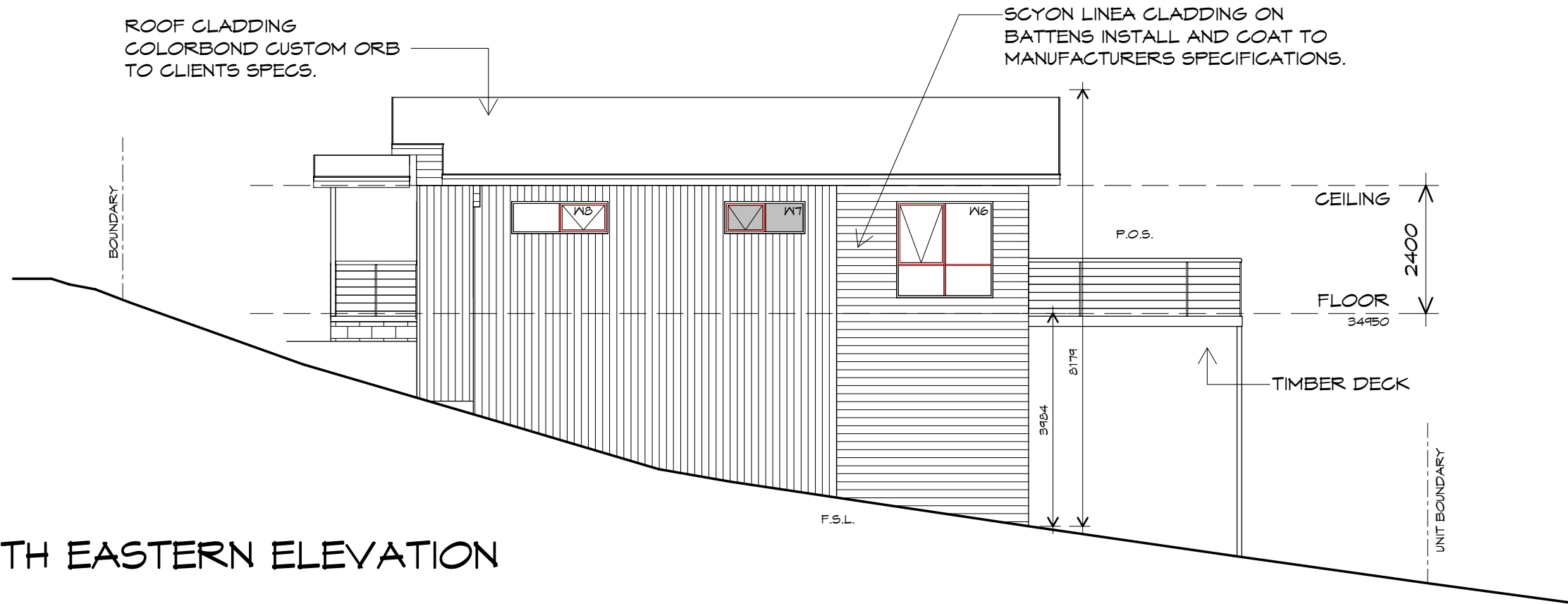


Accredited building practitioner: Frank Geskus -No CC246A



## SOUTH EASTERN ELEVATION

1 : 100

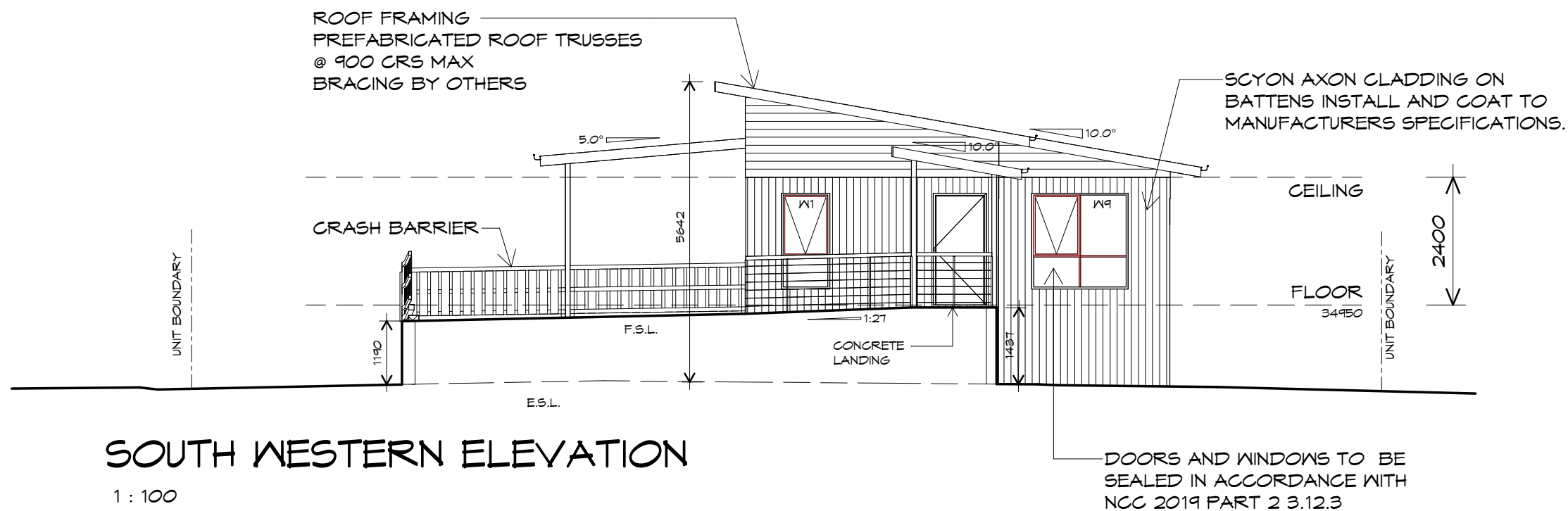


ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS

SCYON AXON CLADDING ON  
BATTENS INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

## SOUTH WESTERN ELEVATION

1 : 100



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Project:  
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Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U13-03

Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

UNIT 13

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



**CENTACARE**  
**evolve**  
 HOUSING

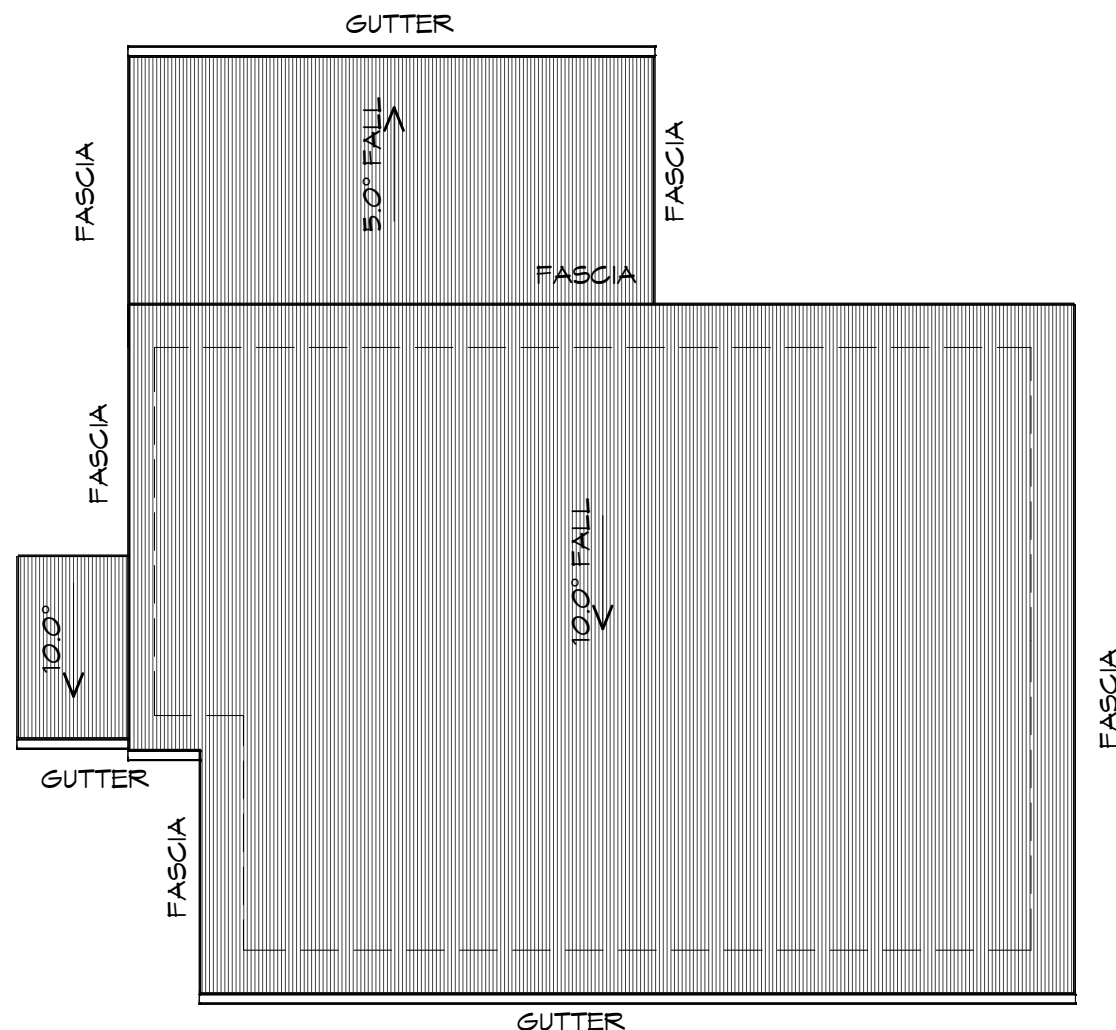
UNIT 13

## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
 NCC 2019 PART 3.5.2.4.  
 WITH FALL NO LESS THAN  
 1:100 FOR BOX GUTTERS  
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
 400mm AND ROOF OVERHANG OF NOT  
 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.  
 B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
 PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P.'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
 WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
 ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
 CORROSION PROTECTION FOR SHEET ROOFING,  
 REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
 CONTACT BETWEEN DIFFERENT ROOFING  
 MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
 FREQUENCY FOR TRANVERSE FLASHINGS AND  
 CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
 DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF PENETRATION FLASHING DETAILS.

REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
 NCC 2019 PART 3.5.1.8



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Project:  
 PROPOSED NEW RESIDENTIAL  
 DEVELOPMENT  
 LAMPRILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 ROOF PLAN

Date:  
 19/11/2021

Scale:  
 1 : 100

Project/Drawing no:  
 PD20174 -U13-04

Revision:  
 03

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



UNIT 14



**CENTACARE**  
**evolve**  
 HOUSING

**Prime Design**

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 p(l)+ 03 6332 3790  
 160 New Town Road, New Town, Hobart 7008  
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 info@primedesigntas.com.au primedesigntas.com.au

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 FLOOR PLAN

Date:  
 19/11/2021

Scale:  
 1 : 100

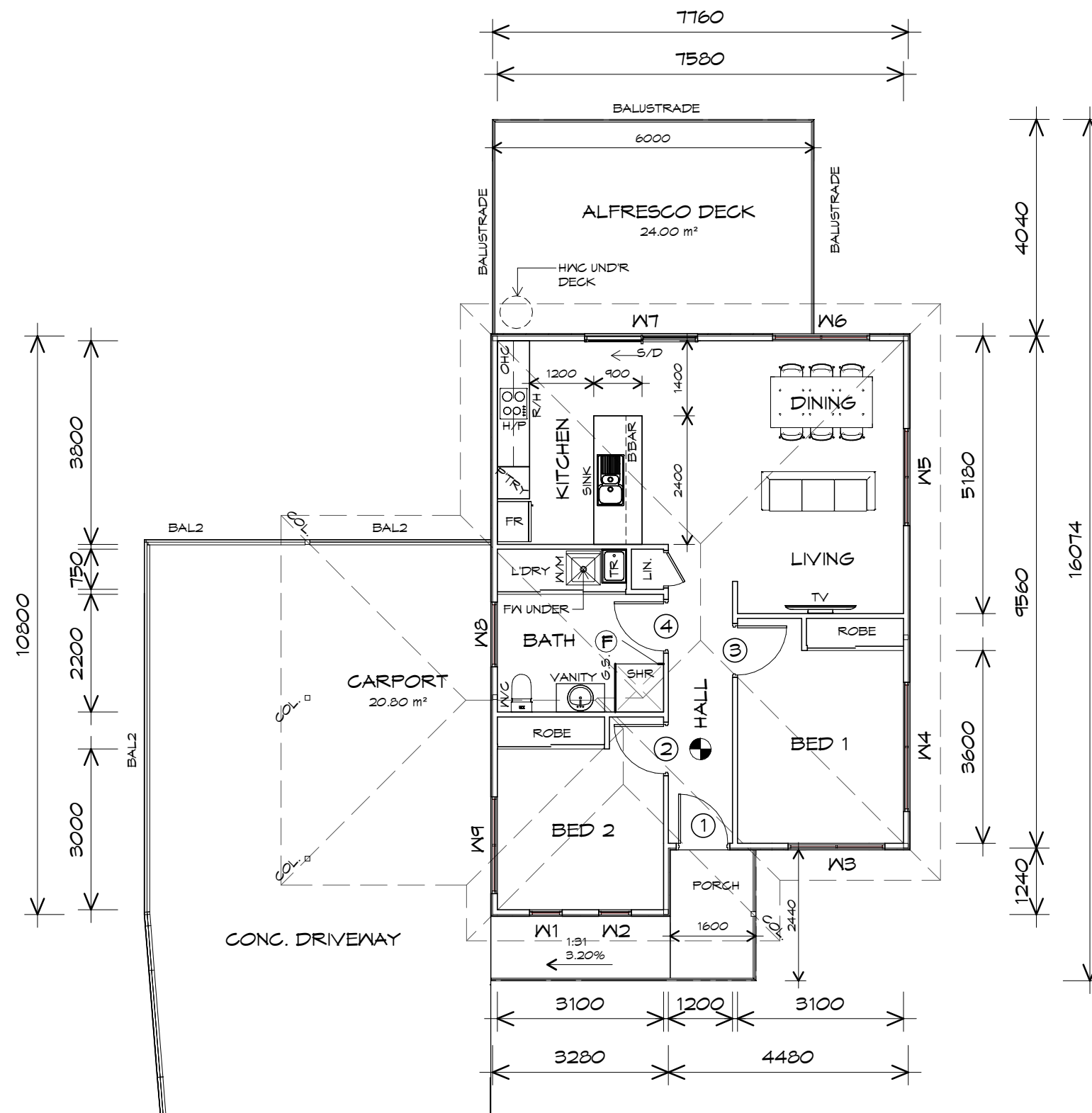
Project/Drawing no:  
 PD20174 -U14-01

Revision:  
 01

Accredited building practitioner: Frank Geskus -No CC246A

## FLOOR PLAN

1 : 100



CARPORT AREA	22.55 m2	( 2.43	SQUARES )
FLOOR AREA	79.75 m2	( 8.58	SQUARES )
PORCH AREA	1.86 m2	( 0.20	SQUARES )
ALFRESCO AREA	24.00 m2	( 2.58	SQUARES )
	128.16	13.78	

**NOTE:**  
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

**NOTE:**  
 WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ F/W FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- R/H RANGE HOOD
- BAL.2 CRASH BARRIER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

## DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

## WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	1810	AWNING WINDOW	
W4	600	2410	AWNING WINDOW	
W5	1800	1810	AWNING WINDOW	
W6	600	1810	AWNING WINDOW	
W7	2100	2110	SLIDING DOOR	
W8	600	1210	AWNING WINDOW	OPAQUE
W9	600	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
 WITH FLY SCREENS TO SUIT ??? BAL RATING.  
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
 PRIOR TO ORDERING

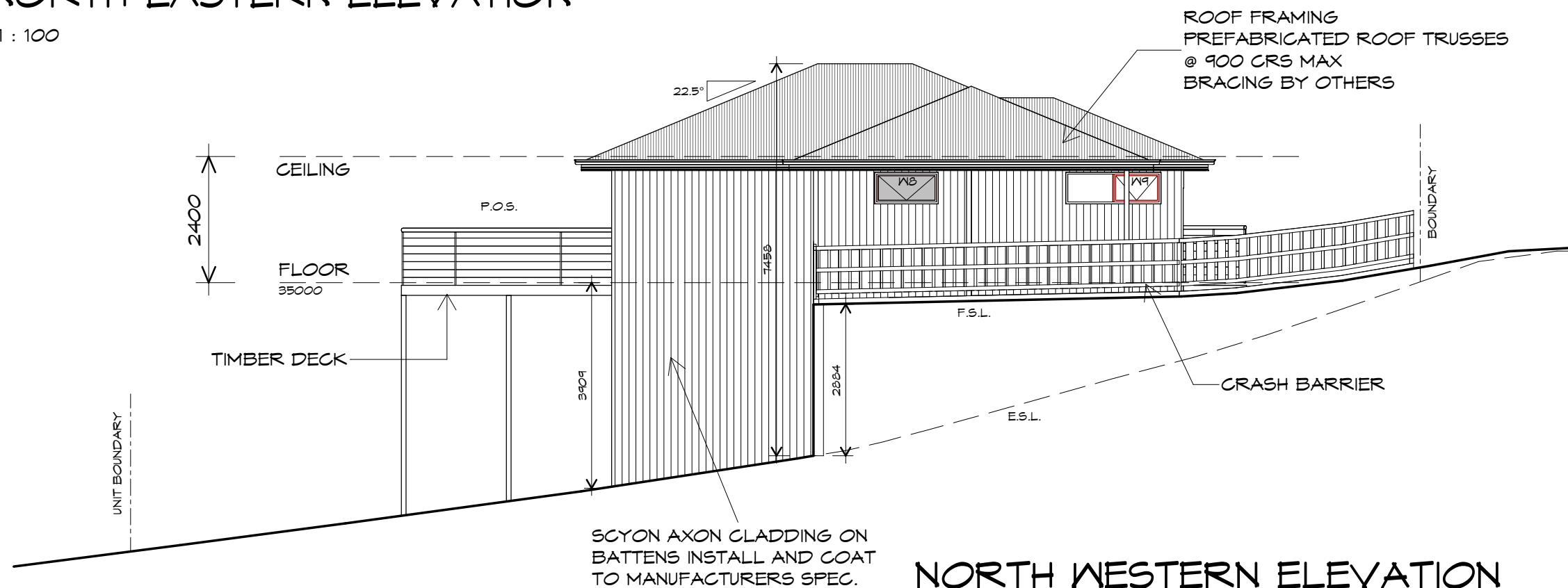
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 14



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date:  
19/11/2021

Scale:  
1 : 100

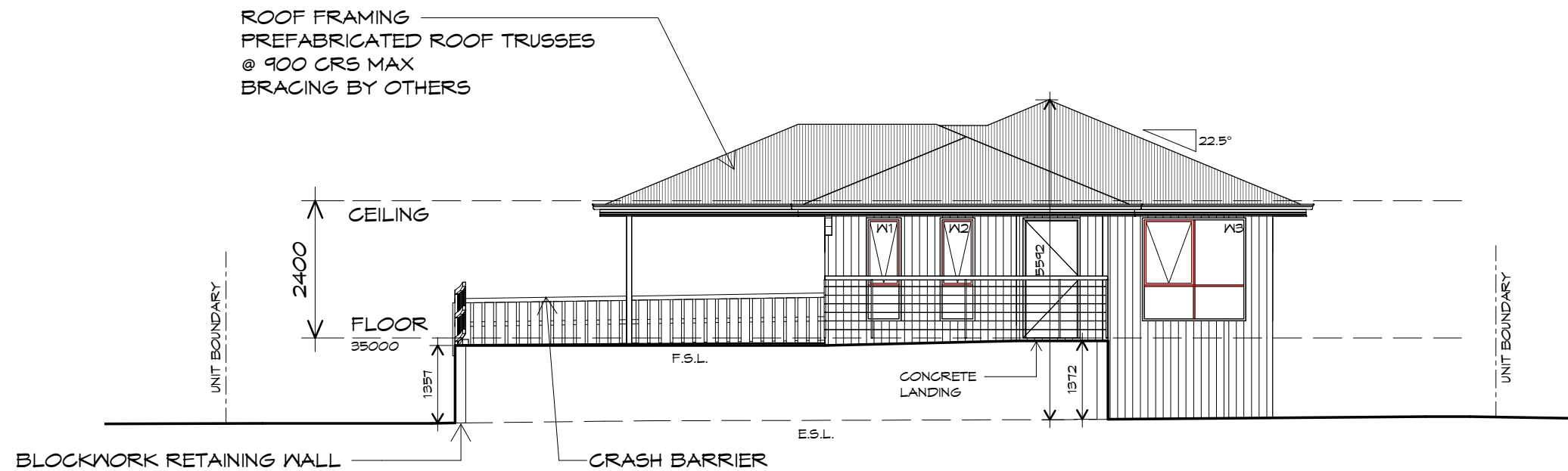
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PD20174 -U14-02

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

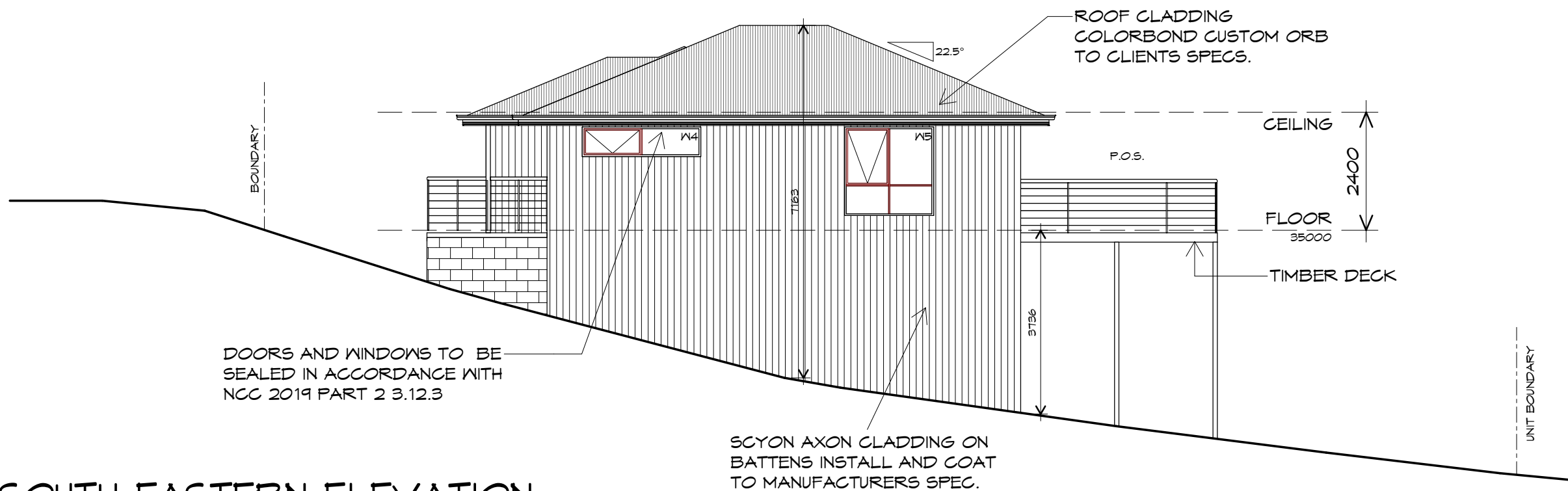
PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS





## SOUTH WESTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 14



**CENTACARE**  
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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U14-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

# UNIT 14



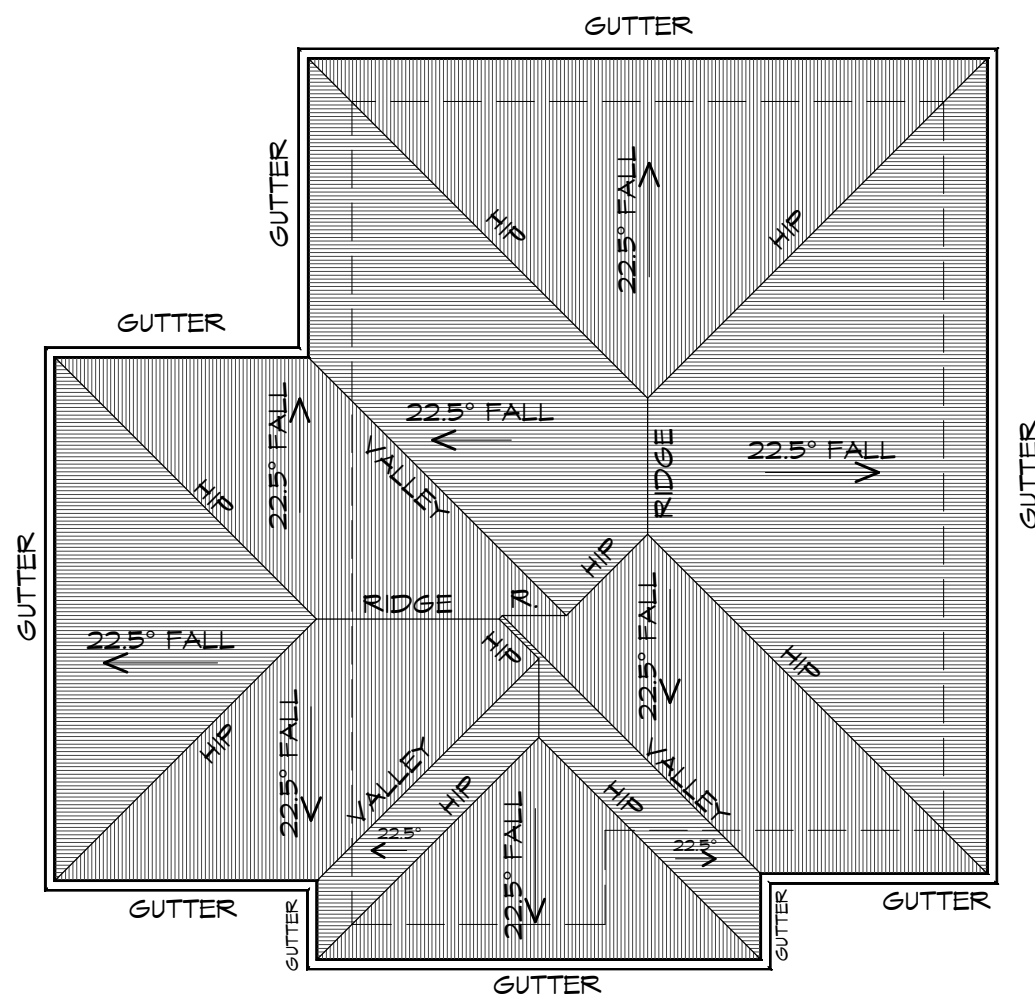
**CENTACARE**  
**evolve**  
 HOUSING

## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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Project:  
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 LAMPRIILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 ROOF PLAN

Date:  
 19/11/2021

Scale:  
 1 : 100

Project/Drawing no:  
 PD20174 -U14-04

Revision:  
 01

Accredited building practitioner: Frank Geskus -No CC246A

### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
 TO BE IN ACCORDANCE WITH  
 NCC 2019 PART 3.5.2.4.  
 WITH FALL NO LESS THAN  
 1:100 FOR BOX GUTTERS  
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
 A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
 400mm AND ROOF OVERHANG OF NOT  
 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
 PLAN ARE NOMINAL ONLY.  
 EXACT LOCATION & NUMBER OF D.P'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
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 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

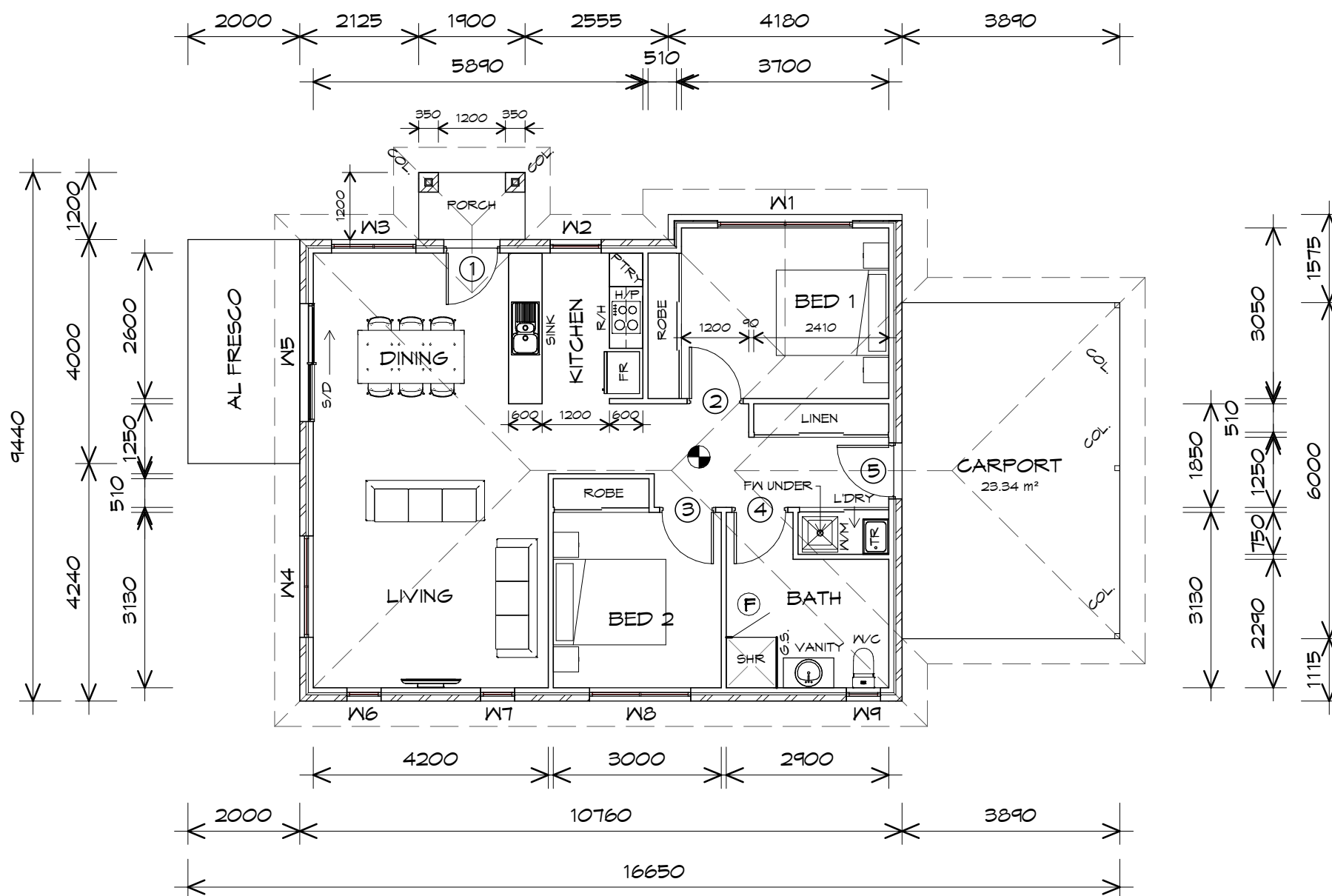
### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
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 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
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FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
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 CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
 DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF PENETRATION FLASHING DETAILS.  
 REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
 NCC 2019 PART 3.5.1.8

PLANNING  
 NOTE: DO NOT SCALE OFF DRAWINGS





## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	2410	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1500	1510	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	2100	2110	SLIDING DOOR	
W6	1800	610	AWNING WINDOW	
W7	1800	610	AWNING WINDOW	
W8	1800	1810	AWNING WINDOW	
W9	600	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
 WITH FLY SCREENS TO SUIT ??? BAL RATING.  
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
 PRIOR TO ORDERING

## FLOOR PLAN

1 : 100

FLOOR AREA	90.54 m2	( 9.74 SQUARES )
CARPORT AREA	23.34 m2	( 2.51 SQUARES )
AL FRESCO AREA	8.00 m2	( 0.86 SQUARES )
PORCH AREA	2.28 m2	( 0.25 SQUARES )
	124.16	13.35

NOTE:  
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
 BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
 DECKS AND OUTDOOR AREAS ARE CALCULATED  
 SEPARATELY.

## UNIT 15



**CENTACARE**  
 evolve  
 HOUSING



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 info@primedesign.com.au primedesign.com.au

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVLOVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G

Drawing:  
 FLOOR PLAN

Date:  
 19/11/2021

Scale:  
 1 : 100

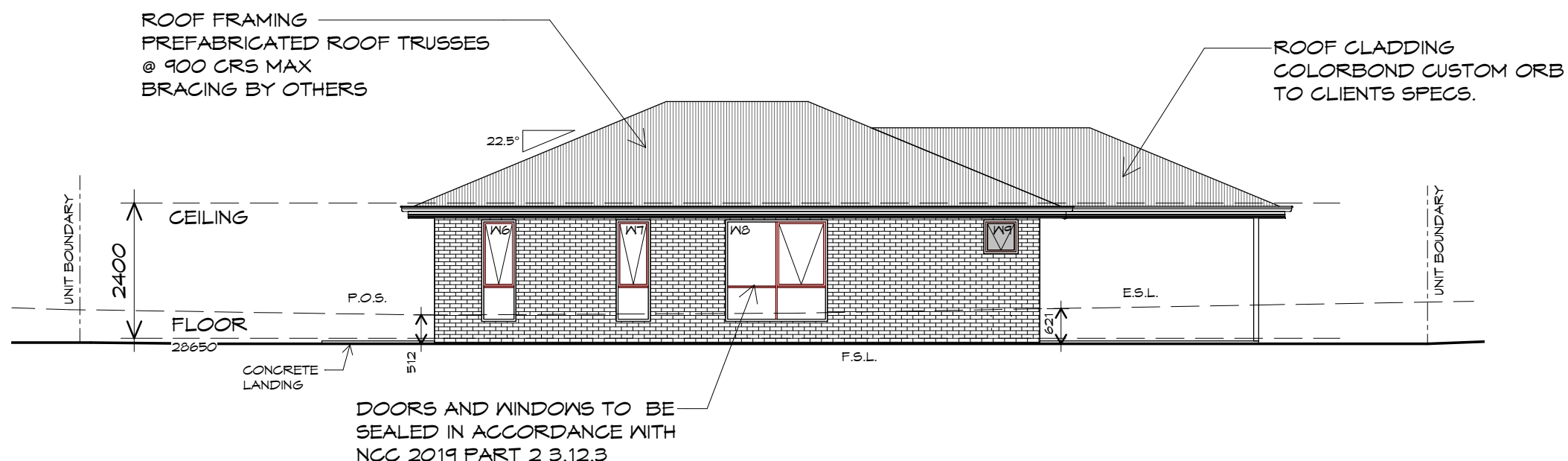
Project/Drawing no:  
 PD20174 -U15-01

Revision:  
 01

Accredited building practitioner: Frank Geskus -No CC246A

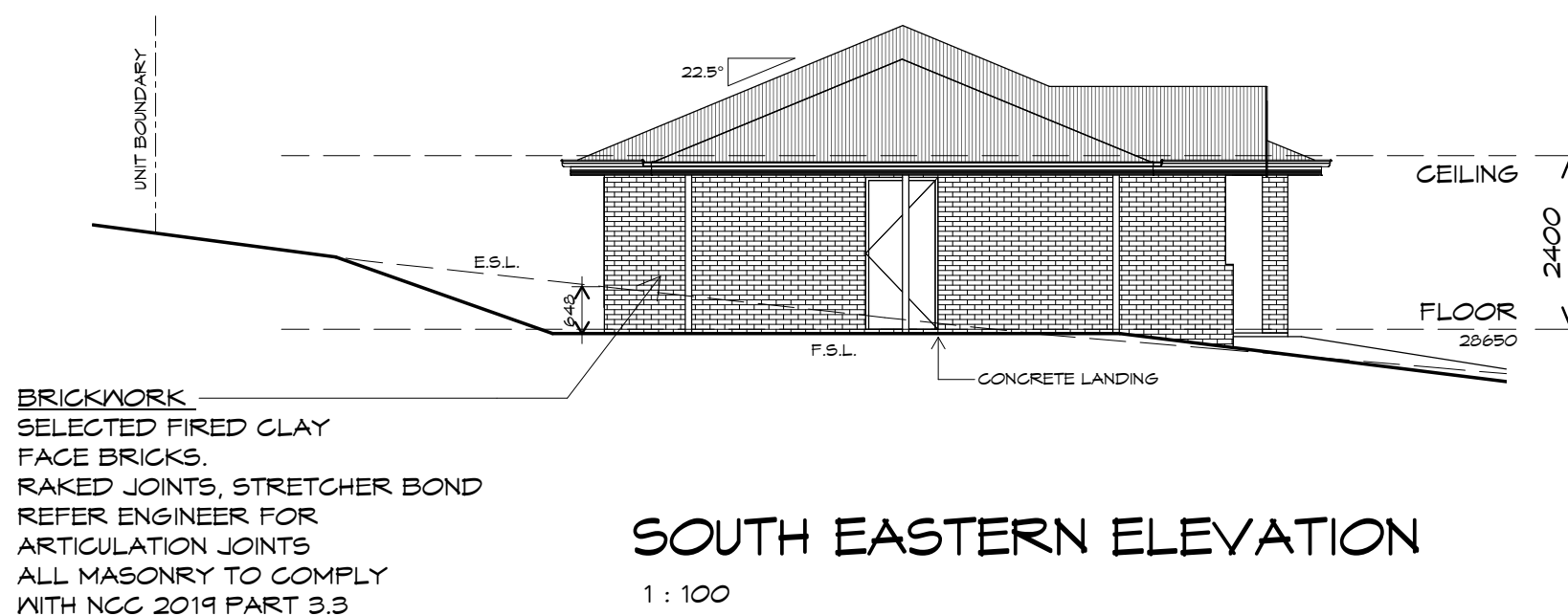
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## SOUTH WESTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 15



**CENTACARE**  
**evolve**  
HOUSING



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Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



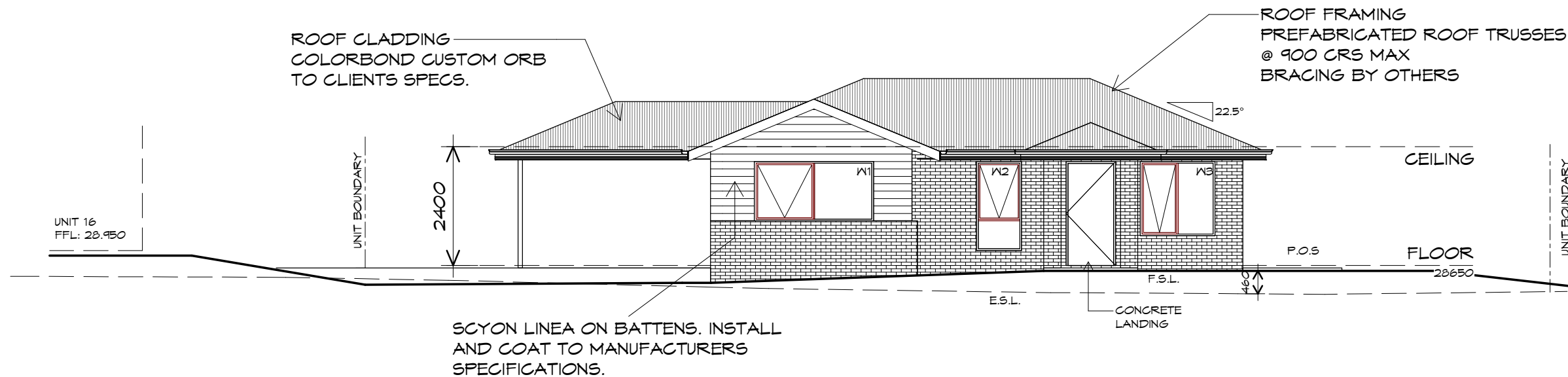
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Date: 19/11/2021  
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Project/Drawing no: PD20174 -U15-02  
Revision: 01

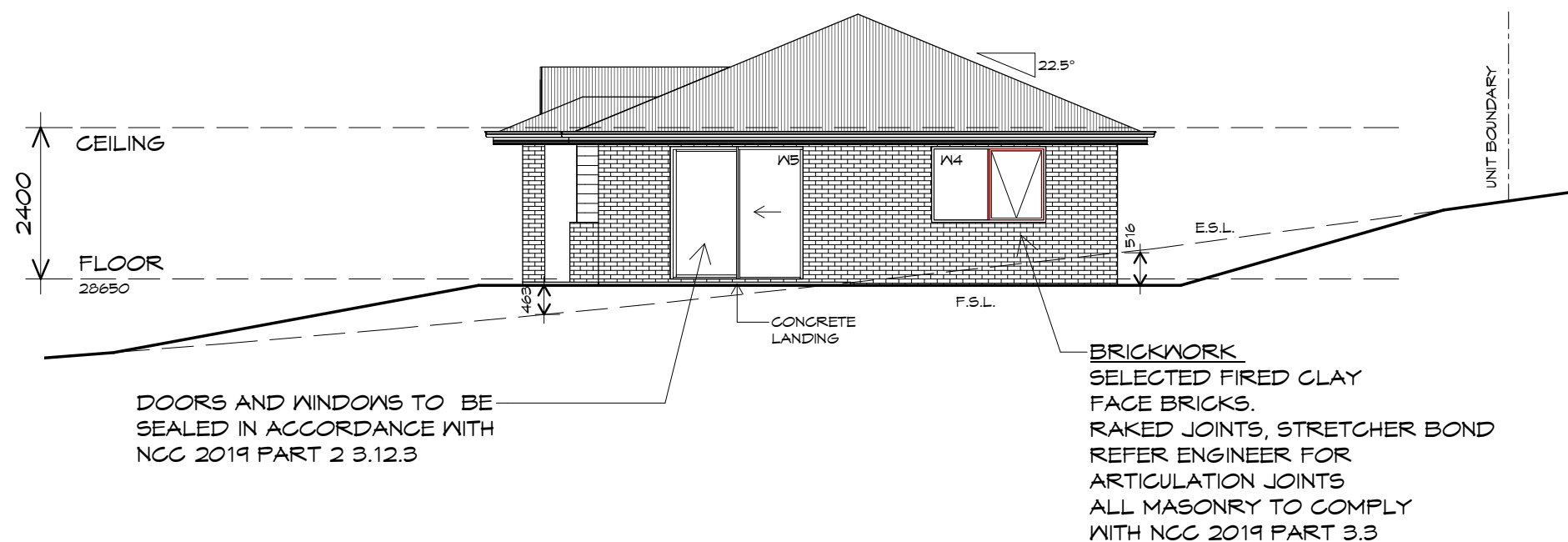
Accredited building practitioner: Frank Geskus -No CC246A





## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 15



**CENTACARE**  
**evolve**  
**HOUSING**



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Client name:  
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Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ELEVATIONS

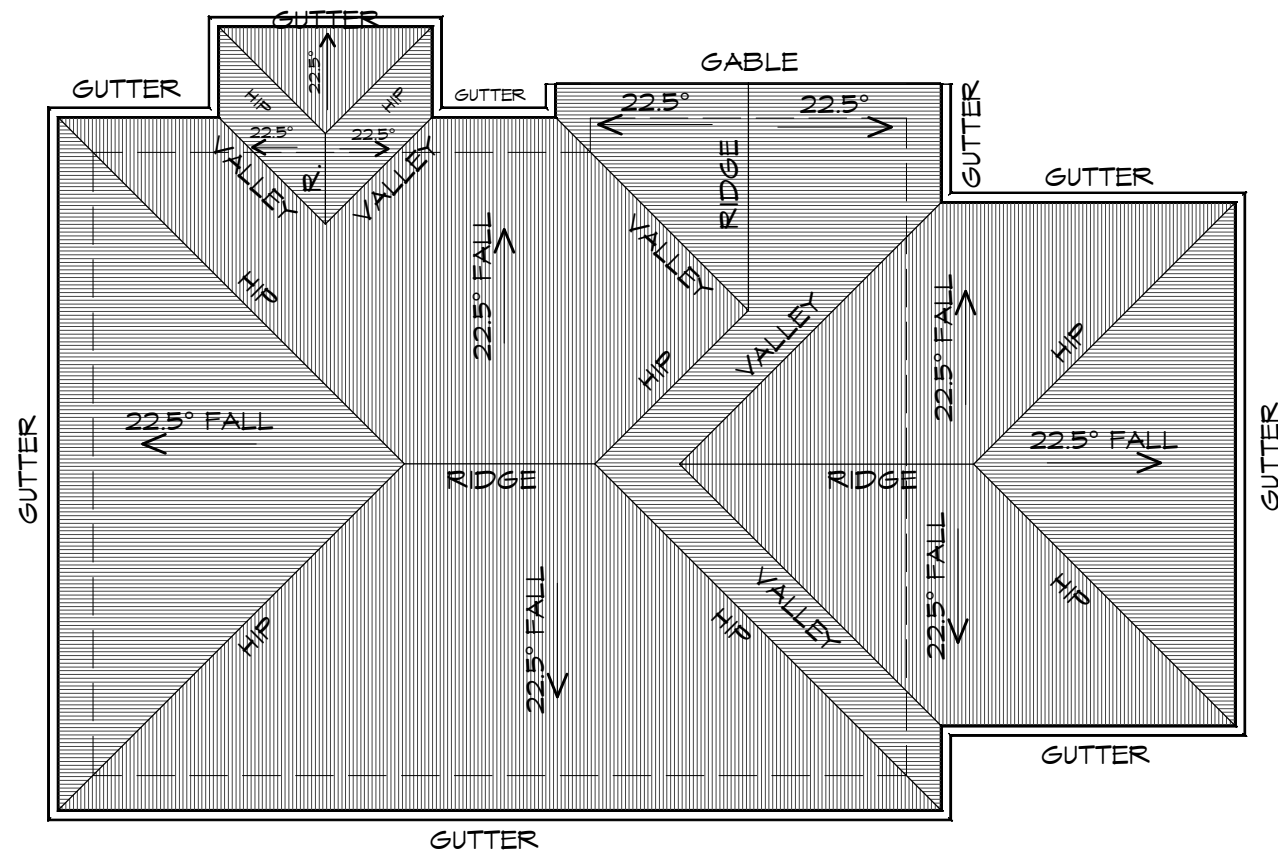
Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U15-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 15



**CENTACARE**  
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Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U15-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
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SPACING BETWEEN DOWNPIPES MUST NOT  
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REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



# FLOOR PLAN

1 : 100

## UNIT 16



**CENTACARE**  
evolve  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

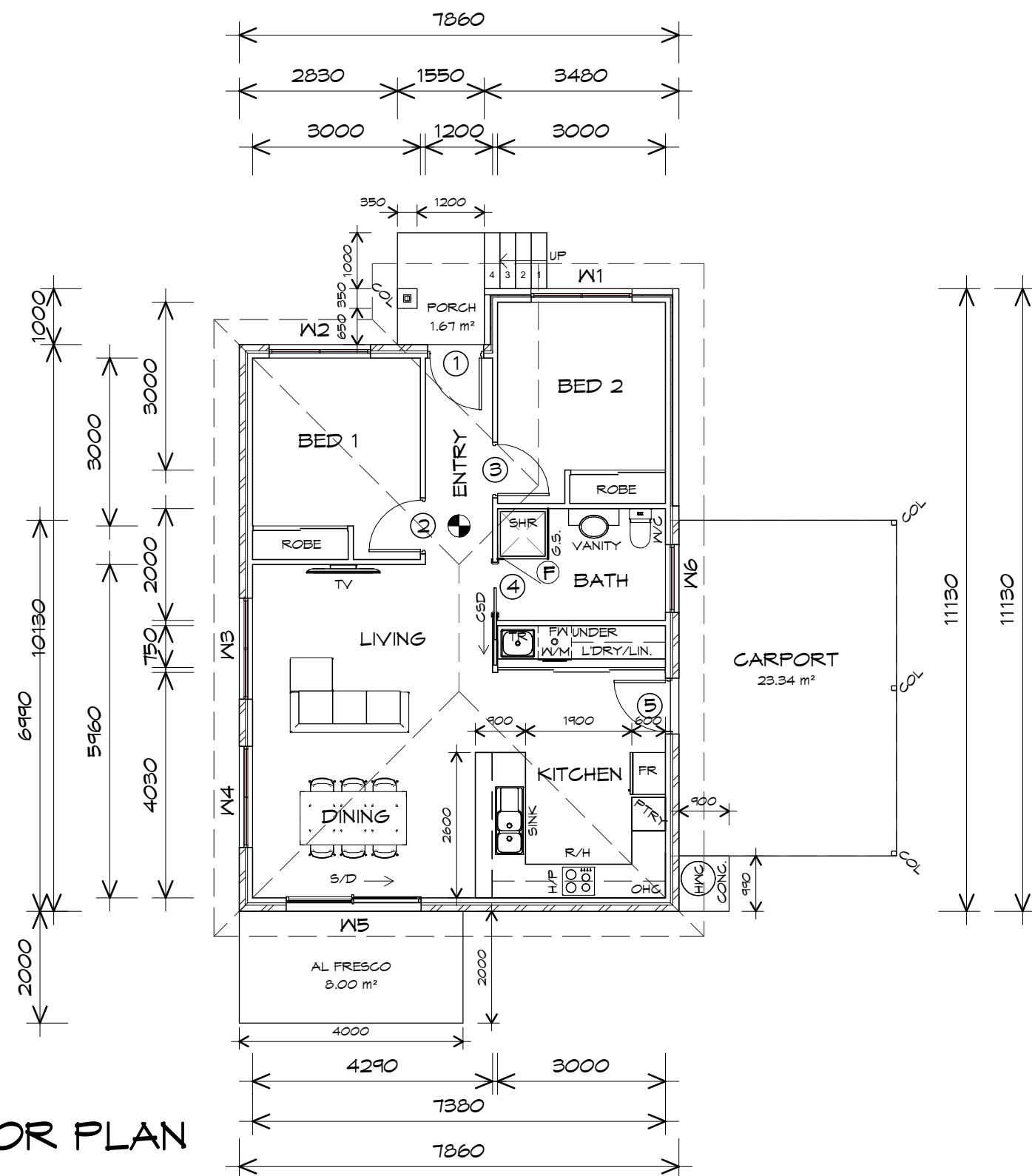
Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U16-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



CARPORT AREA	23.37	m2	( 2.51 SQUARES )
FLOOR AREA	83.10	m2	( 8.94 SQUARES )
AL FRESCO AREA	8.00	m2	( 0.86 SQUARES )
PORCH AREA	1.40	m2	( 0.15 SQUARES )
TOTAL AREA	115.87		12.46

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- Ⓢ FW FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

## DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	EXTERNAL SOLID DOOR	

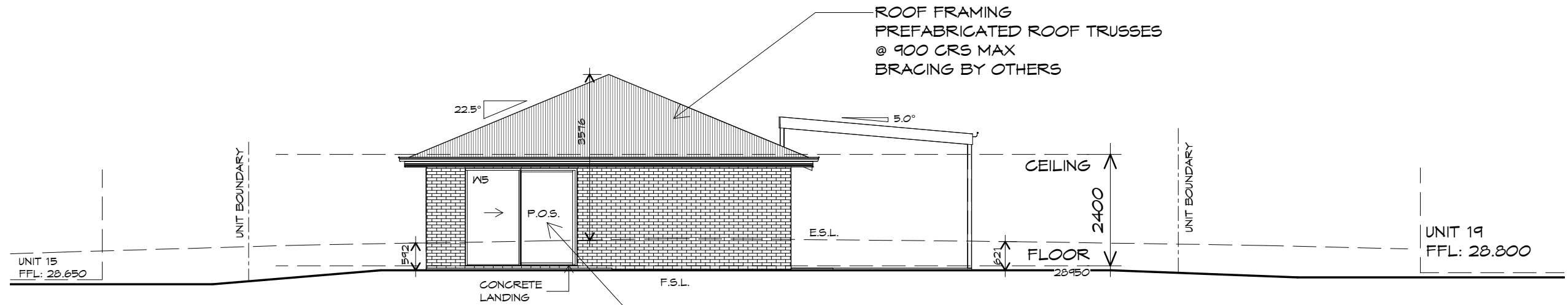
## WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1000	1810	AWNING WINDOW	
W3	1000	1810	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	2100	2410	SLIDING DOOR	
W6	600	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

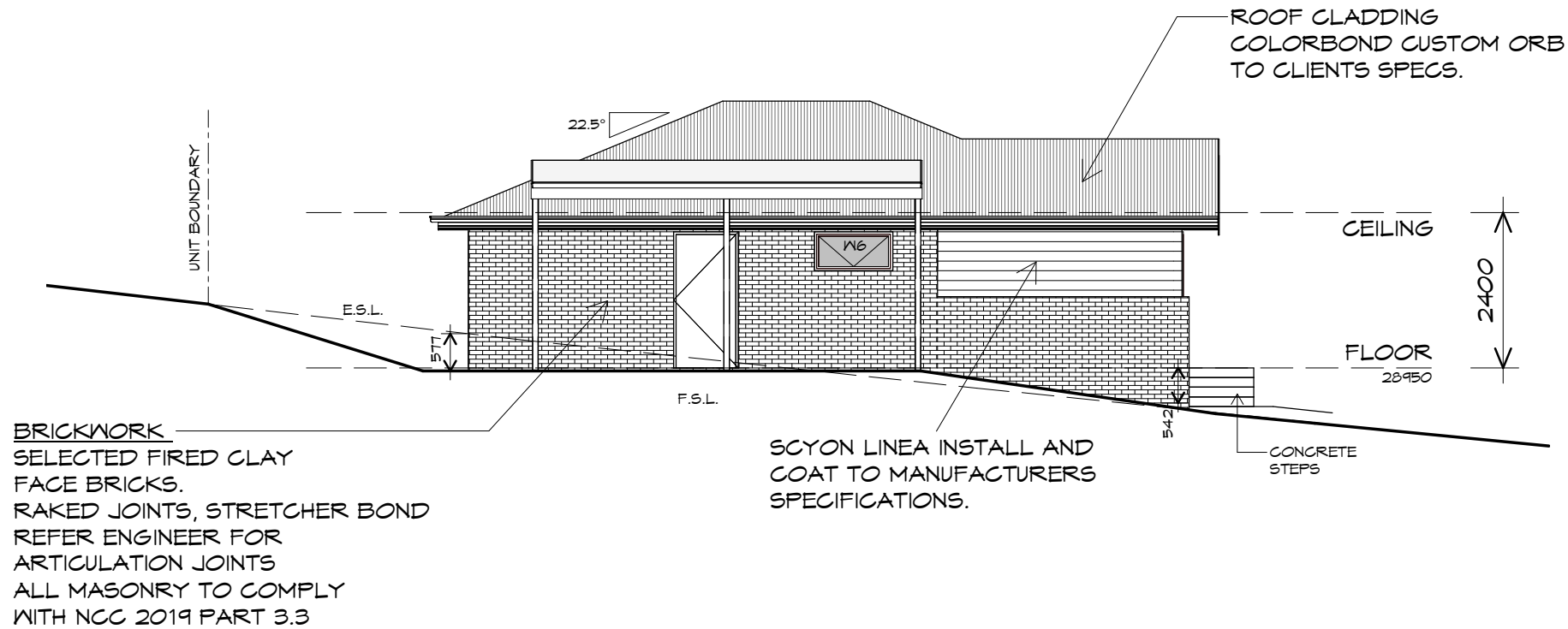
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## SOUTH WESTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 16



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

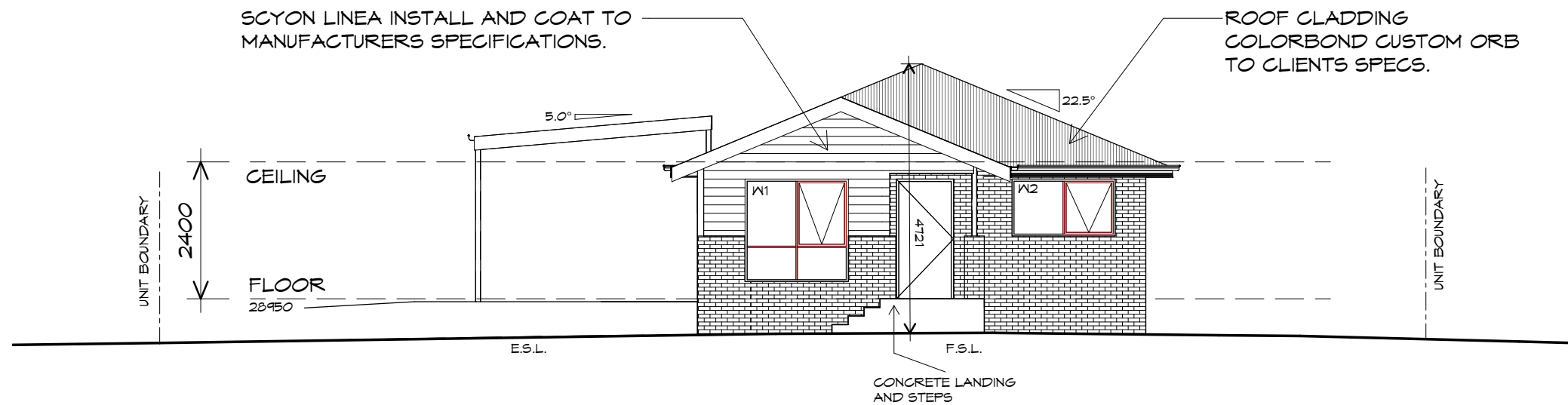
Project/Drawing no: PD20174 -U16-02  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

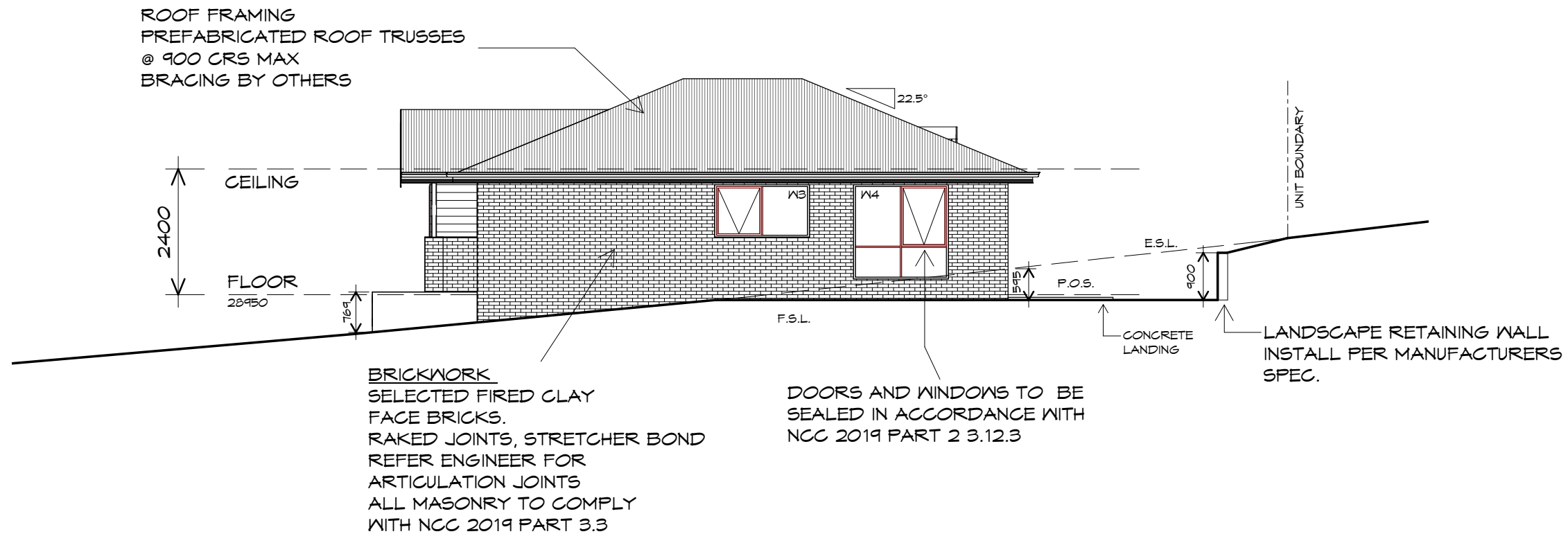
NOTE: DO NOT SCALE OFF DRAWINGS





## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 16



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U16-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



**CENTACARE**  
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Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMAN COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.

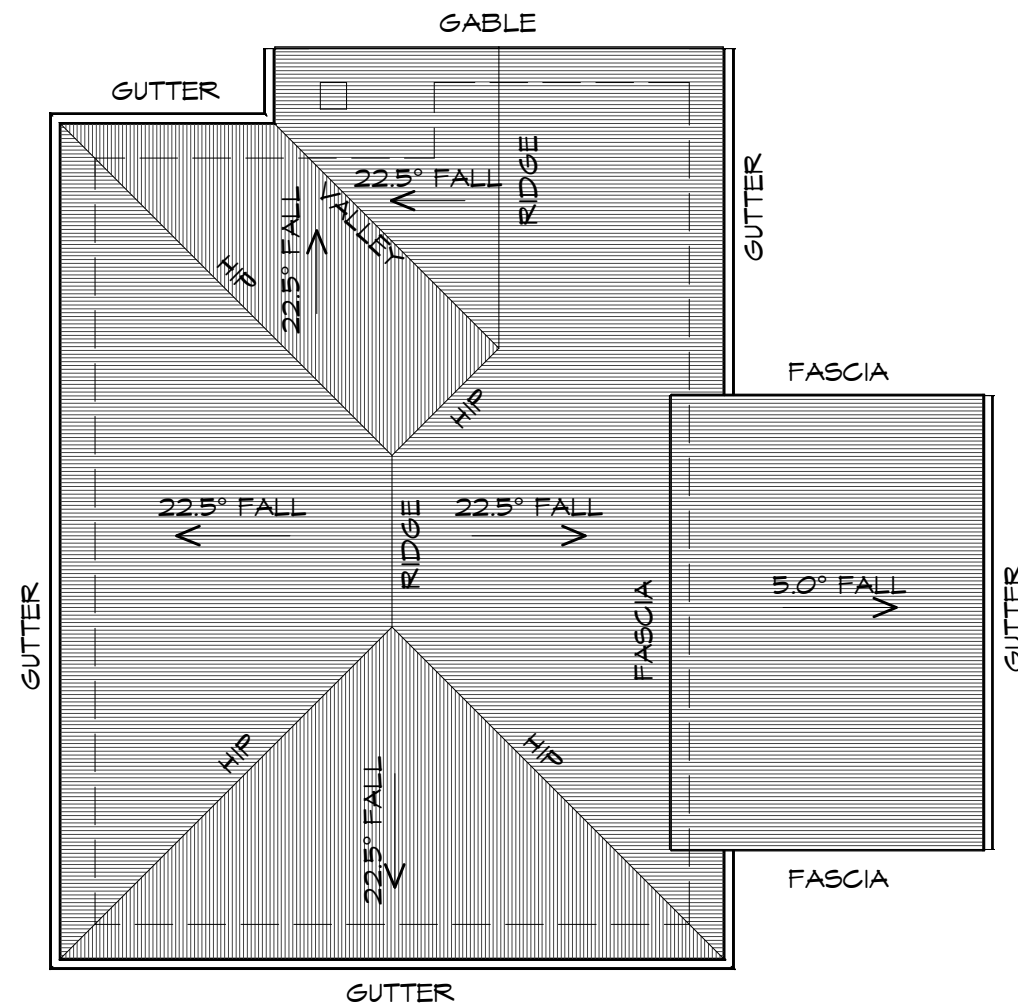


Drawing:  
 ROOF PLAN

Date: 19/11/2021  
 Scale: 1 : 100

Project/Drawing no: PD20174 -U16-04  
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
 NCC 2019 PART 3.5.2.4.  
 WITH FALL NO LESS THAN  
 1:100 FOR BOX GUTTERS  
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
 400mm AND ROOF OVERHANG OF NOT  
 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
 PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
 WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

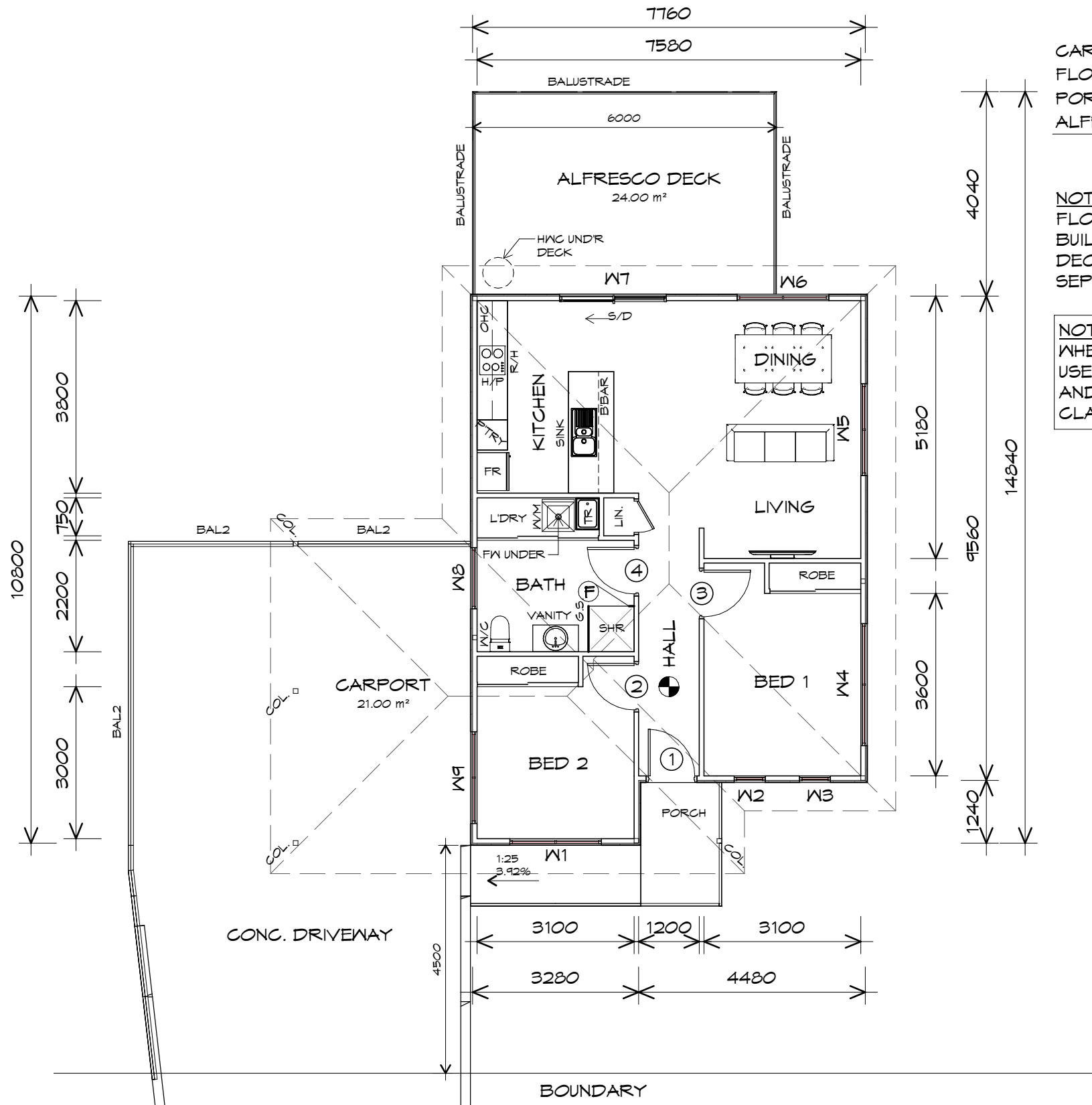
#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
 ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
 CORROSION PROTECTION FOR SHEET ROOFING,  
 REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
 CONTACT BETWEEN DIFFERENT ROOFING  
 MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
 FREQUENCY FOR TRANVERSE FLASHINGS AND  
 CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
 DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF PENETRATION FLASHING DETAILS.

REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
 NCC 2019 PART 3.5.1.8





CARPORT AREA	22.55 m <sup>2</sup>	( 2.43 SQUARES )
FLOOR AREA	79.75 m <sup>2</sup>	( 8.58 SQUARES )
PORCH AREA	1.86 m <sup>2</sup>	( 0.20 SQUARES )
ALFRESCO AREA	24.00 m <sup>2</sup>	( 2.58 SQUARES )
	128.16	13.78

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- R/H RANGE HOOD
- BAL.2 CRASH BARRIER

TO COMPLY WITH LHA GUIDELINE - SILVER LEVEL

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	610	AWNING WINDOW	
W4	600	2410	AWNING WINDOW	
W5	1800	1810	AWNING WINDOW	
W6	600	1810	AWNING WINDOW	
W7	2100	2110	SLIDING DOOR	
W8	600	1210	AWNING WINDOW	OPAQUE
W9	600	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE WITH FLY SCREENS TO SUIT ??? **BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

UNIT 17

## FLOOR PLAN

1 : 100



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U17-01

Revision:  
01

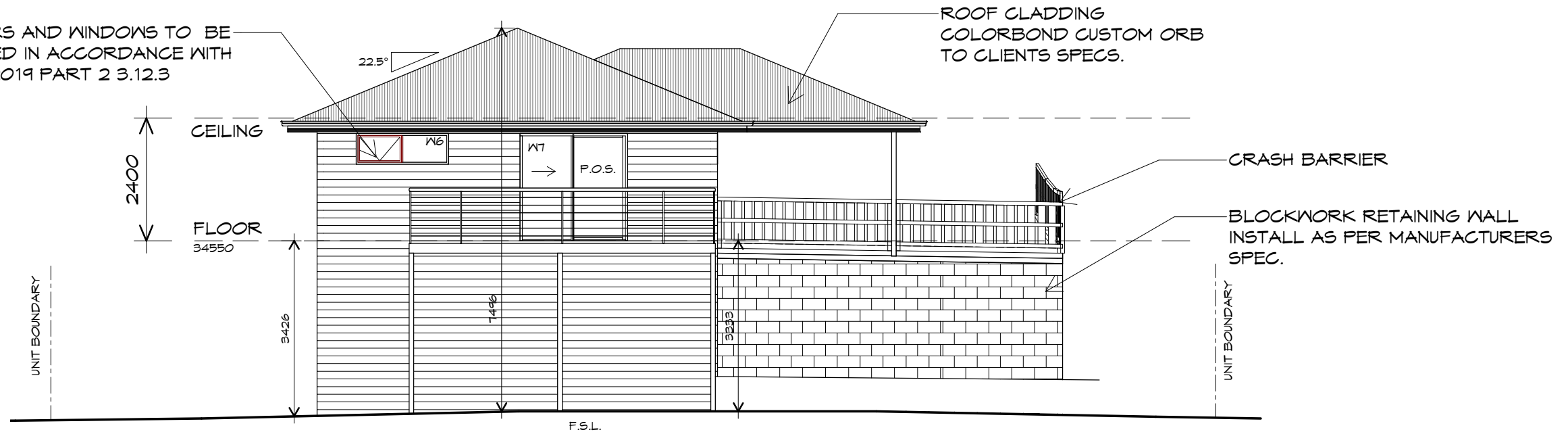


Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

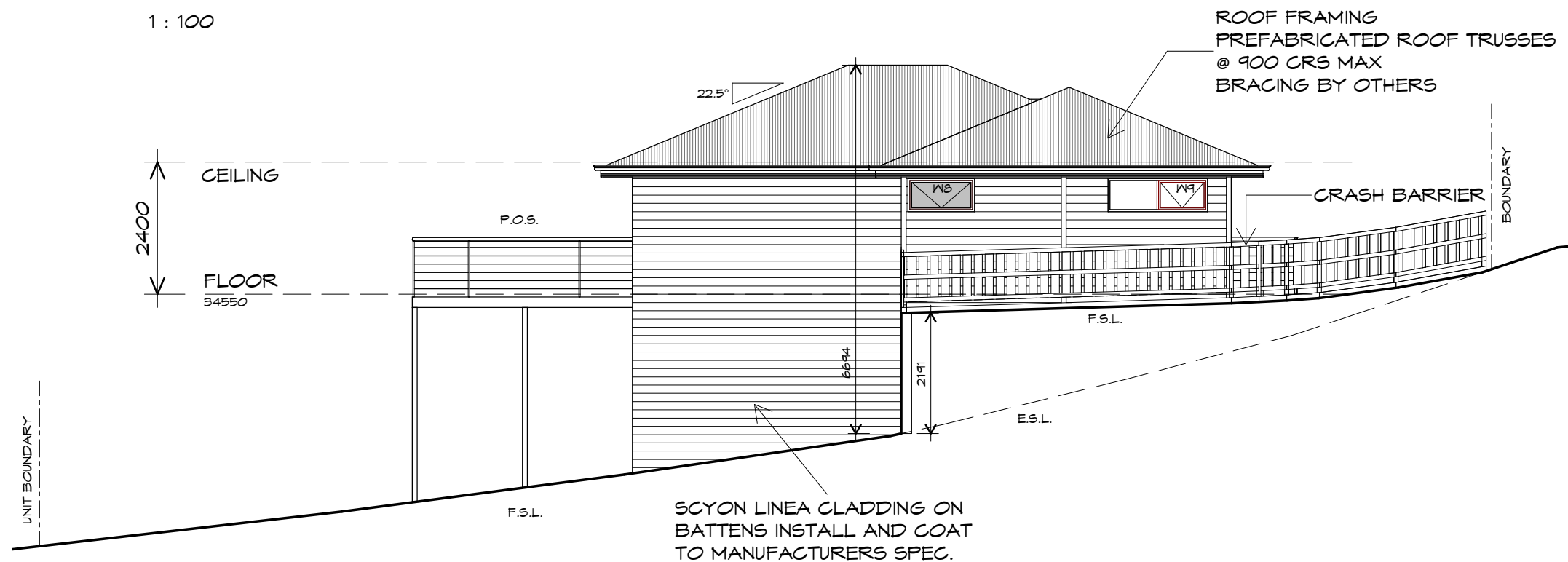
NOTE: DO NOT SCALE OFF DRAWINGS

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2 3.12.3



## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 17



**CENTACARE**  
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HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
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Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

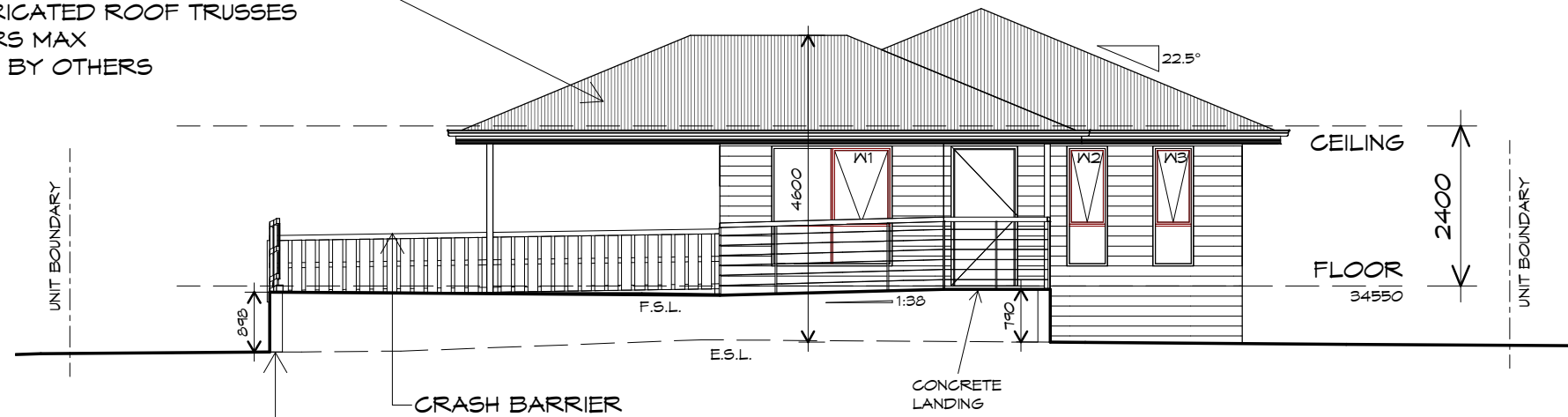
Project/Drawing no: PD20174 -U17-02  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



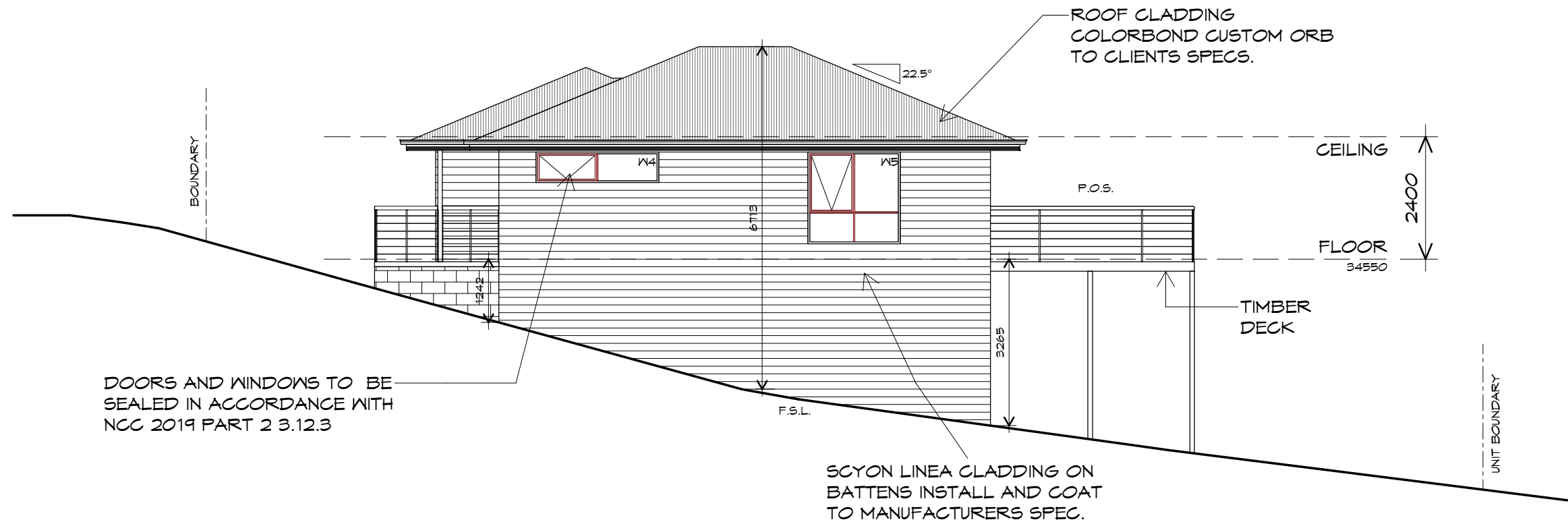
ROOF FRAMING  
 PREFABRICATED ROOF TRUSSES  
 @ 900 CRS MAX  
 BRACING BY OTHERS



BLOCKWORK RETAINING WALL  
 INSTALL AS PER MANUFACTURERS  
 SPEC.

## SOUTH WESTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 17



**CENTACARE**  
 evolve  
 HOUSING



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 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 ELEVATIONS

Date: 19/11/2021  
 Scale: 1 : 100

Project/Drawing no: PD20174 -U17-03  
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING  
 NOTE: DO NOT SCALE OFF DRAWINGS

## UNIT 17



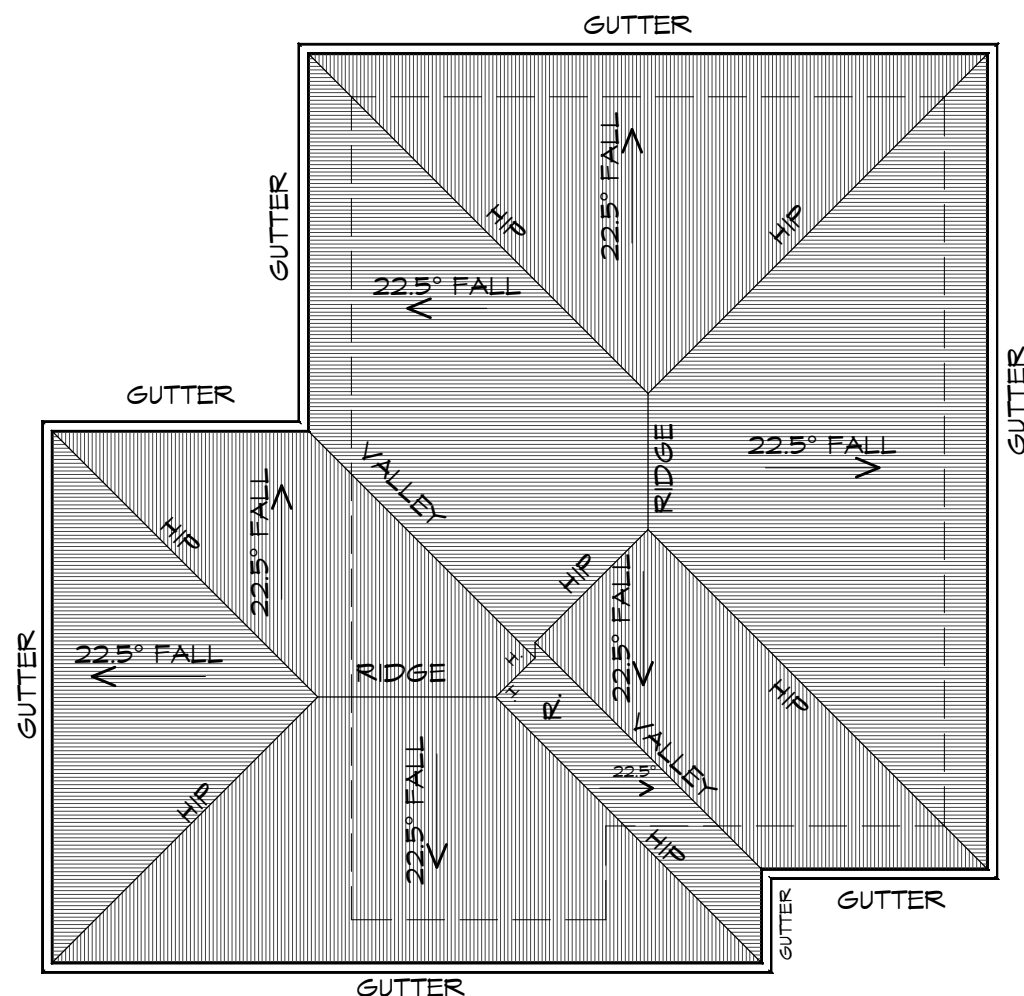
**CENTACARE**  
evolve  
HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U17-04

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

#### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.

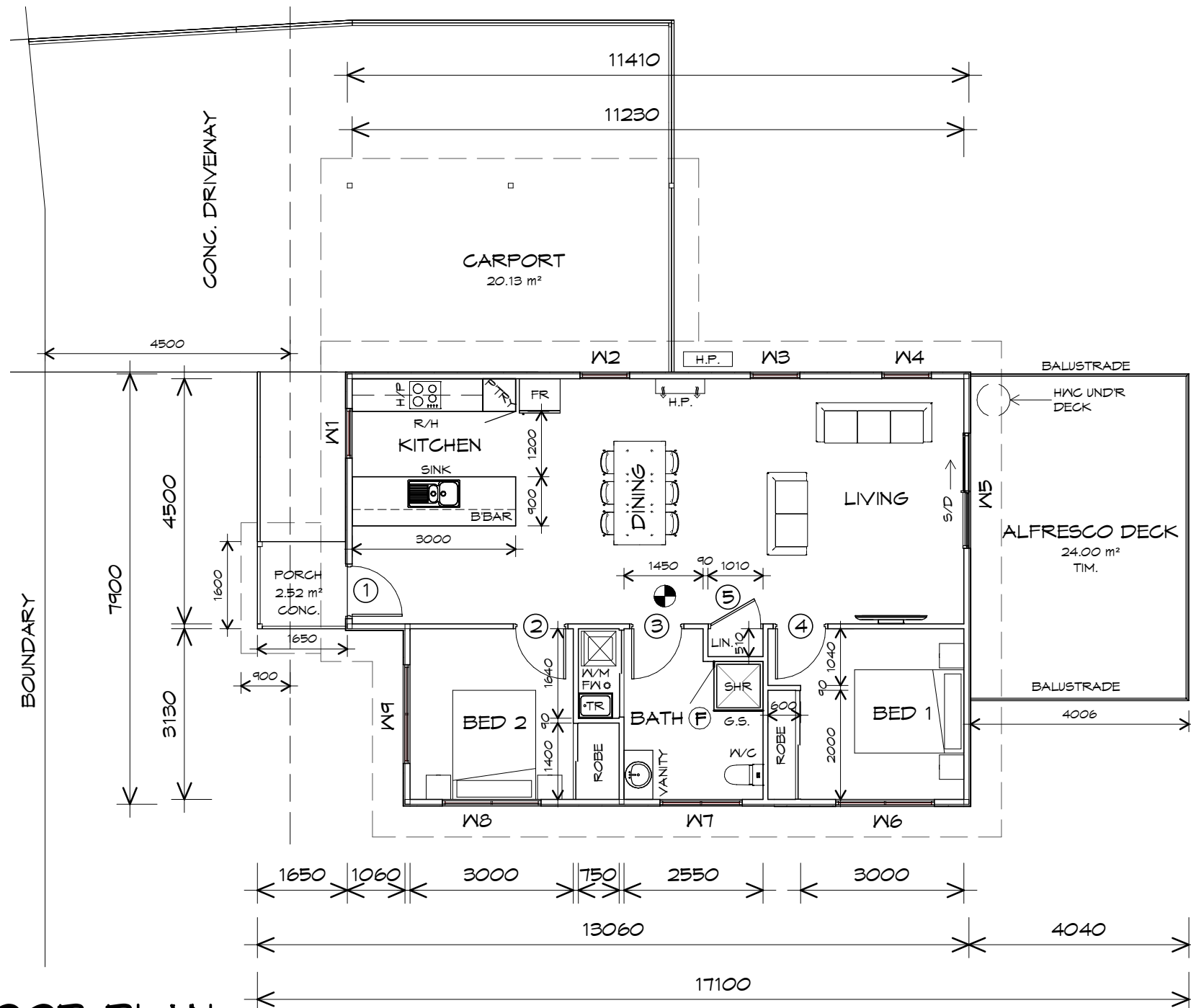
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
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ROOF PENETRATION FLASHING DETAILS.

REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGEHOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- BAL.2 CRASH BARRIER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	ROBE DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1800	910	AWNING WINDOW	
W4	1800	910	AWNING WINDOW	
W5	2100	2110	SLIDING DOOR	
W6	1800	1810	AWNING WINDOW	
W7	600	1510	AWNING WINDOW	OPAQUE
W8	600	1810	AWNING WINDOW	
W9	1800	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE WITH FLY SCREENS TO SUIT ??? **BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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Project:  
PROPOSED NEW RESIDENTIAL  
DEVELOPMENT  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U18-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

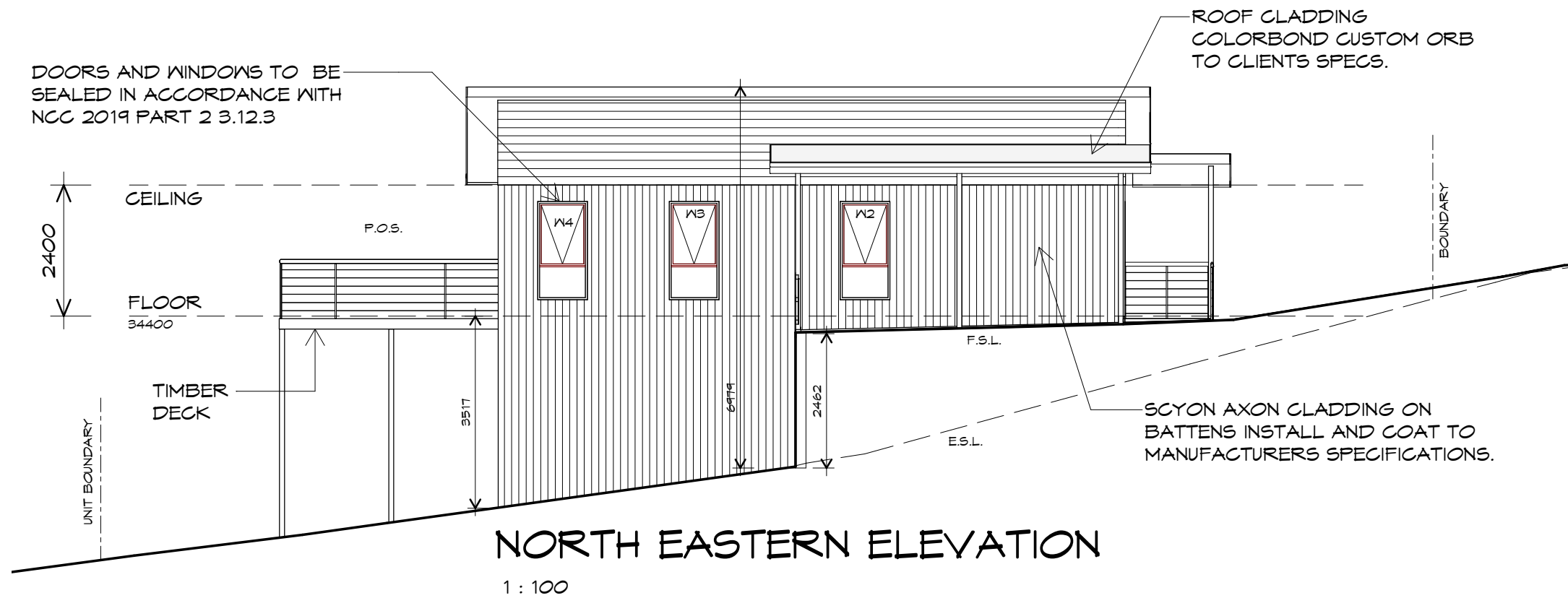
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

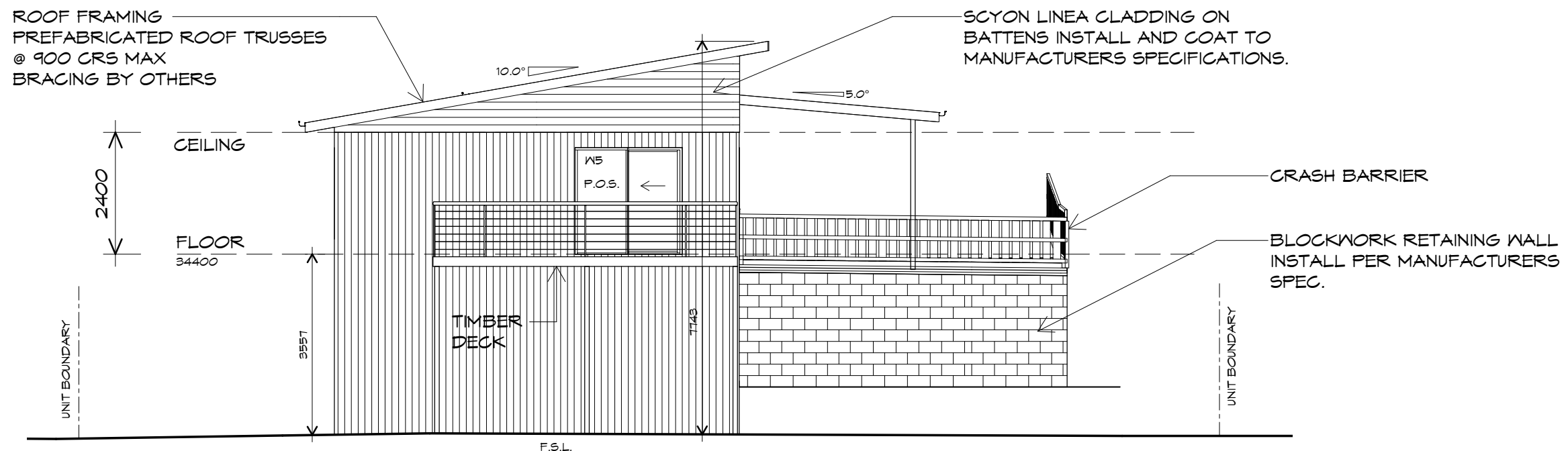
UNIT 18



DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2 3.12.3



ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS



SOUTH EASTERN ELEVATION  
1 : 100



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Client name:  
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Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U18-02  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

UNIT 18

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.

SCYON LINEA CLADDING ON  
BATTENS INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS

BOUNDARY

CEILING

P.O.S.

FLOOR  
34400

TIMBER  
DECK

UNIT BOUNDARY

3629

1150

F.S.L.

2400

SOUTH WESTERN ELEVATION

1 : 100

Architectural elevation drawing of a building facade. The drawing includes the following annotations and dimensions:

- Annotations:**
  - ROOF FRAMING
  - PREFABRICATED ROOF TRUSSES @ 900 CRS MAX BRACING BY OTHERS
  - SCYON AXON CLADDING ON BATTENS INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.
  - CEILING
  - FLOOR 34400
  - CONCRETE LANDING
  - CRASH BARRIER
  - UNIT BOUNDARY (on the left)
  - UNIT BOUNDARY (on the right)
- Dimensions:**
  - Roof pitch: 5.0° and 10.0°
  - Height from F.S.L. to the top of the main structure: 4655
  - Height from F.S.L. to the top of the concrete landing: 460
  - Height of the unit: 2400
  - Width of the concrete landing: 345
  - Level markers: F.S.L. (Finished Surface Level) and E.S.L. (Existing Surface Level)

— DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2 3.12.3

## 1 • 1000

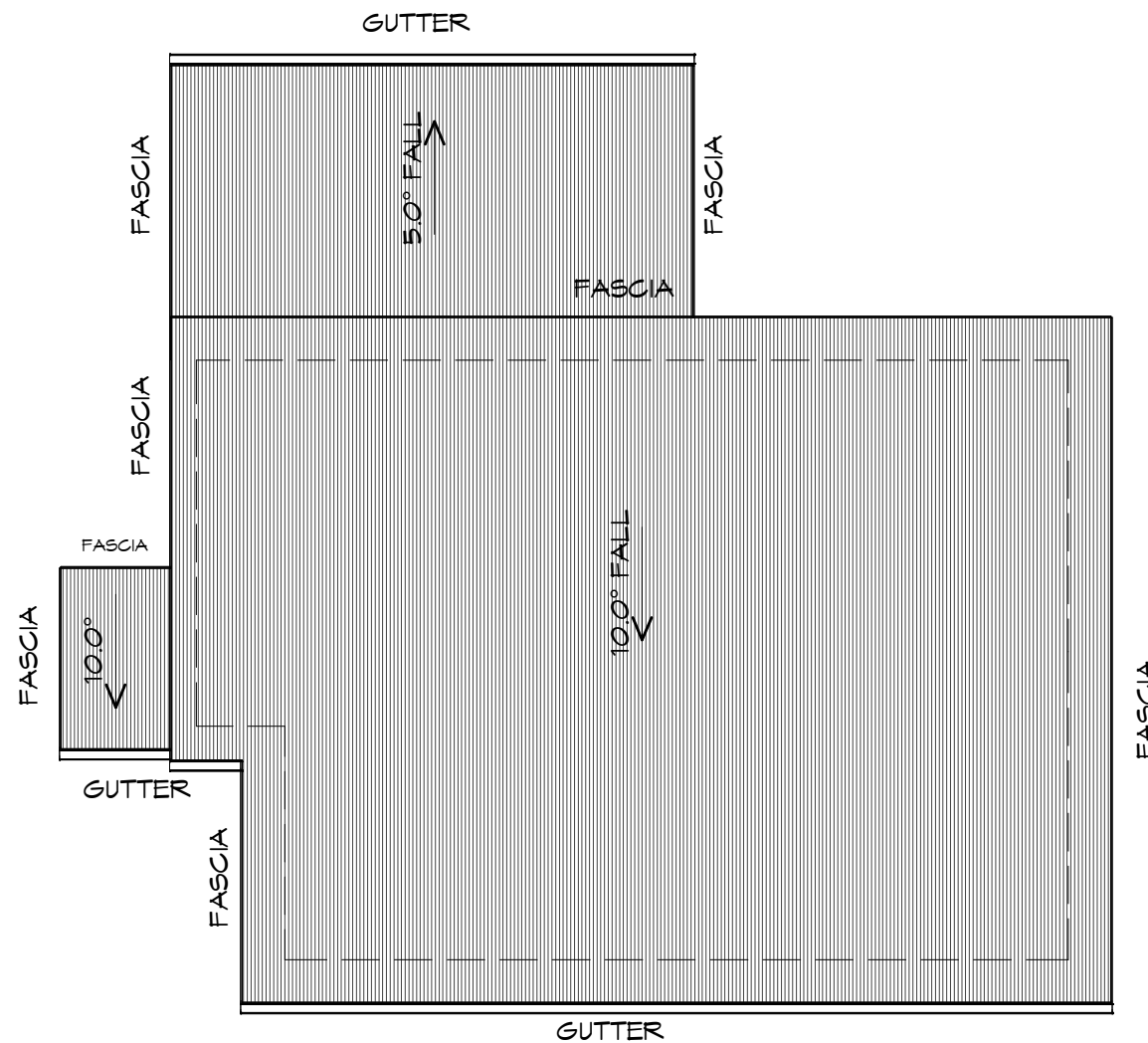


Drafted by: A.G.M. Approved by: F.G.G.

Accredited building practitioner: Frank Geskus -No CC246A



# UNIT 18



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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UNIT 18



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Project:  
PROPOSED NEW RESIDENTIAL  
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LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U18-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



## FLOOR PLAN

1 : 100

FLOOR AREA	90.54	m <sup>2</sup>	( 9.74 SQUARES )
CARPORT AREA	23.34	m <sup>2</sup>	( 2.51 SQUARES )
AL FRESCO AREA	8.00	m <sup>2</sup>	( 0.86 SQUARES )
PORCH AREA	2.28	m <sup>2</sup>	( 0.25 SQUARES )
	124.16		13.35

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## UNIT 19



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
FLOOR PLAN

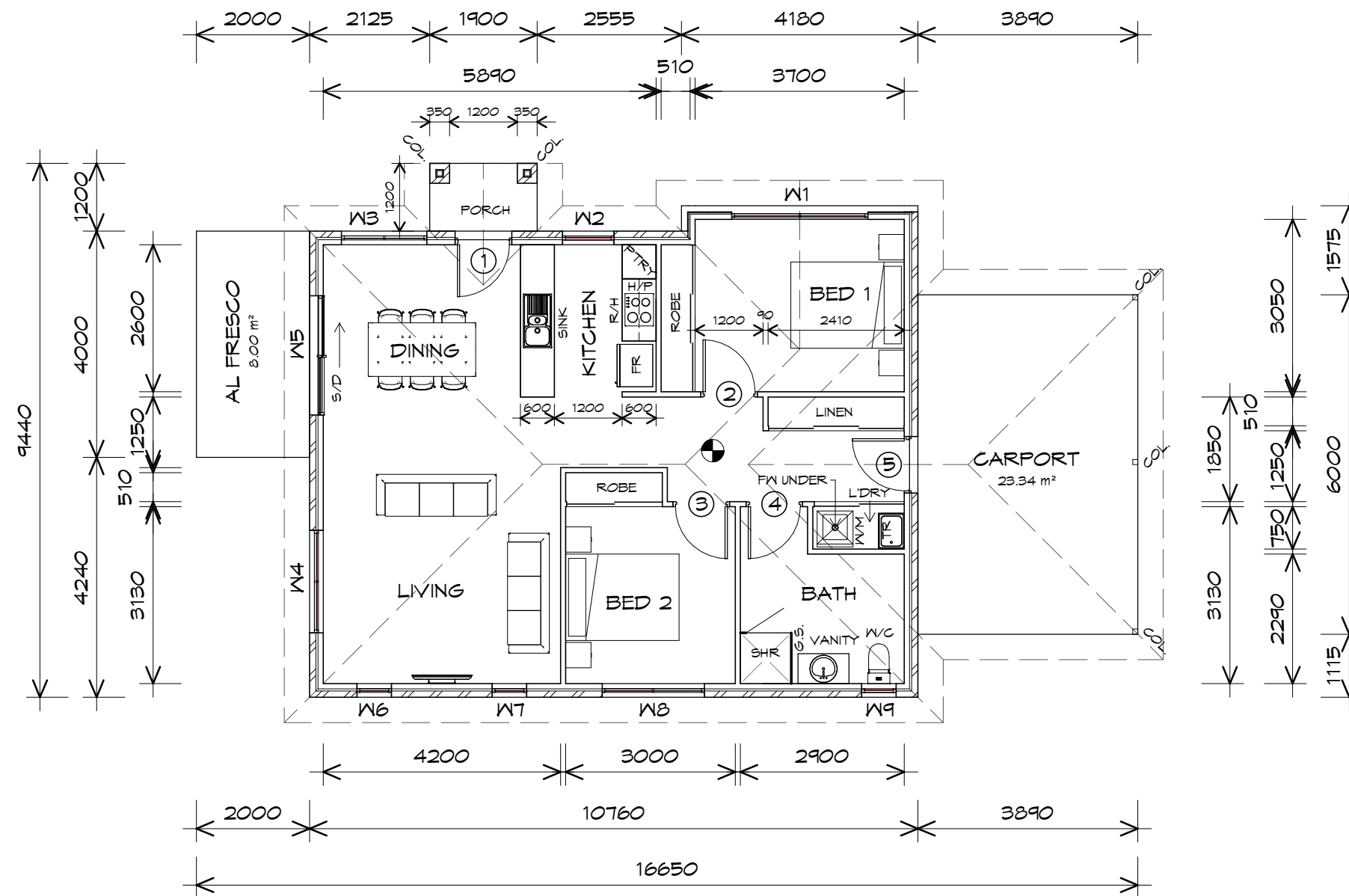
Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U19-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

### DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	

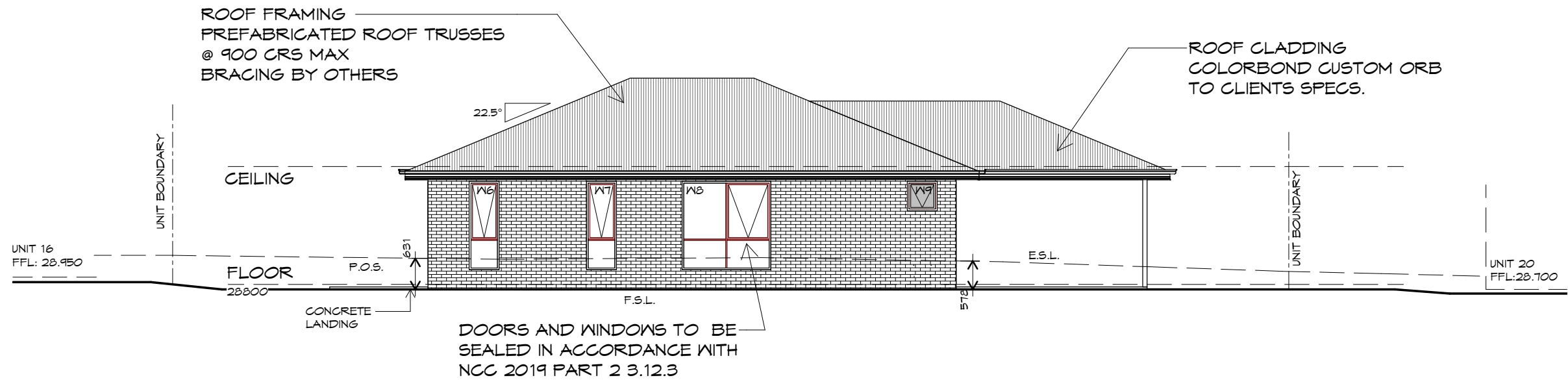
### WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	2410	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1500	1510	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	2100	2110	SLIDING DOOR	
W6	1800	610	AWNING WINDOW	
W7	1800	610	AWNING WINDOW	
W8	1800	1810	AWNING WINDOW	
W9	600	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT ??? **BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

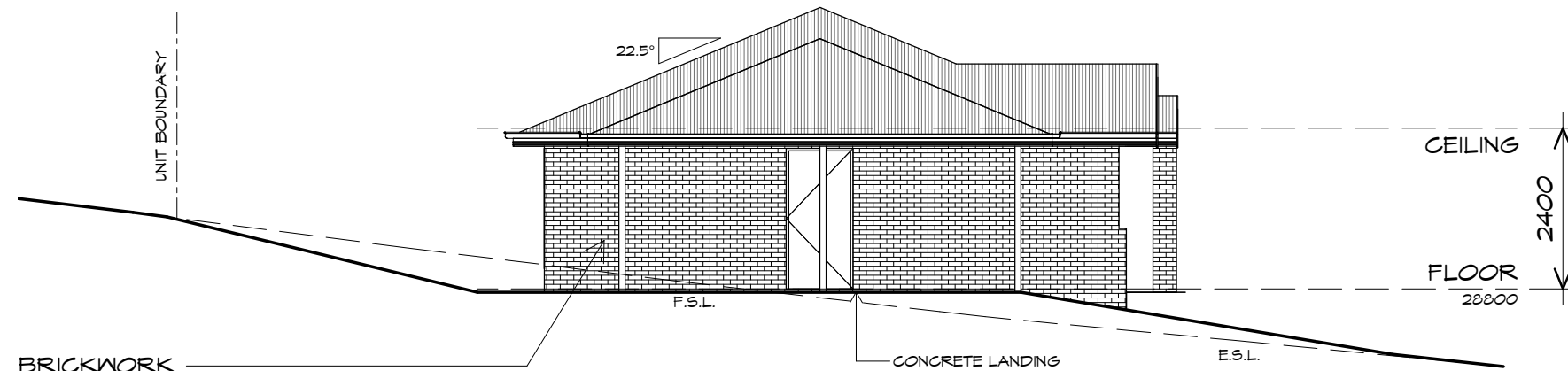
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## SOUTH WESTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 19



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ELEVATIONS

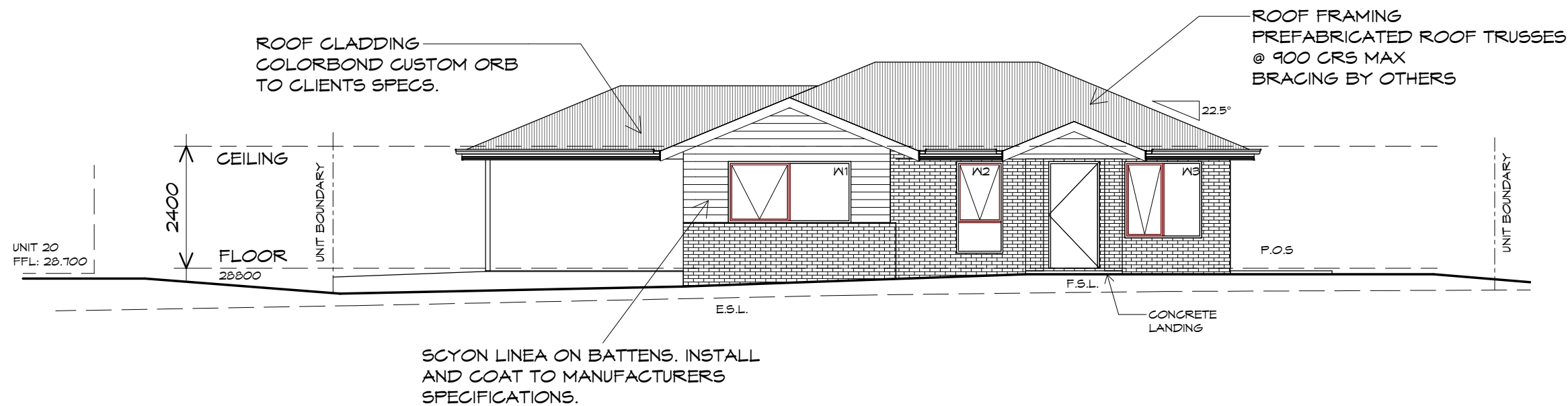
Date: 19/11/2021  
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Project/Drawing no: PD20174 -U19-02  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

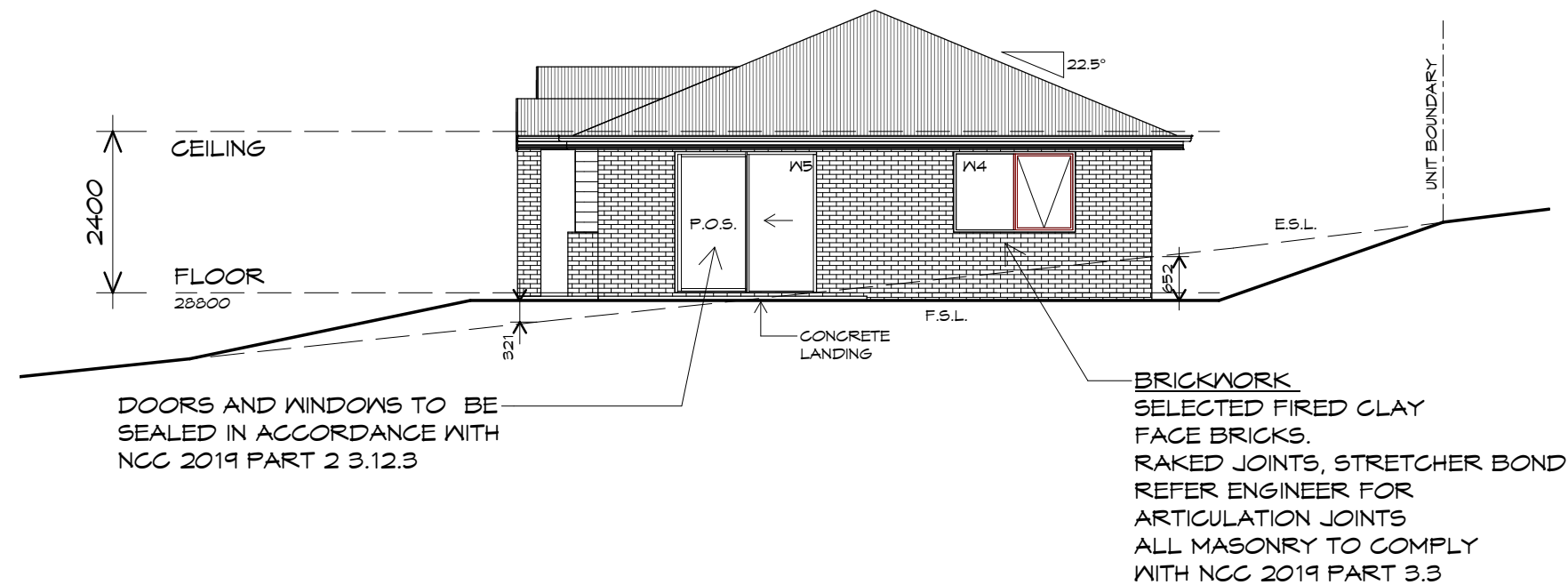
PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS





## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 19



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by: A.G.M. Approved by: F.G.G.

Drawing:  
ELEVATIONS

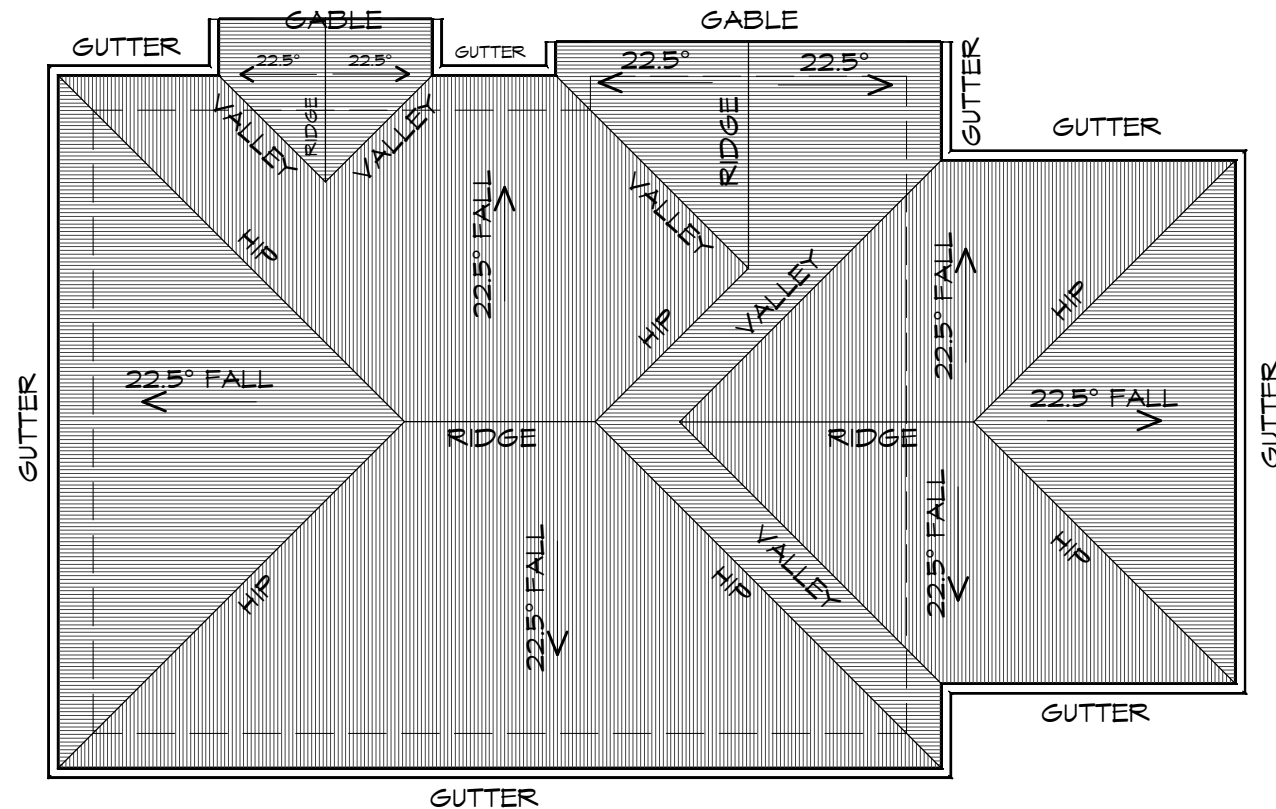
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Project/Drawing no: PD20174 -U19-03 Revision: 01



Accredited building practitioner: Frank Geskus -No CC246A

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 19



**CENTACARE**  
**evolve**  
HOUSING



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Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U19-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

**VALLEY GUTTERS ON A ROOF WITH A PITCH:**  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
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GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
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### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
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CORROSION PROTECTION FOR SHEET ROOFING,  
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REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



# FLOOR PLAN

1 : 100

## UNIT 20



**CENTACARE**  
evolve  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

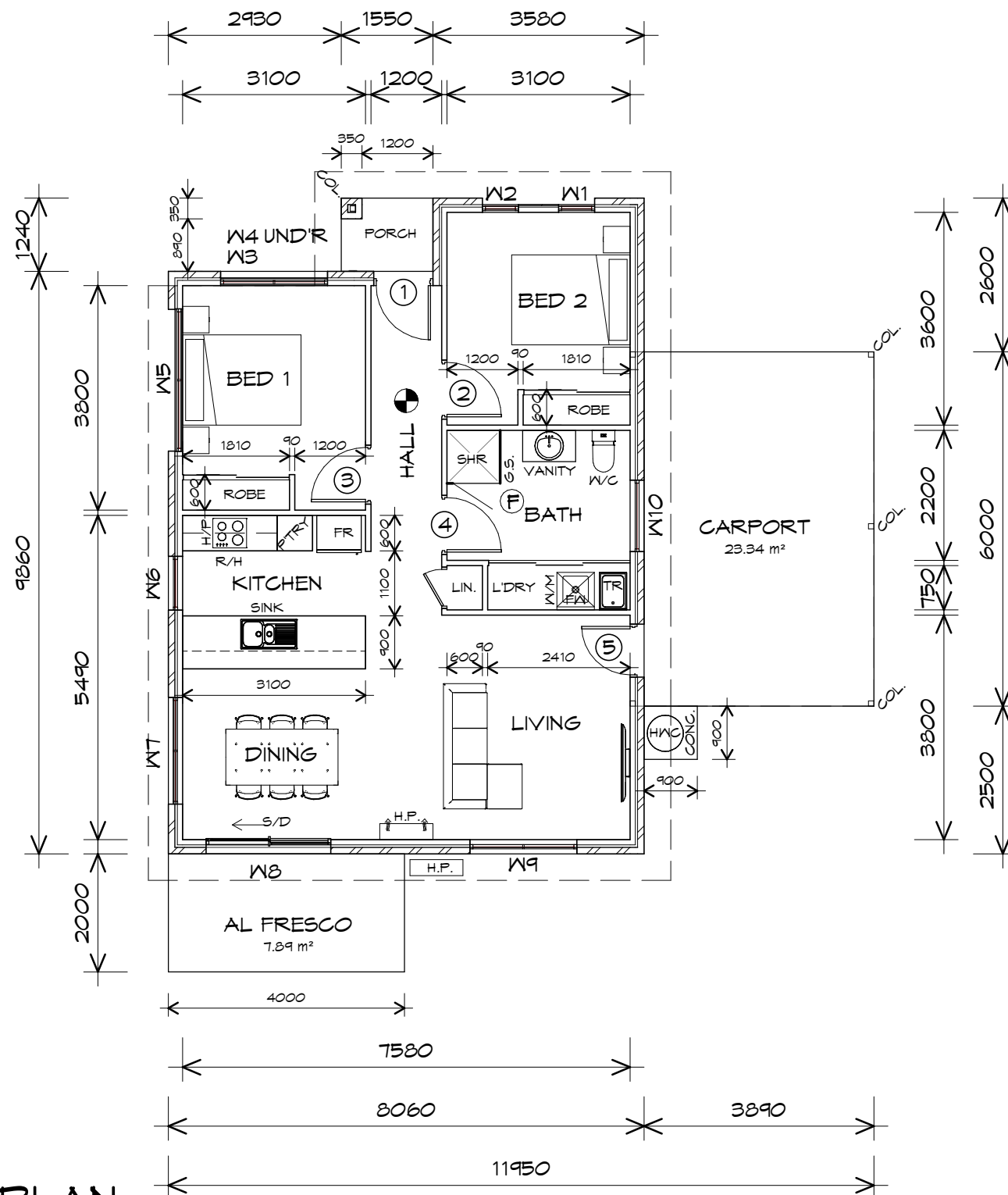
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19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U20-01

Revision:  
02

Accredited building practitioner: Frank Geskus -No CC246A



NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGEHOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

## DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	820	EXTERNAL SOLID DOOR	

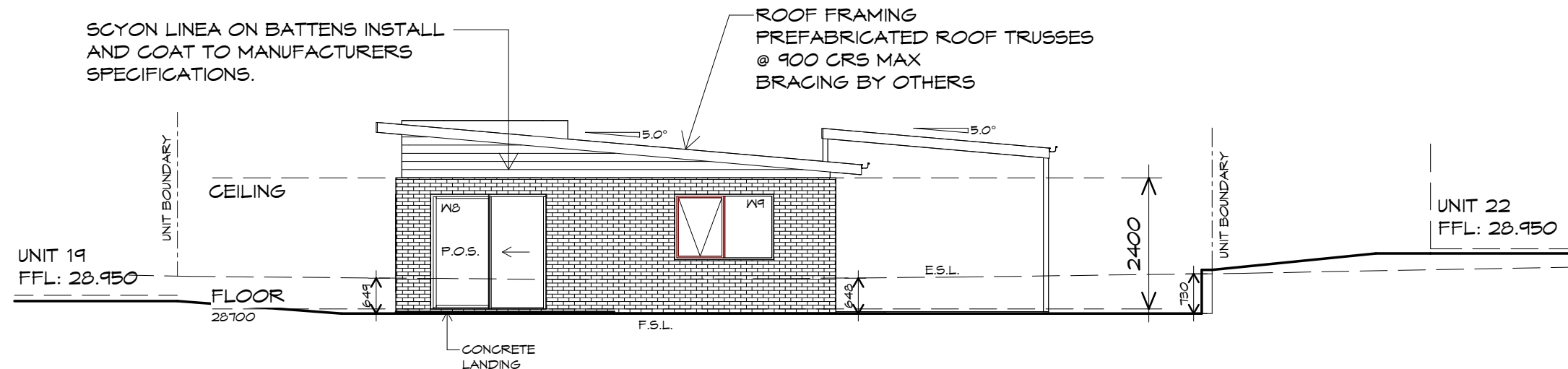
## WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	600	1810	AWNING WINDOW	
W4	600	1810	AWNING WINDOW	
W5	600	2410	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	1200	1810	AWNING WINDOW	
W8	2100	2110	SLIDING DOOR	
W9	1200	1810	AWNING WINDOW	
W10	900	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

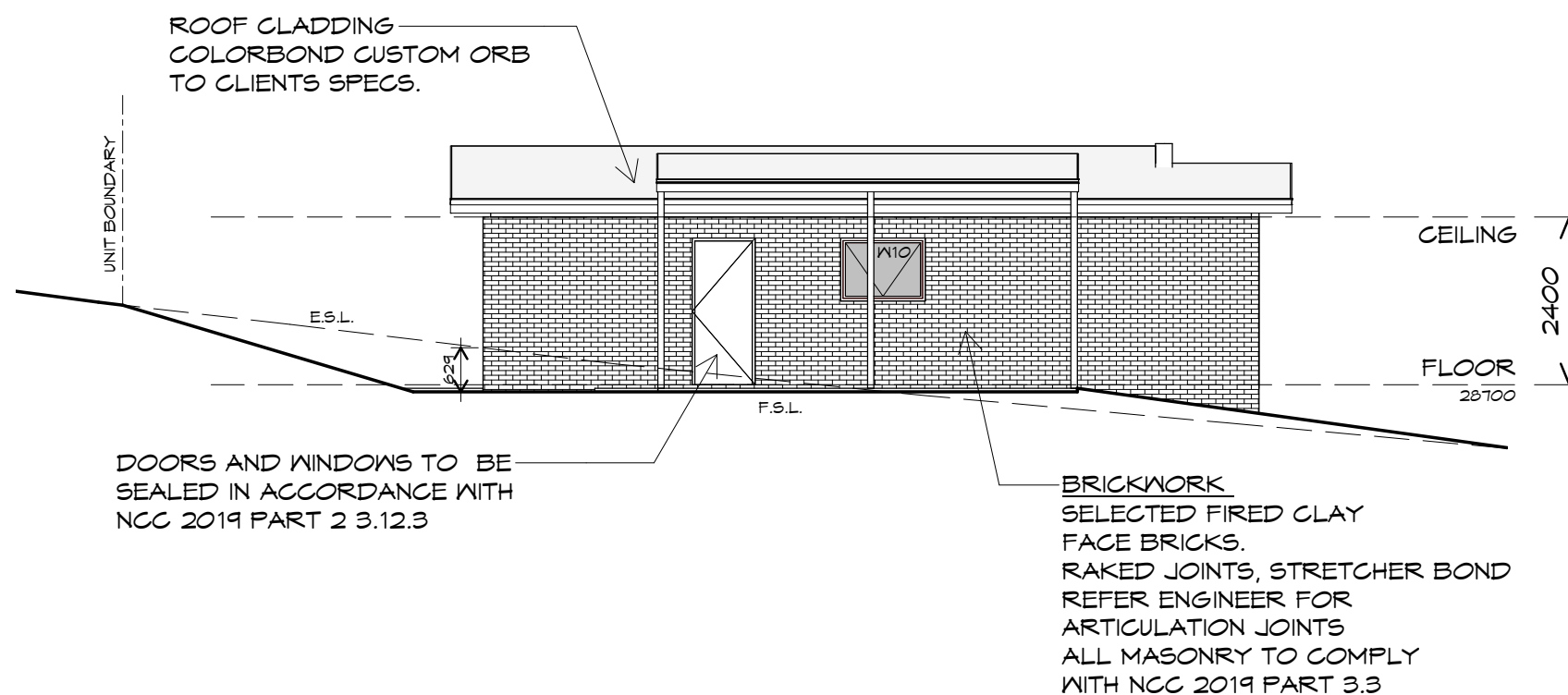
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## SOUTH WESTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 20



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by: A.G.M. Approved by: F.G.G.

Drawing:  
ELEVATIONS

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U20-02 Revision: 02

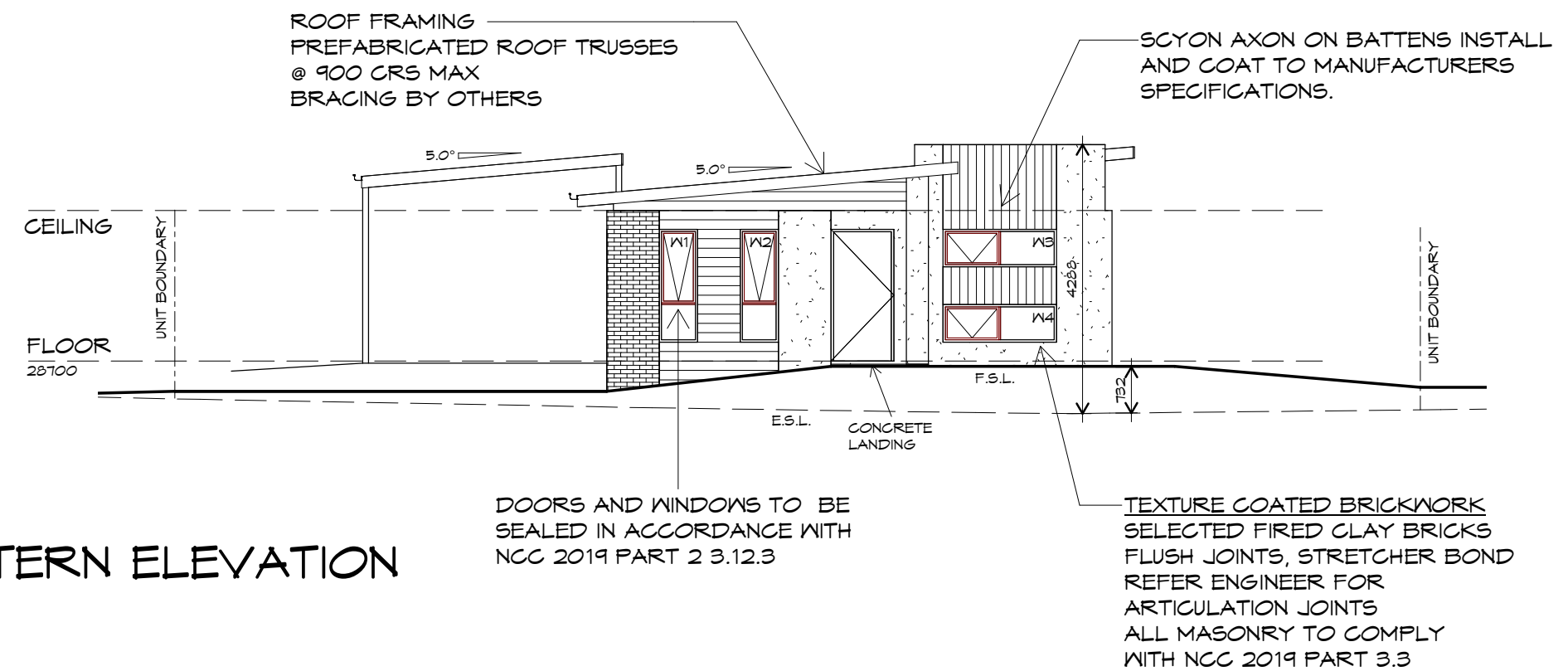


Accredited building practitioner: Frank Geskus -No CC246A

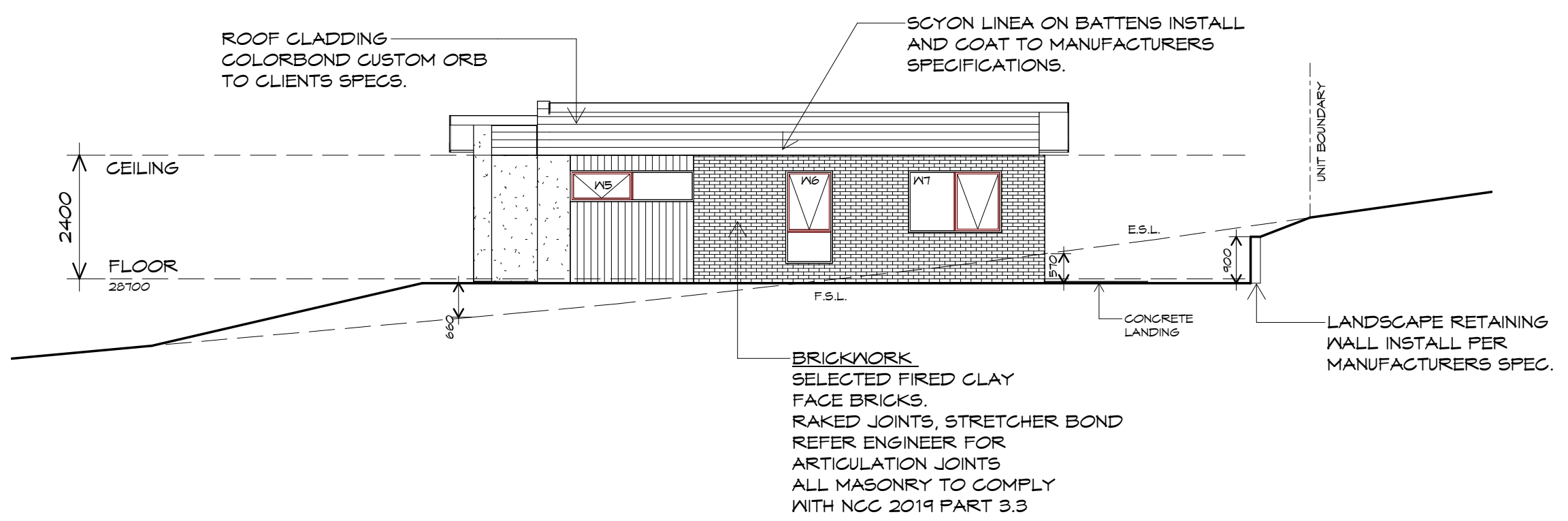
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





**NORTH EASTERN ELEVATION**  
1 : 100



**NORTH WESTERN ELEVATION**  
1 : 100

UNIT 20



**CENTACARE**  
**evolve**  
**HOUSING**



**Prime Design**  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE**

Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by:  
**A.G.M.**

Approved by:  
**F.G.G.**

Drawing:  
**ELEVATIONS**

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U20-03 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A





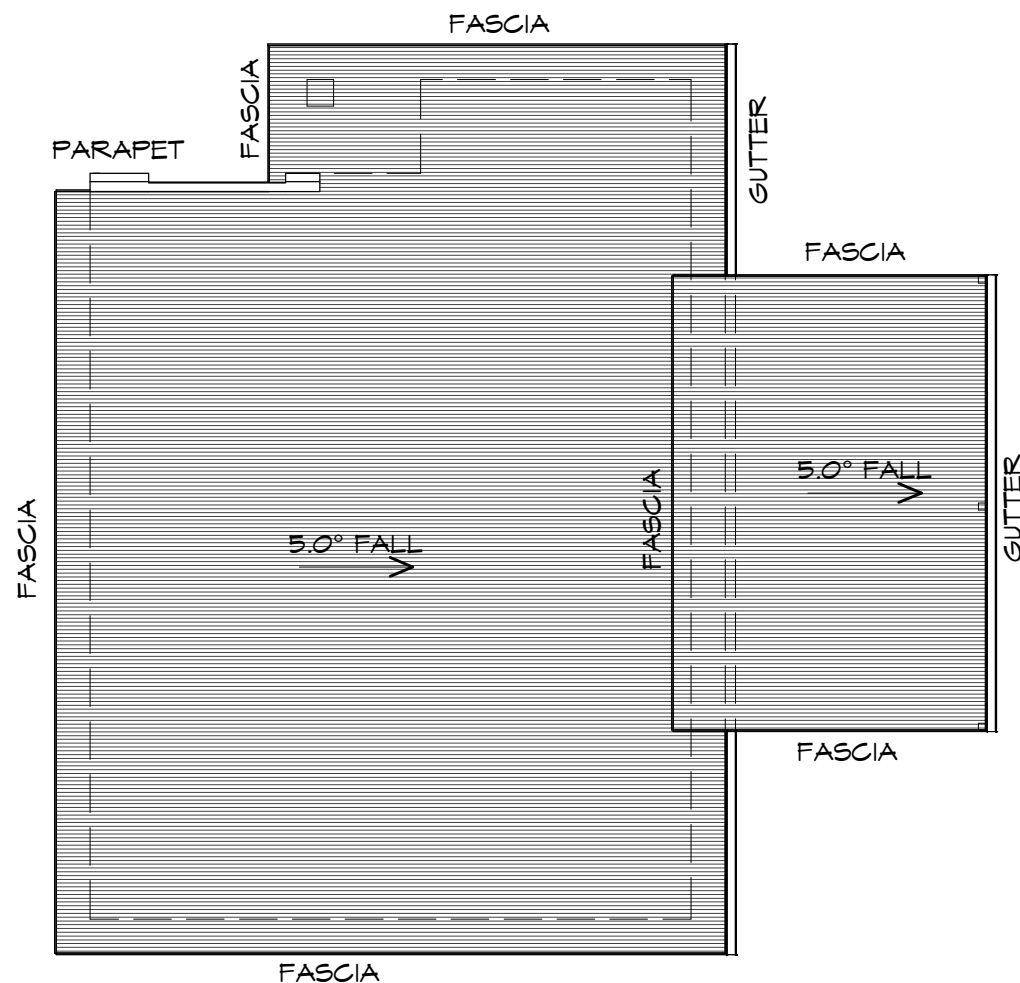
**CENTACARE**  
**evolve**  
 HOUSING

## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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### ROOF PLUMBING NOTES:

#### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
 NCC 2019 PART 3.5.2.4.  
 WITH FALL NO LESS THAN  
 1:100 FOR BOX GUTTERS  
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
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 GUTTER.  
 B) LESS THAN 12.5° DEGREES, MUST BE  
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DOWNPIPE POSITIONS SHOWN ON THIS  
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EXACT LOCATION & NUMBER OF D.P'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
 WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

#### METAL ROOF

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 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
 NCC 2019 PART 3.5.1.8

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.

Drawing:  
 ROOF PLAN

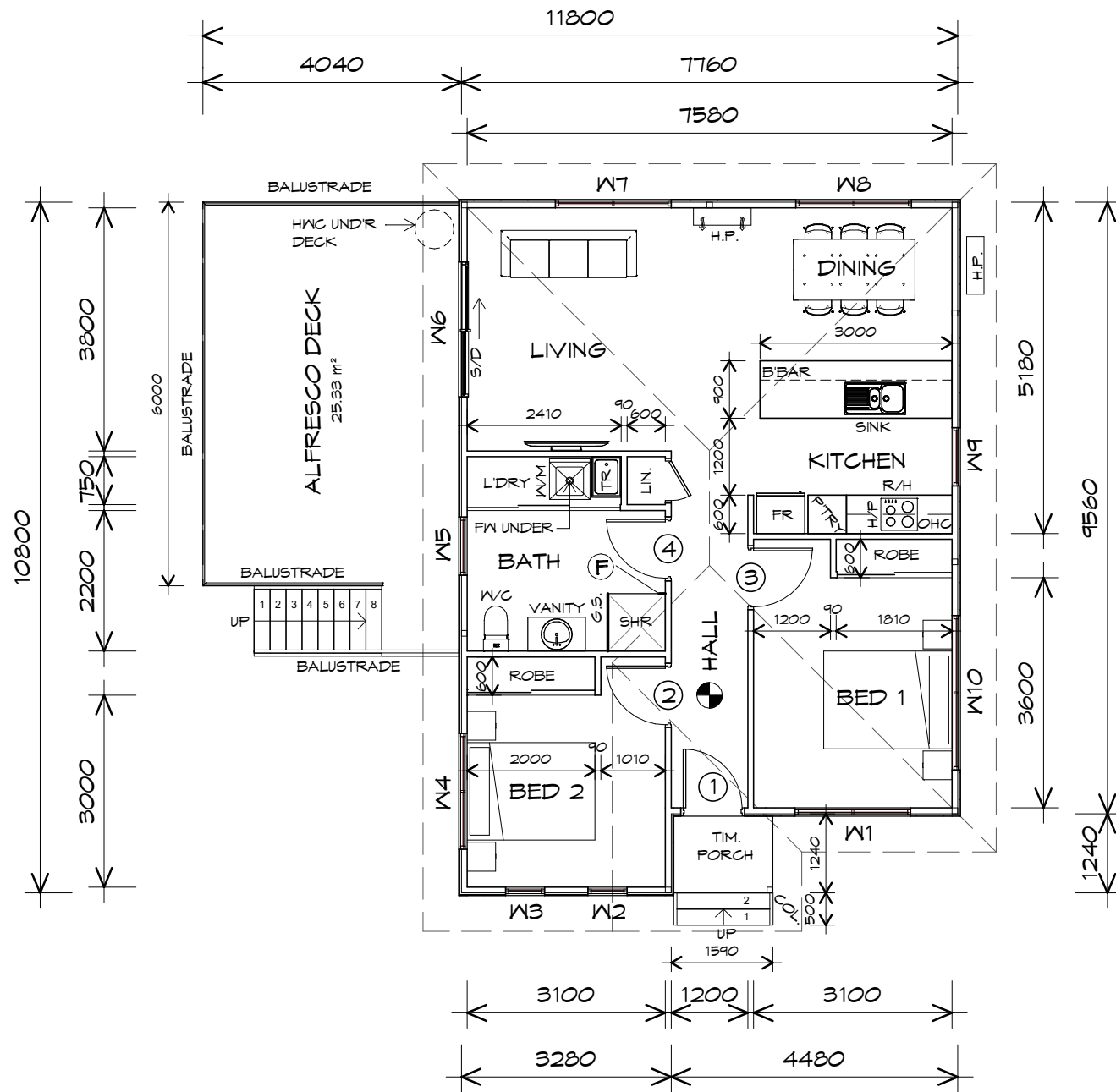
Date: 19/11/2021  
 Scale: 1 : 100

Project/Drawing no: PD20174 -U20-04  
 Revision: 02



Accredited building practitioner: Frank Geskus -No CC246A





## FLOOR PLAN

1 : 100

ALFRESCO AREA	25.33	m2	( 2.72	SQUARES )
FLOOR AREA	79.43	m2	( 8.54	SQUARES )
PORCH AREA	1.86	m2	( 0.20	SQUARES )
TOTAL AREA	106.62		11.46	

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGEHOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- ° FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

### DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

### WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	610	AWNING WINDOW	
W4	600	1810	AWNING WINDOW	
W5	600	910	AWNING WINDOW	OPAQUE
W6	2100	2110	SLIDING DOOR	
W7	1800	1810	AWNING WINDOW	
W8	600	1810	AWNING WINDOW	
W9	1800	910	AWNING WINDOW	
W10	600	2410	AWNING WINDOW	

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

UNIT 21



**CENTACARE**  
**evolve**  
HOUSING

**Prime Design**

10 Goodman Court, Invermay Tasmania 7248,  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U21-01

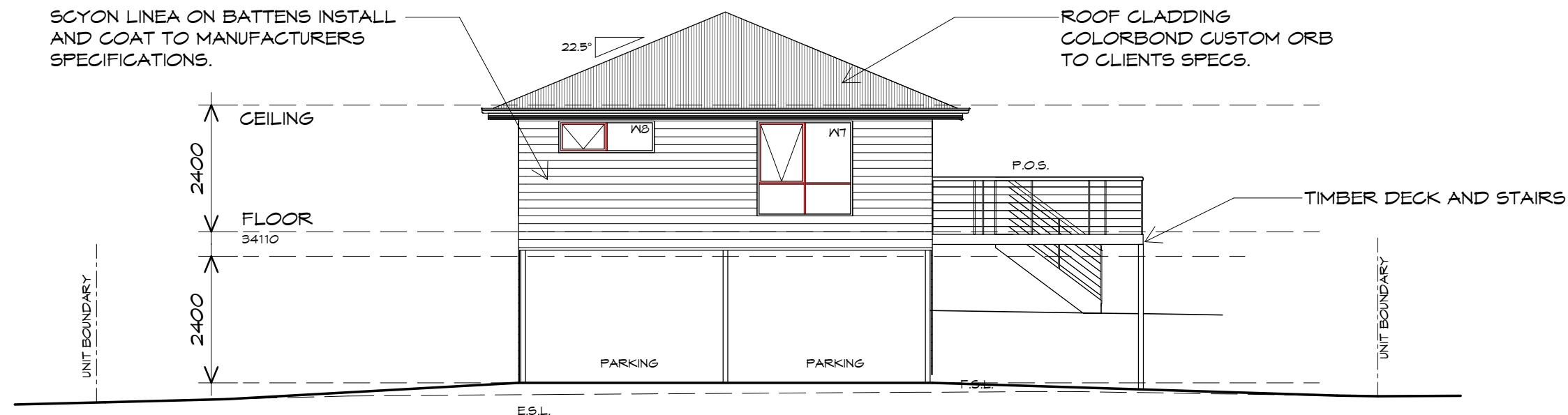
Revision:  
01



Accredited building practitioner: Frank Geskus -No CC246A

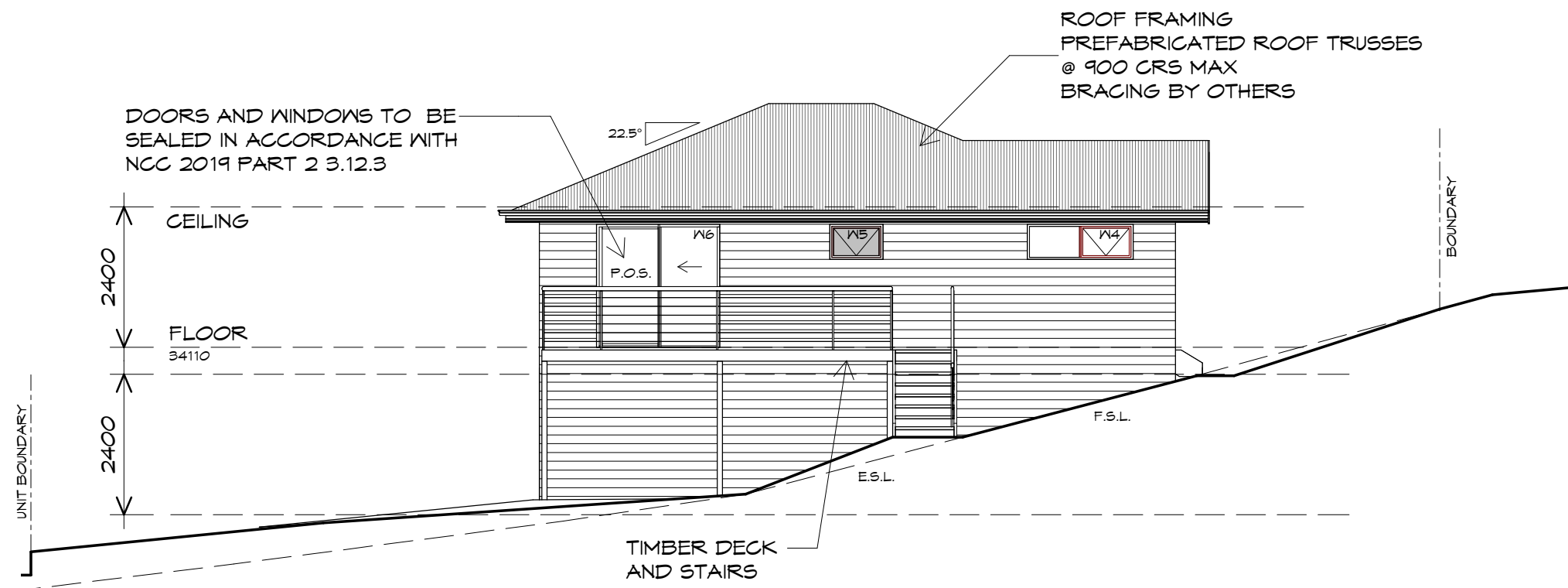
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 21



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ELEVATIONS

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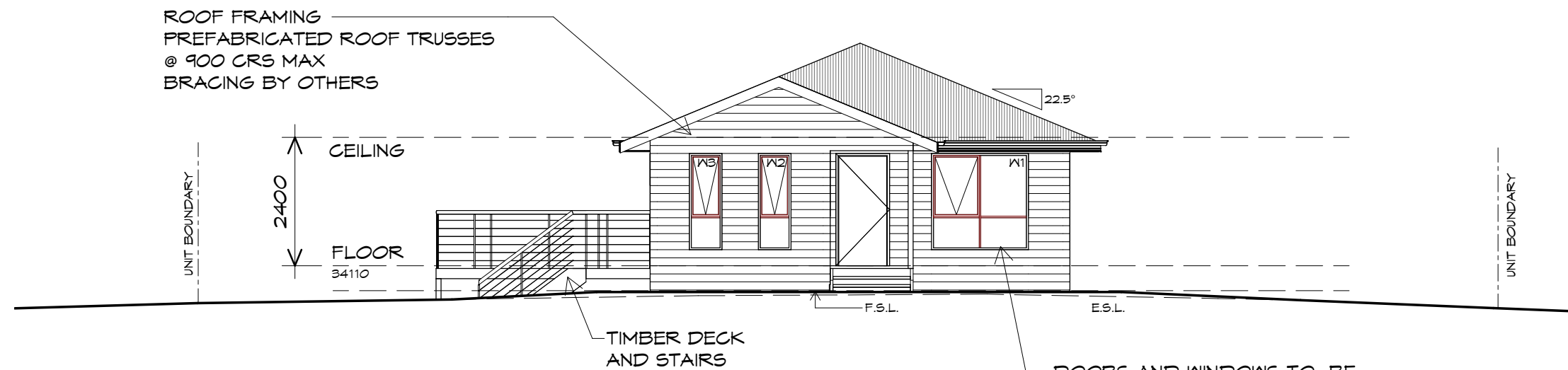
Project/Drawing no: PD20174 -U21-02  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

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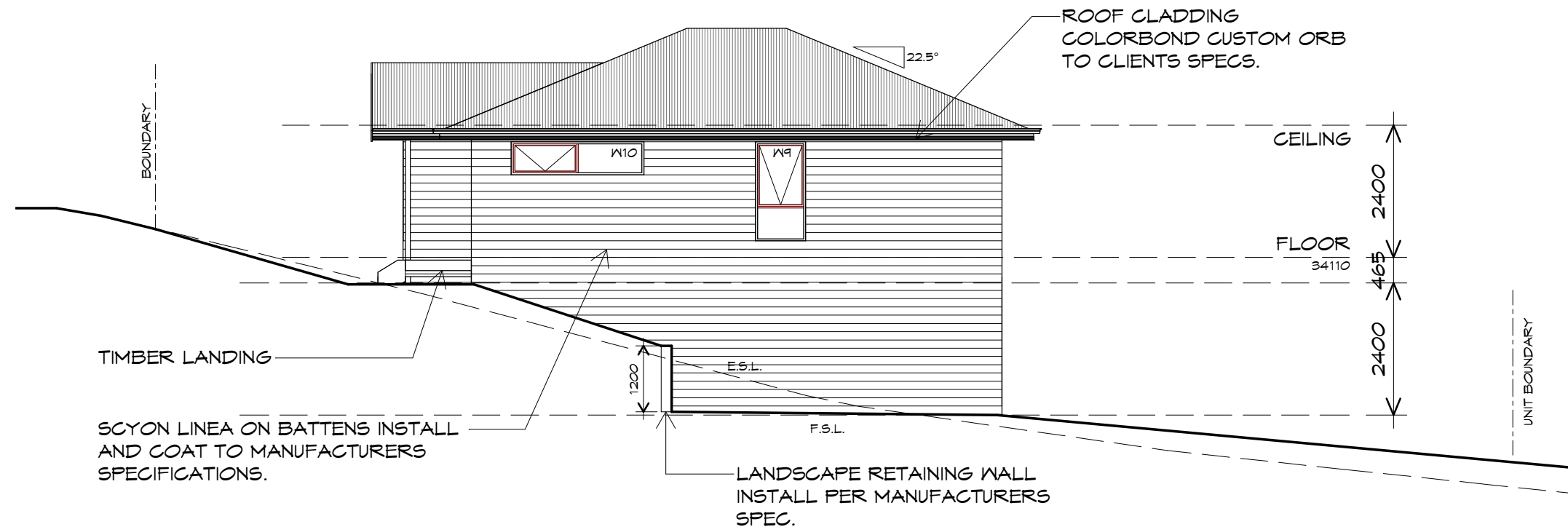




## SOUTH WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
NCC 2019 PART 2 3.12.3



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 21



**CENTACARE**  
**evolve**  
HOUSING

**Prime  
Design**

10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

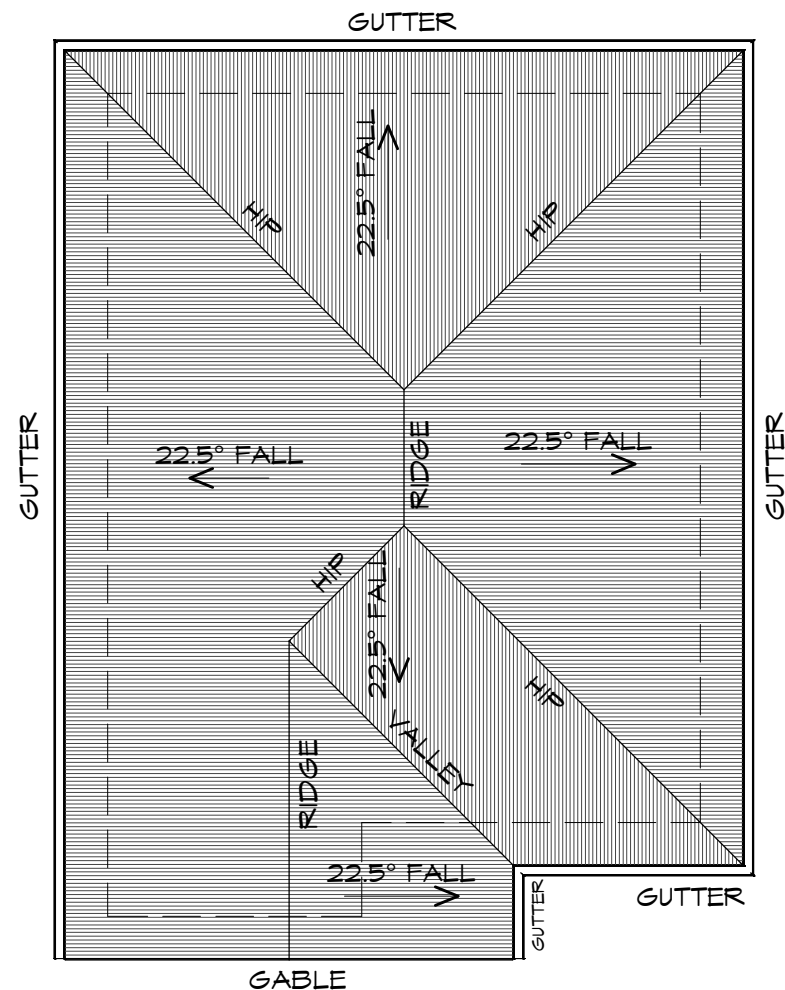
Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U21-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 21



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Drawing:  
ROOF PLAN

Client name:  
CENTACARE EVOLVE HOUSING

Date: 19/11/2021  
Scale: 1 : 100

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Project/Drawing no: PD20174 -U21-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



# UNIT 22



## FLOOR PLAN

1 : 100

**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

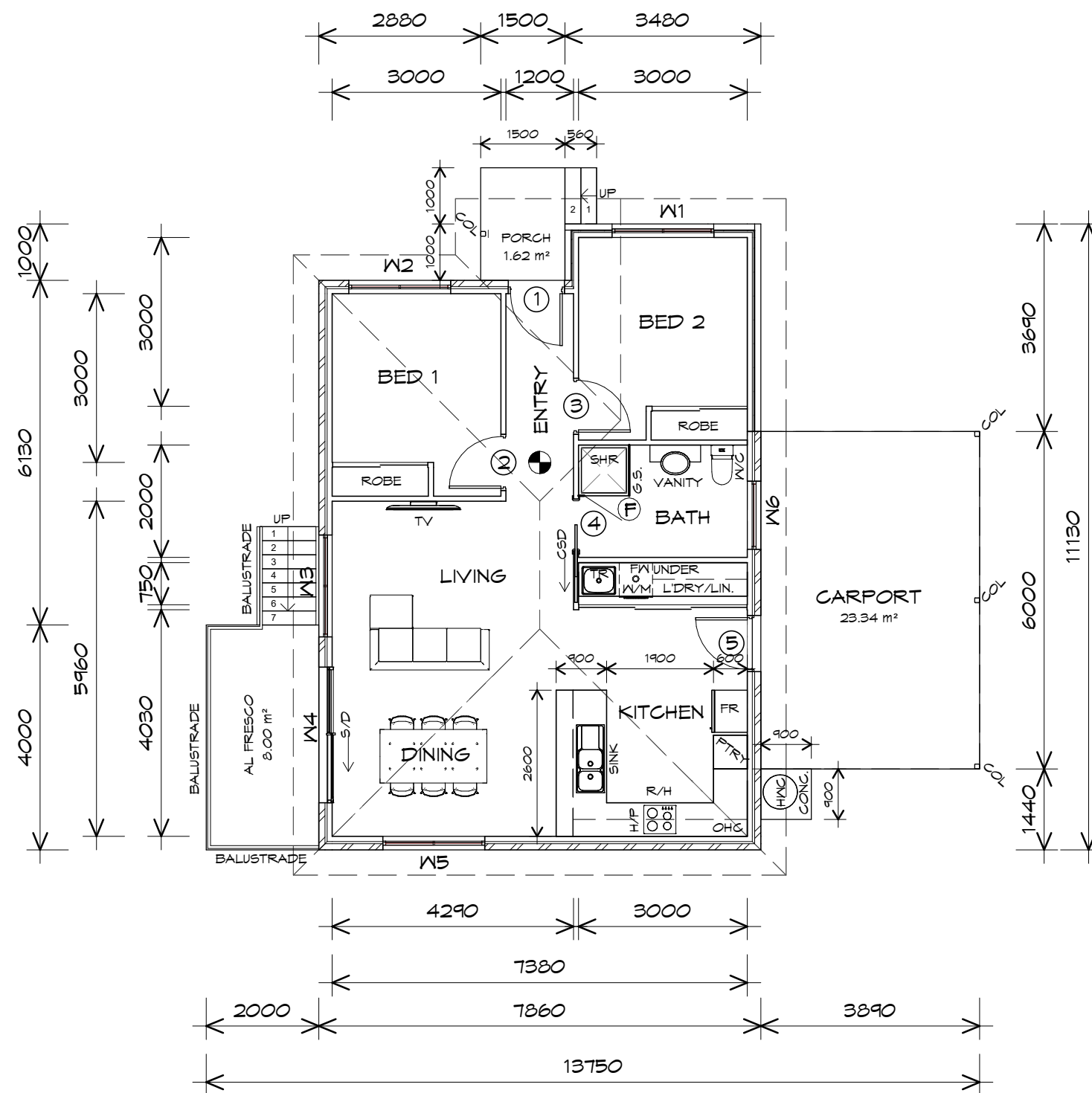
Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U22-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



CARPORT AREA	23.34	m2	( 2.51 SQUARES )
FLOOR AREA	83.10	m2	( 8.94 SQUARES )
AL FRESCO AREA	8.00	m2	( 0.86 SQUARES )
PORCH AREA	1.50	m2	( 0.16 SQUARES )
TOTAL AREA	115.94		12.47

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- Ⓢ F/W FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- R/H RANGE HOOD

## DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	EXTERNAL SOLID DOOR	

## WINDOW SCHEDULE

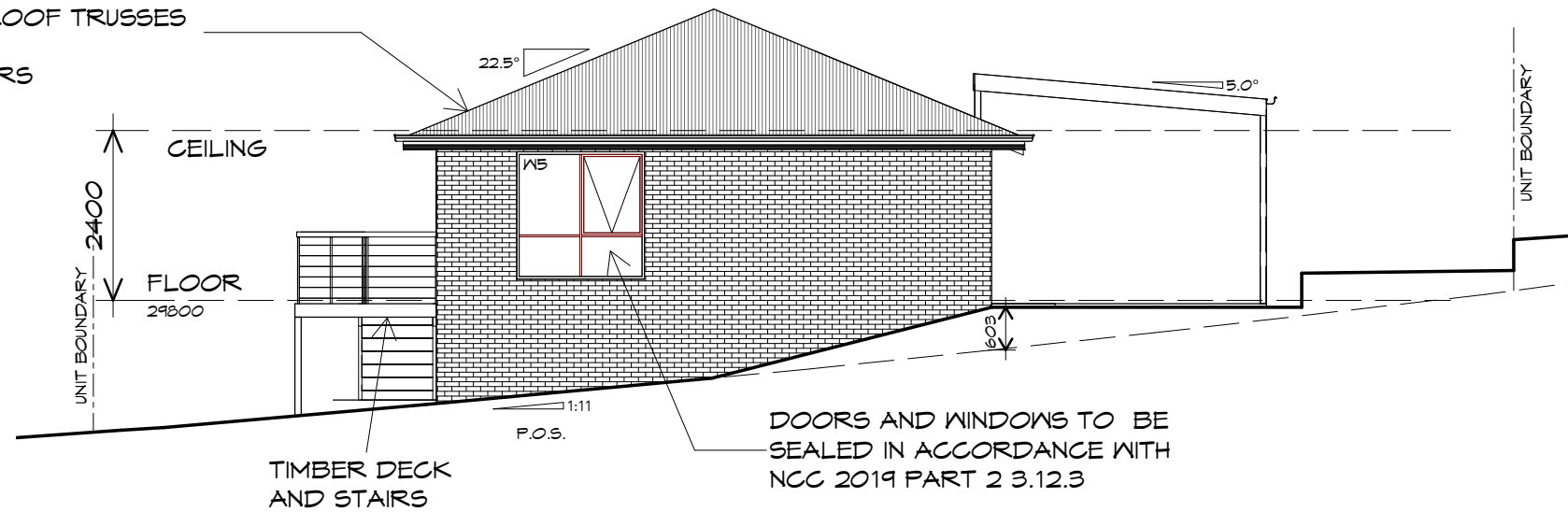
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1000	1810	AWNING WINDOW	
W3	1000	1810	AWNING WINDOW	
W4	2100	2410	SLIDING DOOR	
W5	1800	1810	AWNING WINDOW	
W6	600	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

ROOF FRAMING  
 PREFABRICATED ROOF TRUSSES  
 @ 900 CRS MAX  
 BRACING BY OTHERS



## NORTH WESTERN ELEVATION

1 : 100

ROOF CLADDING  
 COLORBOND CUSTOM ORB  
 TO CLIENTS SPECS.



## SOUTH WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

UNIT 22



**CENTACARE**  
 evolve  
 HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
 p(l)+ 03 6332 3790  
 160 New Town Road, New Town, Hobart 7008  
 p(h)+ 03 6228 4575  
 info@primedesigntas.com.au primedesigntas.com.au

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMAN COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 ELEVATIONS

Date:  
 19/11/2021

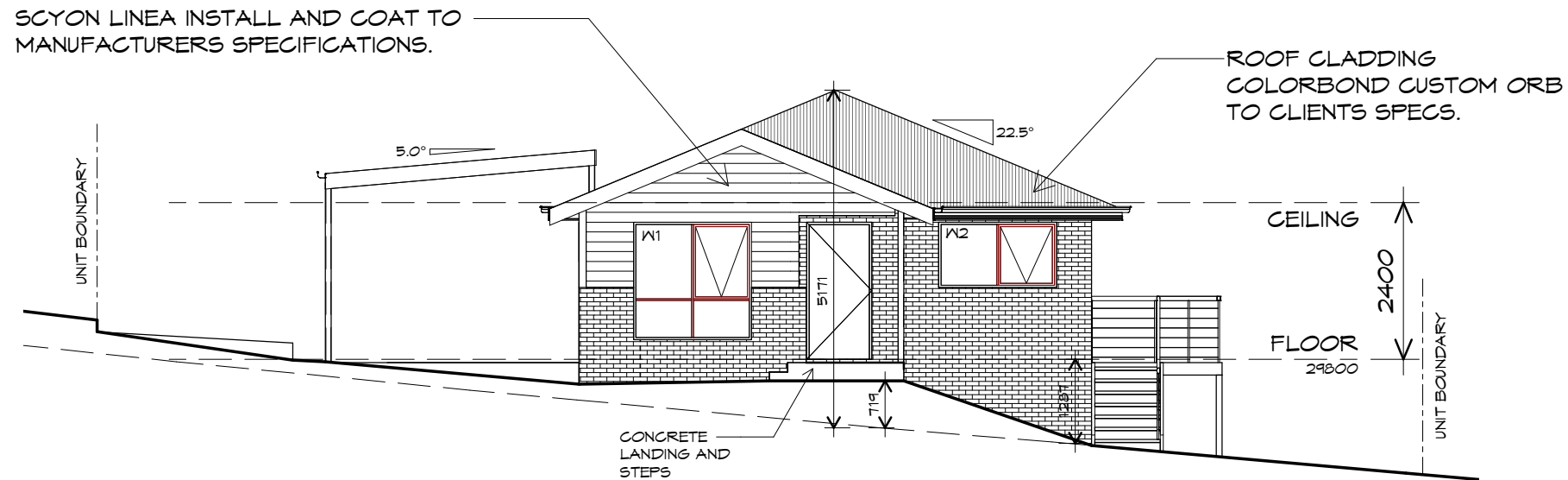
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Project/Drawing no:  
 PD20174 -U22-02

Revision:  
 01

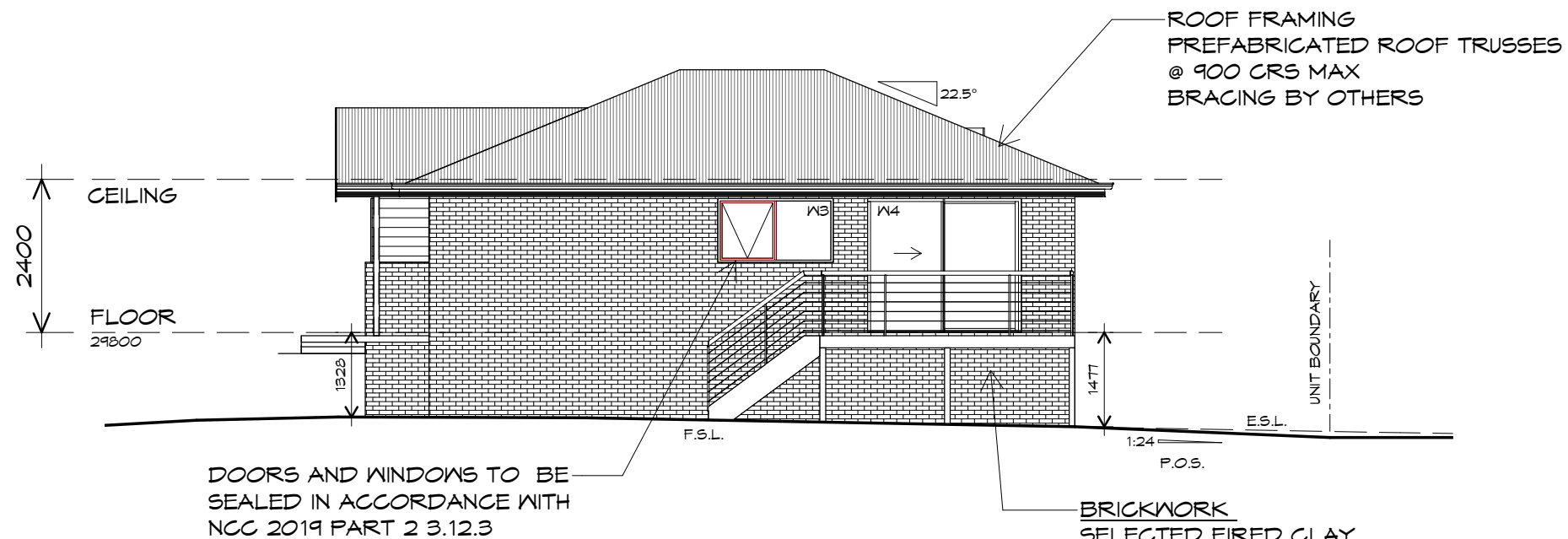
Accredited building practitioner: Frank Geskus -No CC246A





SOUTH EASTERN ELEVATION

1 : 100



NORTH EASTERN ELEVATION

1 : 100

UNIT 22



**CENTACARE**  
evolve  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

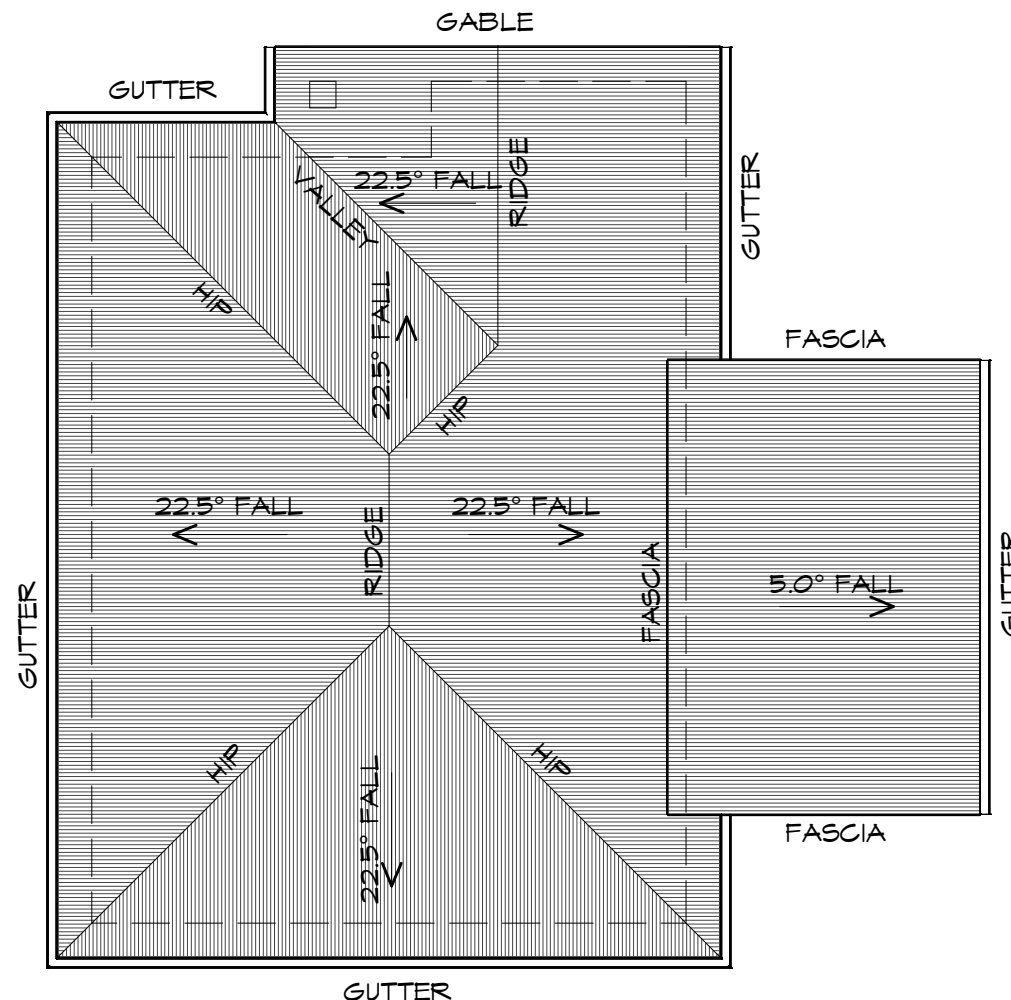


Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U22-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 22



**CENTACARE**  
**evolve**  
HOUSING



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p(l)+ 03 6332 3790  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
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FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U22-04  
Revision: 01



Accredited building practitioner: Frank Geskus -No CC246A



## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGEHOOD TO OUTSIDE AIR.
- 240V SMOKE ALARM
- S/D SLIDING DOOR
- oFW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

### DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	

### WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	610	AWNING WINDOW	
W4	1800	610	AWNING WINDOW	
W5	1200	1510	AWNING WINDOW	
W6	1200	1810	AWNING WINDOW	
W7	600	1810	AWNING WINDOW	
W8	2100	2110	SLIDING DOOR	
W9	1200	1810	AWNING WINDOW	
W10	900	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE WITH FLY SCREENS TO SUIT ??? BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

## FLOOR PLAN

1 : 100

FLOOR AREA	90.54	m2	( 9.74	SQUARES )
CARPORT AREA	23.34	m2	( 2.51	SQUARES )
PORCH AREA	1.68	m2	( 0.18	SQUARES )
ALFRESCO AREA	8.00	m2	( 0.86	SQUARES )
TOTAL AREA	123.56		13.29	

### NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## UNIT 23



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CRICLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

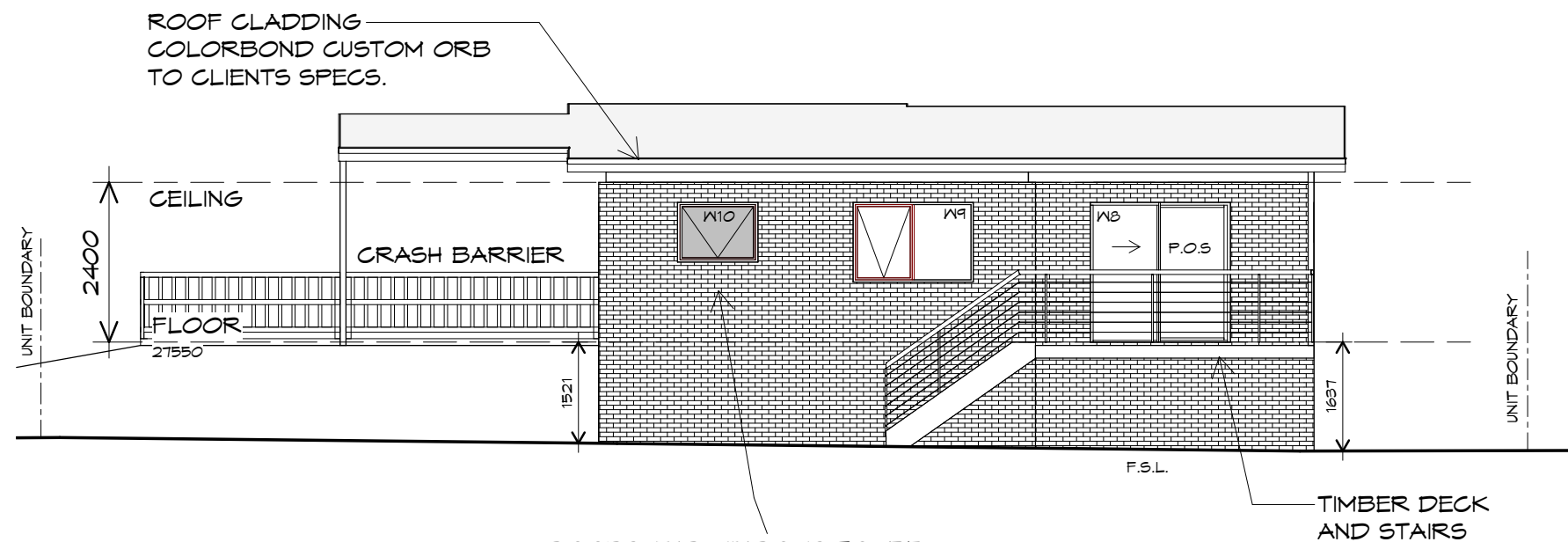
Project/Drawing no:  
PD20174 -U23-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

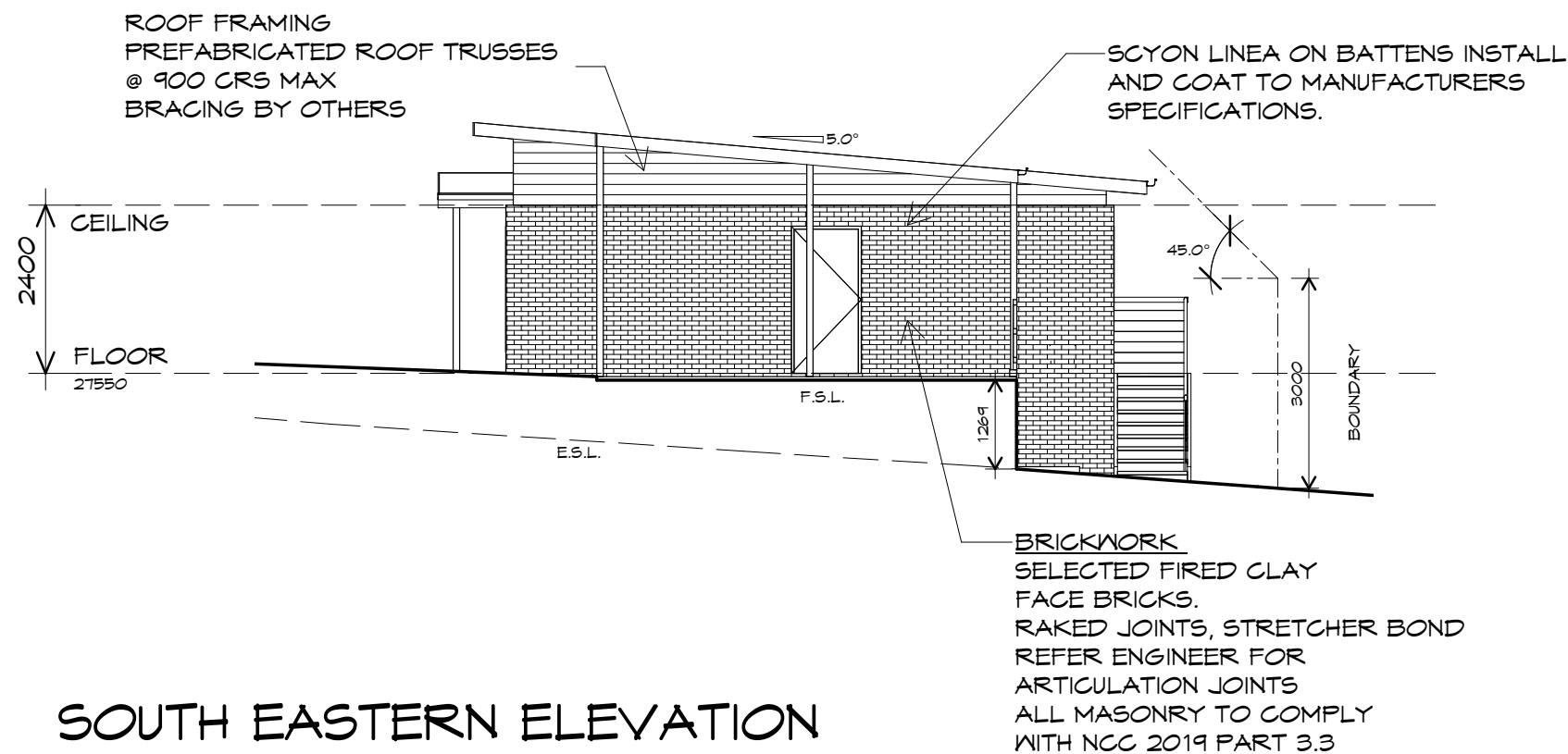
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## NORTH EASTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 23



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CRICLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by: A.G.M. Approved by: F.G.G.

Drawing:  
ELEVATIONS

Date: 19/11/2021 Scale: 1 : 100

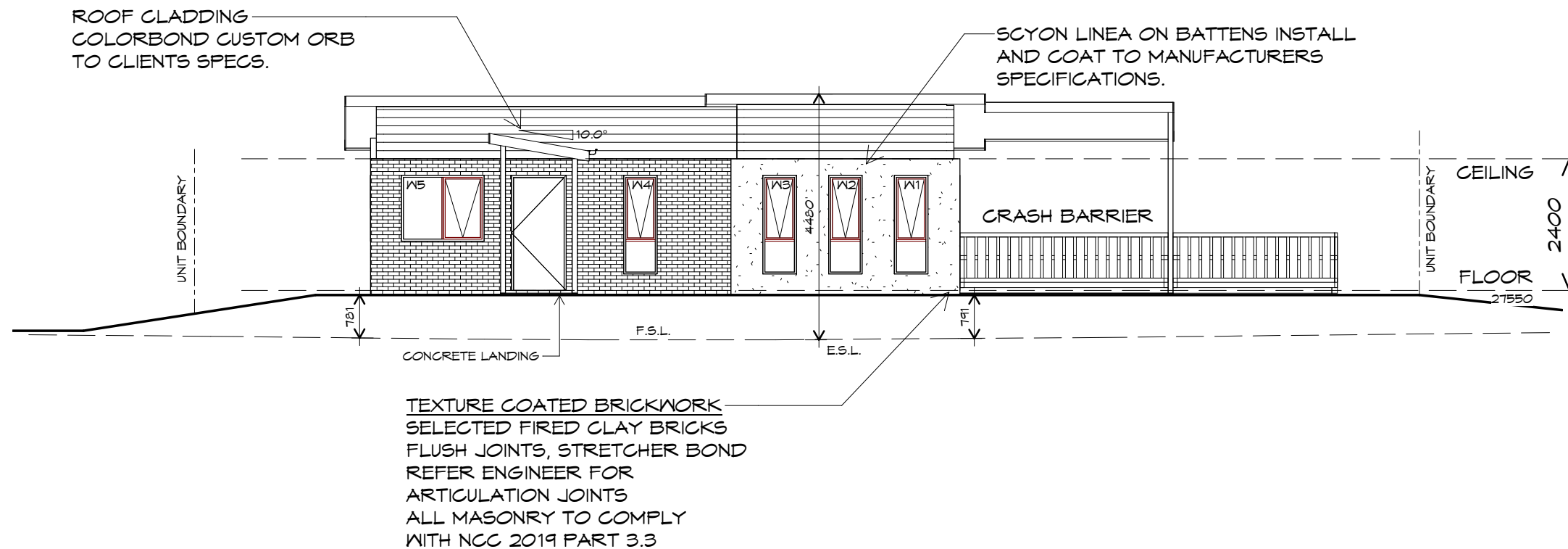
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Accredited building practitioner: Frank Geskus -No CC246A

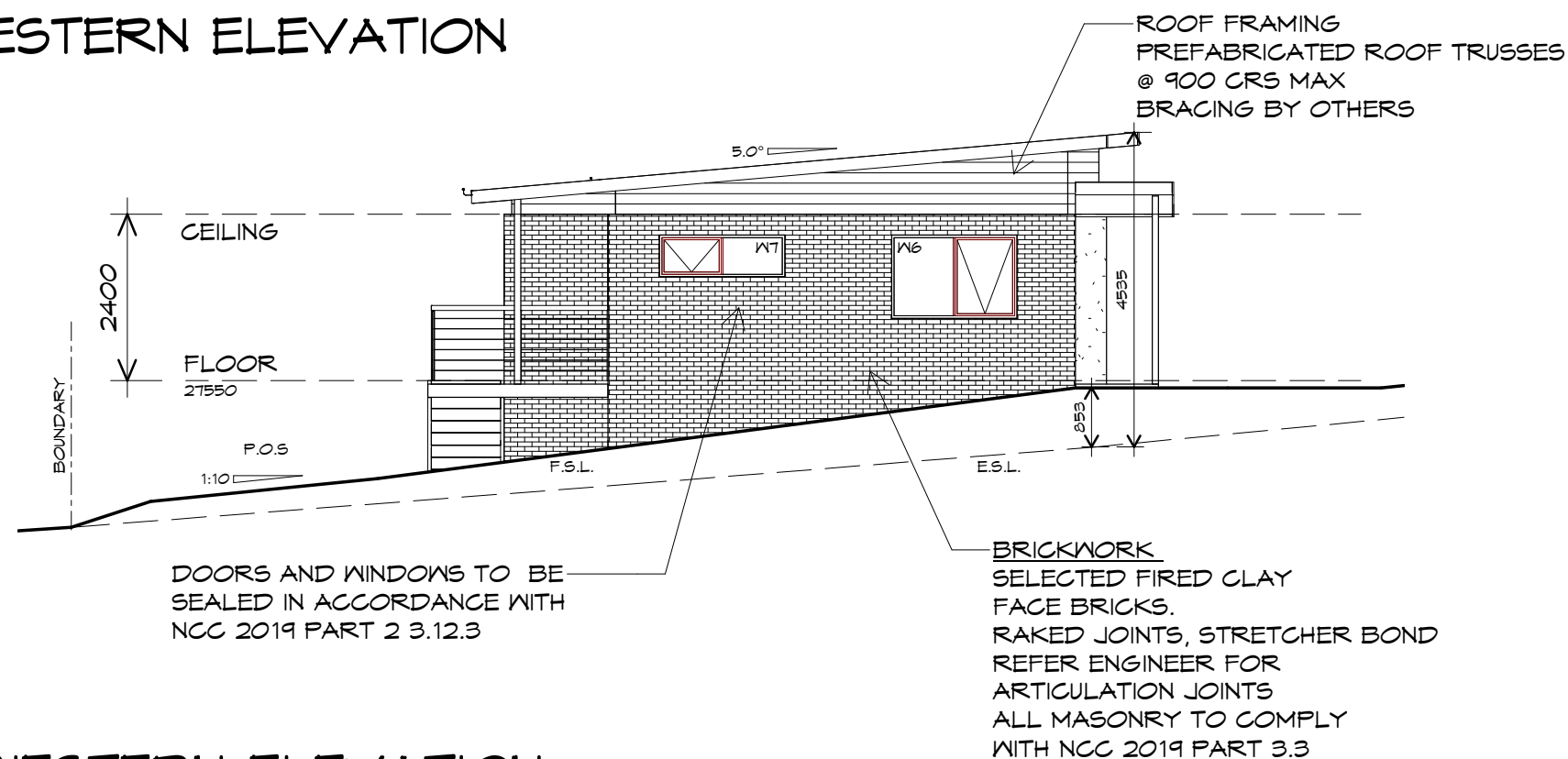
PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS





## SOUTH WESTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 23



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CRICLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

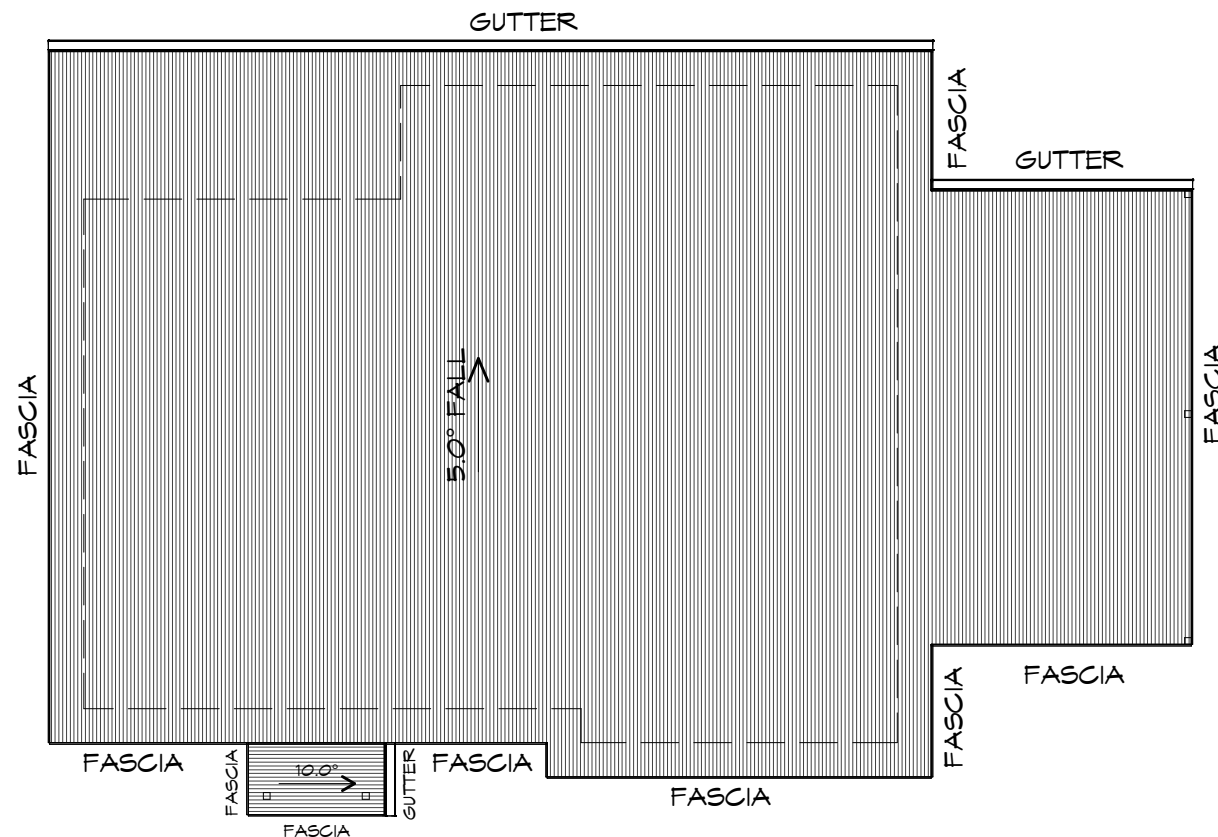
Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U23-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 23



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CRICLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no:  
PD20174 -U23-04

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

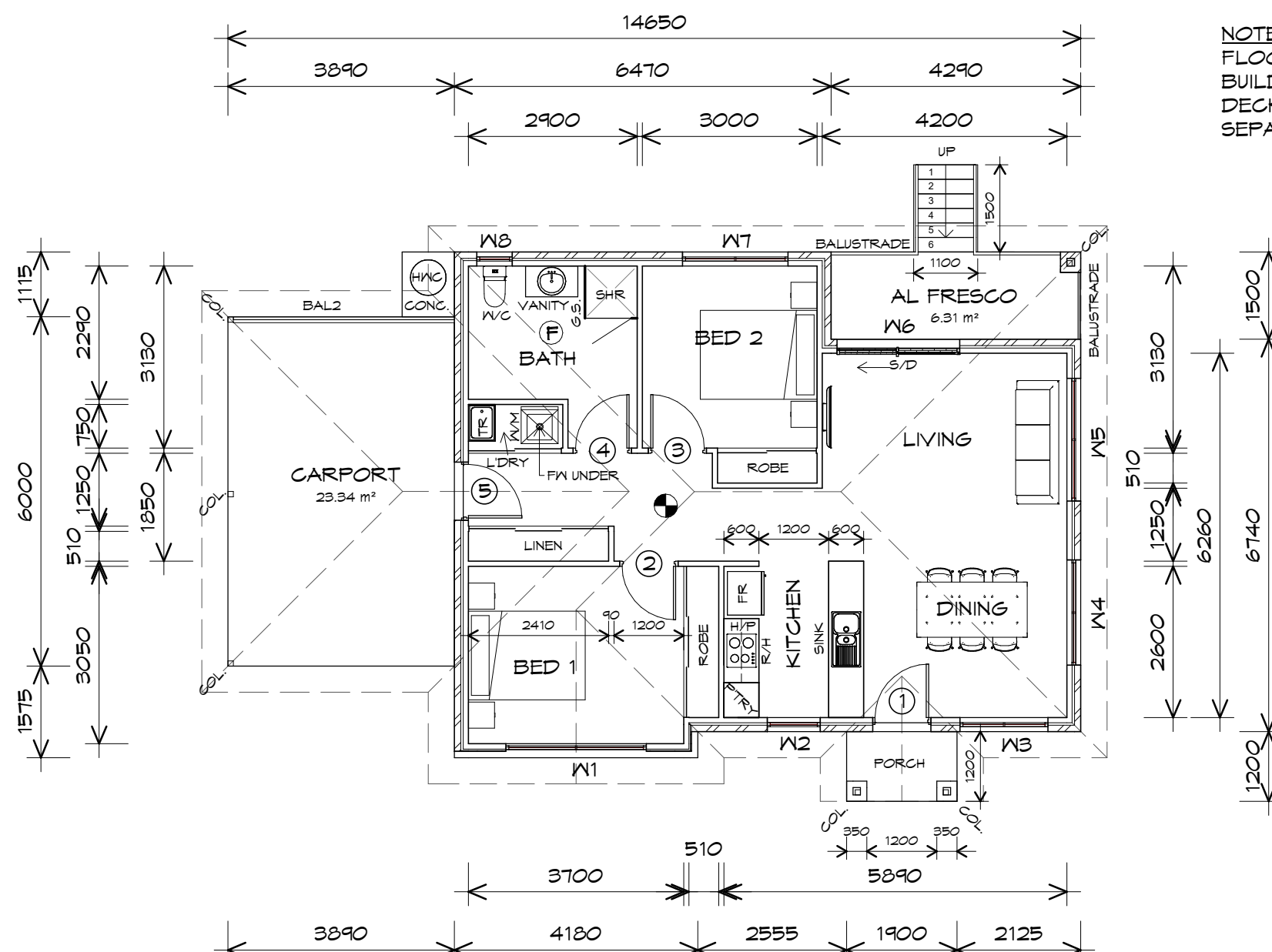
DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS





FLOOR AREA	84.11	m2	( 9.04 SQUARES )
CARPORT AREA	23.34	m2	( 2.51 SQUARES )
AL FRESCO AREA	6.44	m2	( 0.69 SQUARES )
PORCH AREA	2.28	m2	( 0.25 SQUARES )
	116.16		12.49

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

- ### LEGEND
- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
  - R/H RANGE HOOD VENT TO OUTSIDE AIR.
  - 240V SMOKE ALARM
  - S/D SLIDING DOOR
  - o FW FLOOR WASTE
  - COL COLUMN
  - G.S. GLASS SCREEN
  - HWC HOT WATER CYLINDER

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	2410	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1500	1510	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	600	2110	AWNING WINDOW	
W6	2100	2110	SLIDING DOOR	
W7	1800	1810	AWNING WINDOW	
W8	600	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE WITH FLY SCREENS TO SUIT ??? **BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

**FLOOR PLAN**  
1 : 100

**UNIT 24**



**Prime Design**  
10 Goodman Court, Invermay Tasmania 7248,  
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160 New Town Road, New Town, Hobart 7008  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE**

Client name:  
**CENTACARE EVLOVE HOUSING**

Drafted by:  
**A.G.M.**

Approved by:  
**F.G.G**

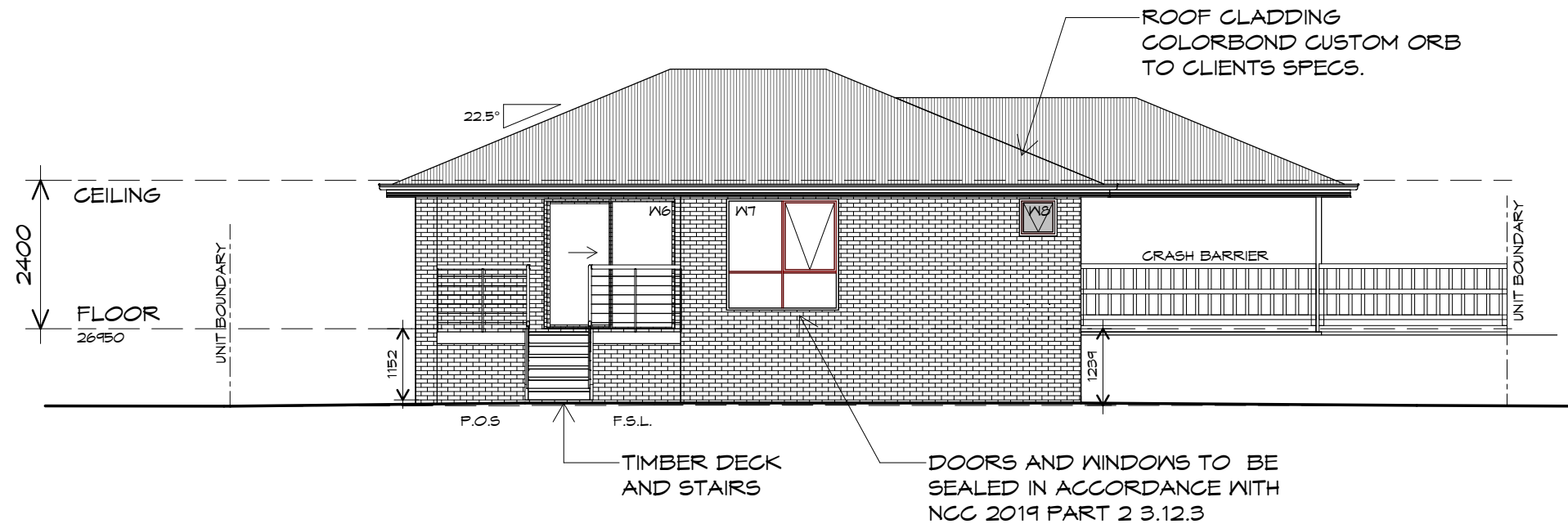
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**FLOOR PLAN**

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U24-01 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

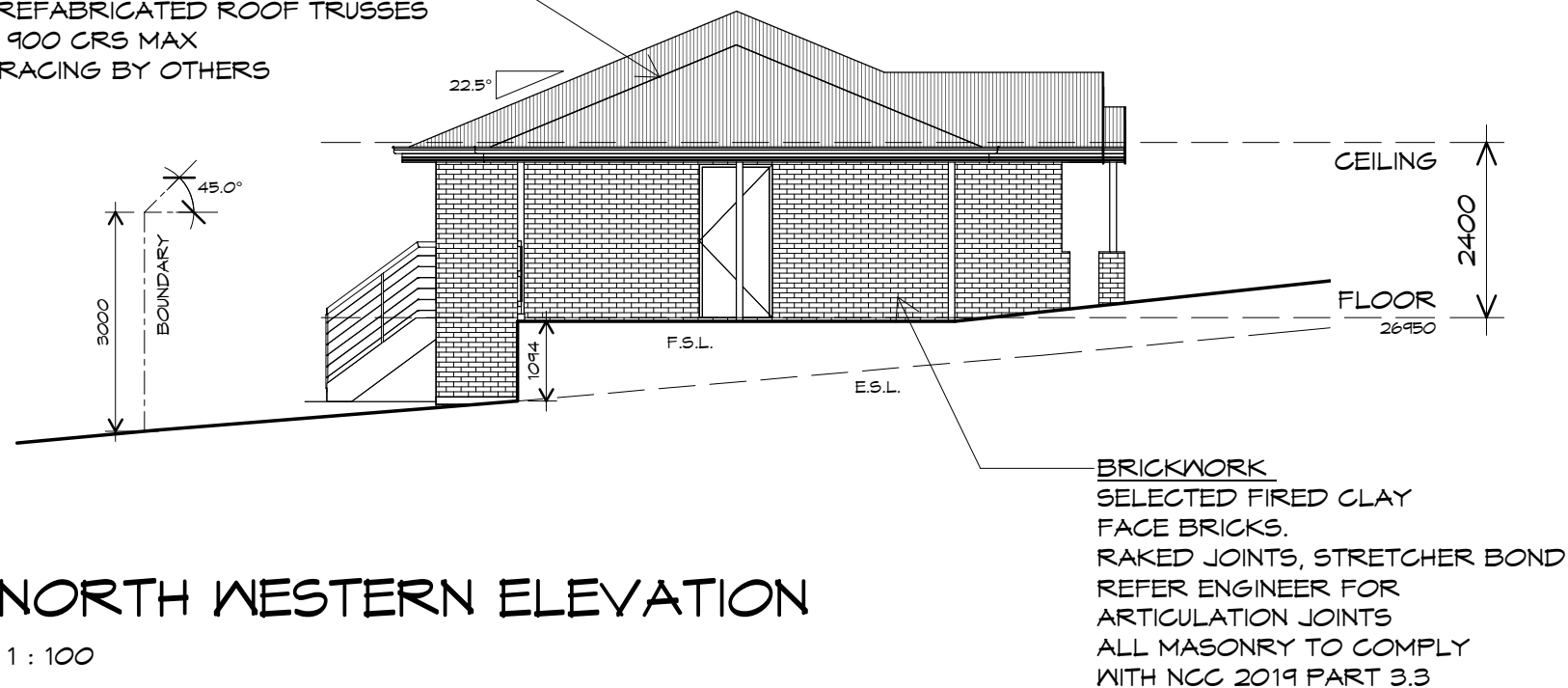
**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS



## NORTH EASTERN ELEVATION

1 : 100

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS



## NORTH WESTERN ELEVATION

1 : 100

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH NCC 2019 PART 3.3

UNIT 24



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ELEVATIONS

Date:  
19/11/2021

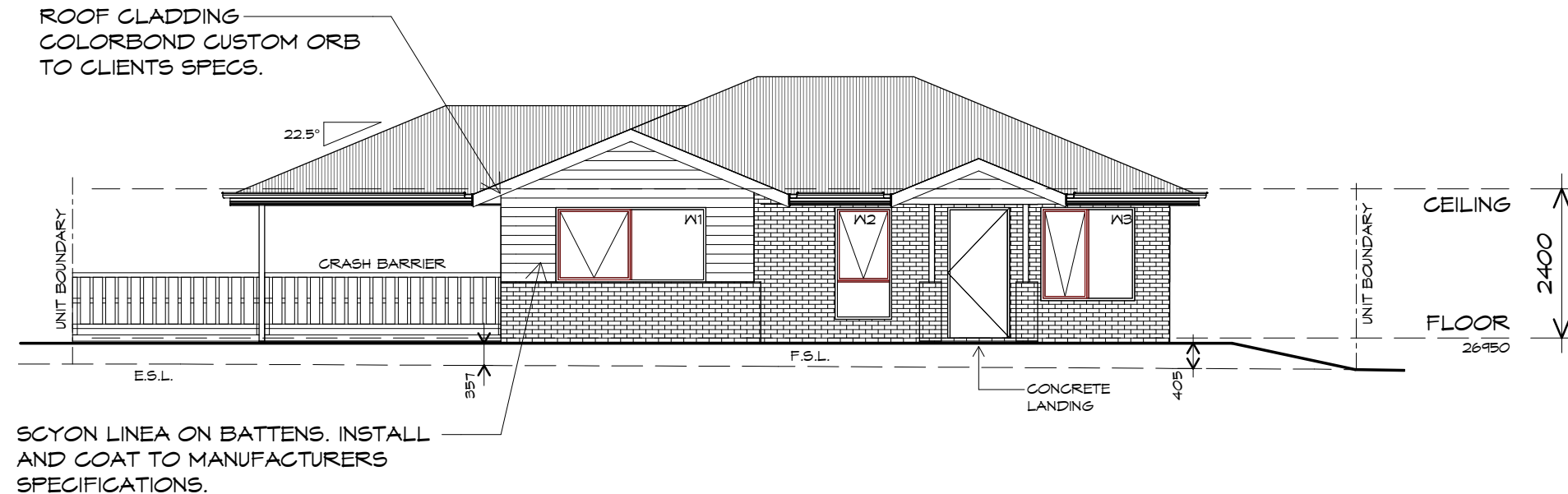
Scale:  
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Project/Drawing no:  
PD20174 -U24-02

Revision:  
01

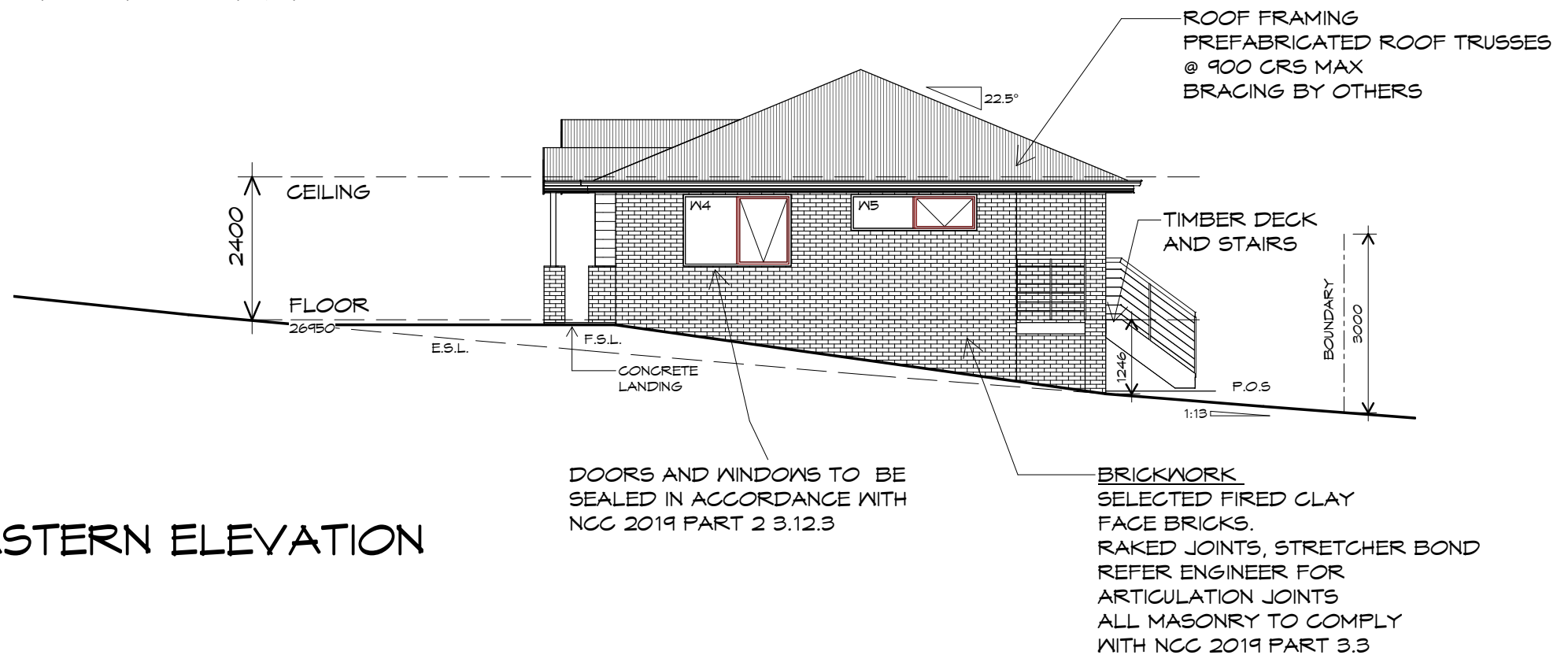
Accredited building practitioner: Frank Geskus -No CC246A





SOUTH WESTERN ELEVATION

1 : 100



SOUTH EASTERN ELEVATION

1 : 100

UNIT 24



**CENTACARE**  
**evolve**  
**HOUSING**



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U24-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

## UNIT 24

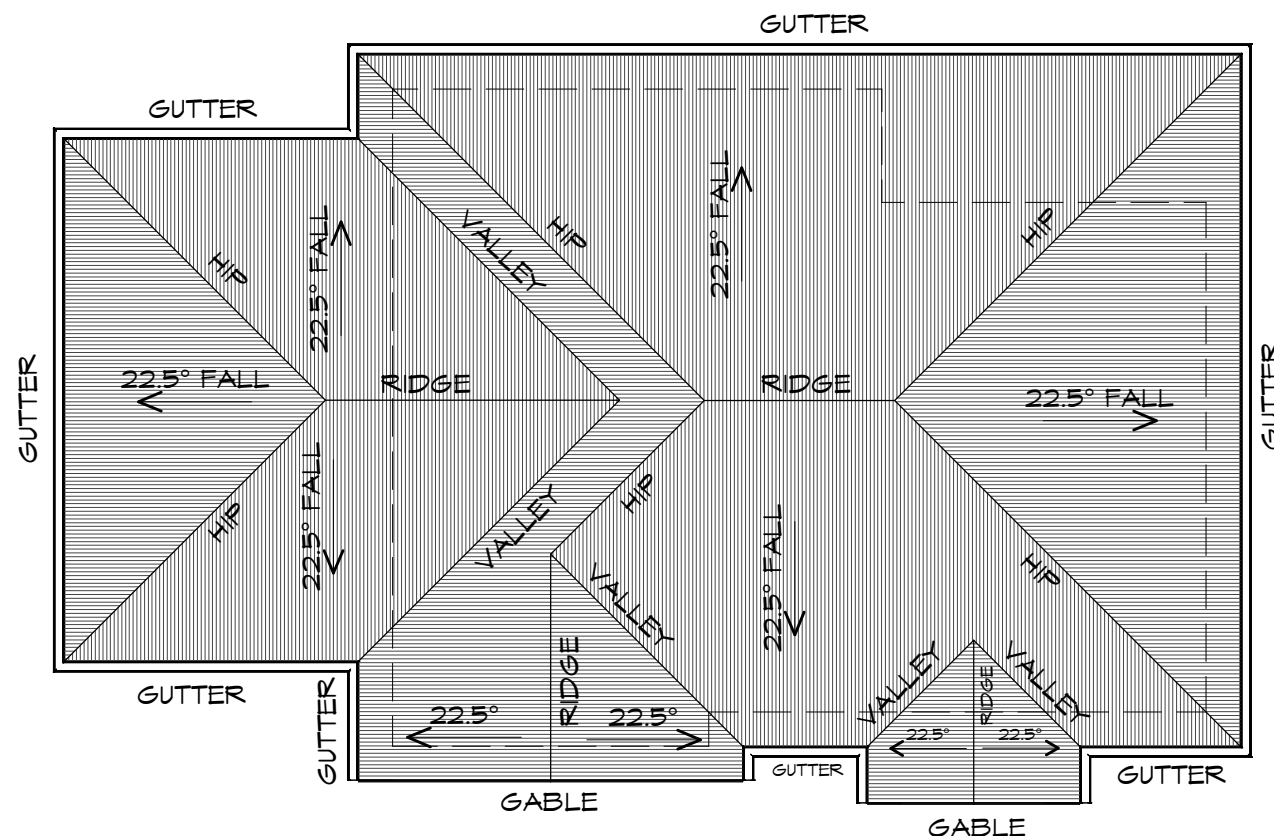


**CENTACARE**  
evolve  
HOUSING

### ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U24-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

#### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

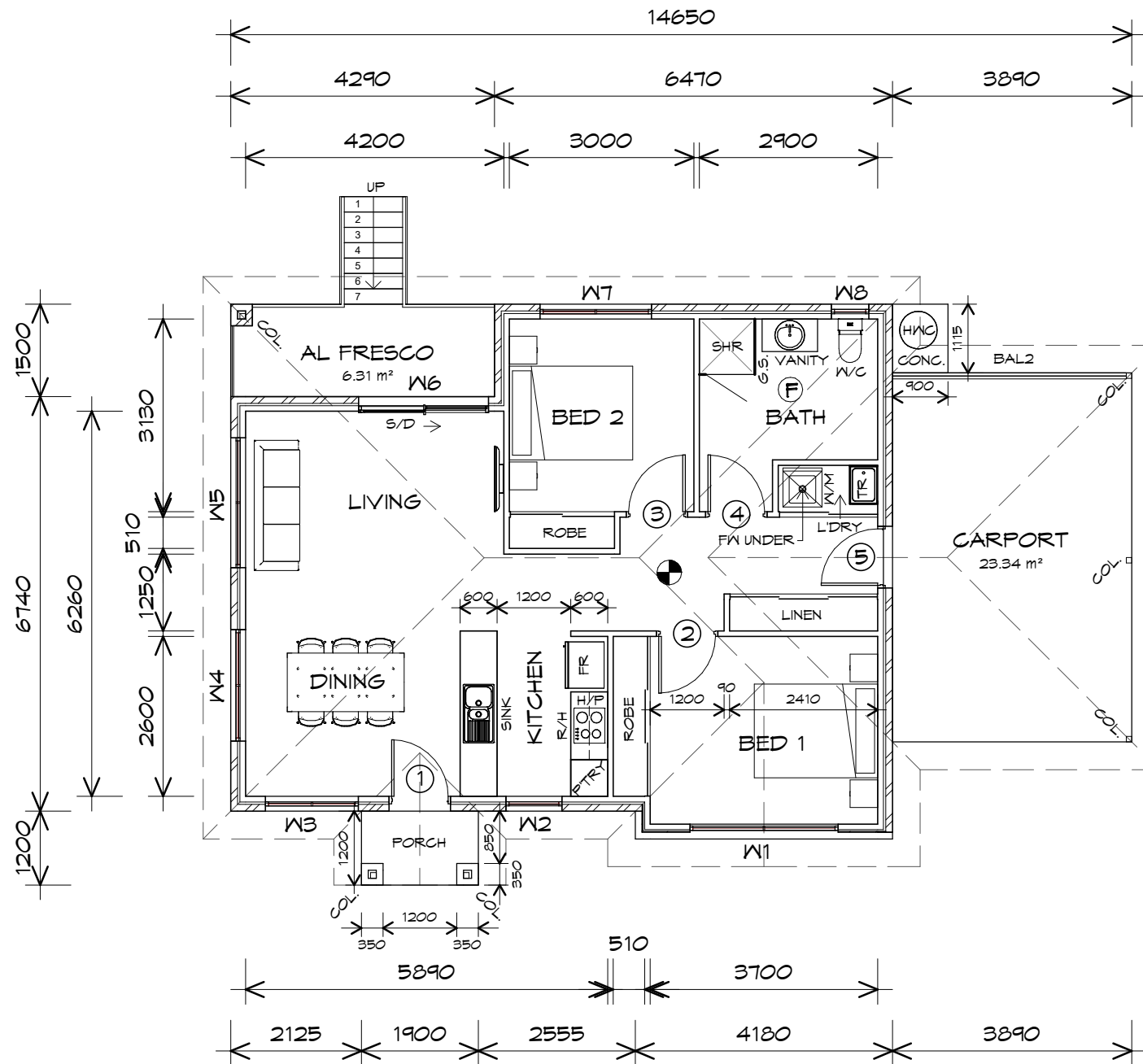
DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

METAL ROOF  
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





FLOOR AREA	84.11	m2	( 9.04 SQUARES )
CARPORT AREA	23.34	m2	( 2.51 SQUARES )
AL FRESCO AREA	6.44	m2	( 0.69 SQUARES )
PORCH AREA	2.28	m2	( 0.25 SQUARES )
	116.16		12.49

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	2410	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1500	1510	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	600	2110	AWNING WINDOW	
W6	2100	2110	SLIDING DOOR	
W7	1800	1810	AWNING WINDOW	
W8	600	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT ??? **BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

## FLOOR PLAN

1 : 100

## UNIT 25



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

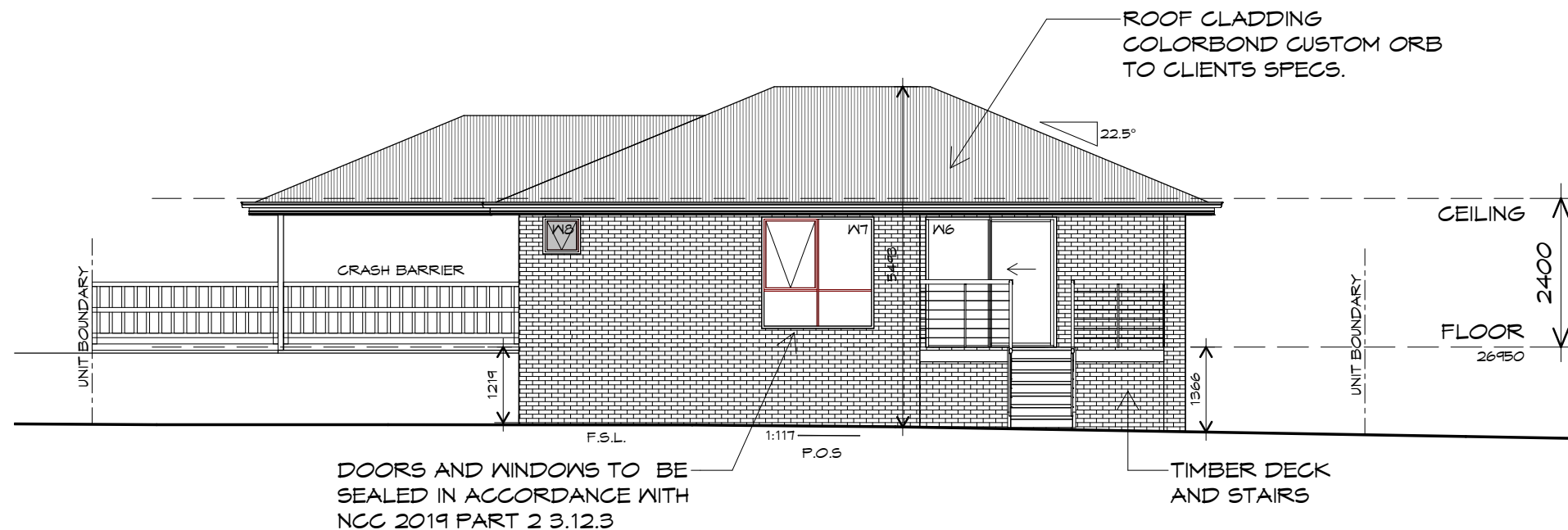
Project/Drawing no:  
PD20174 -U25-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

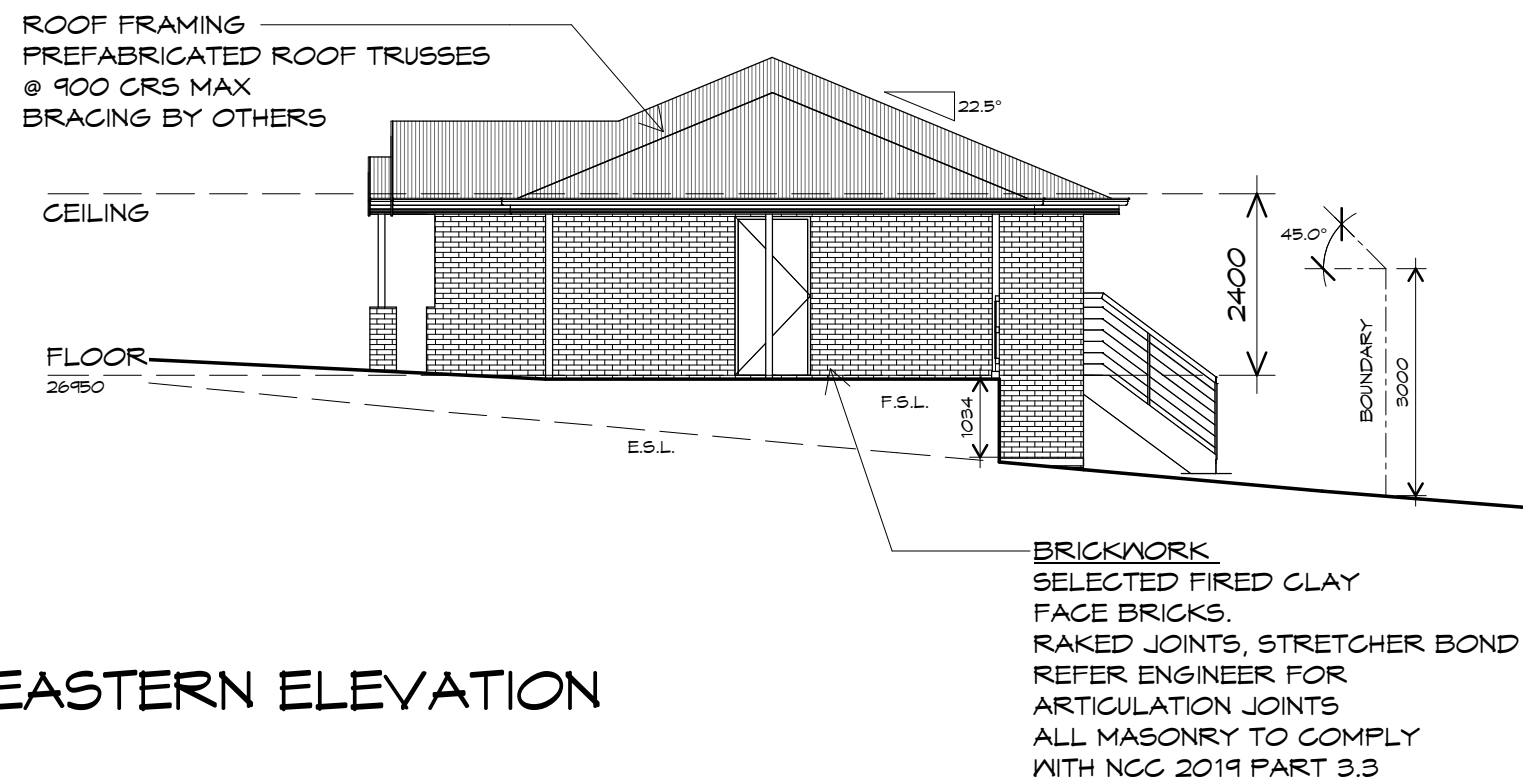
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## NORTH EASTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 25



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Drawing:  
ELEVATIONS

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U25-02

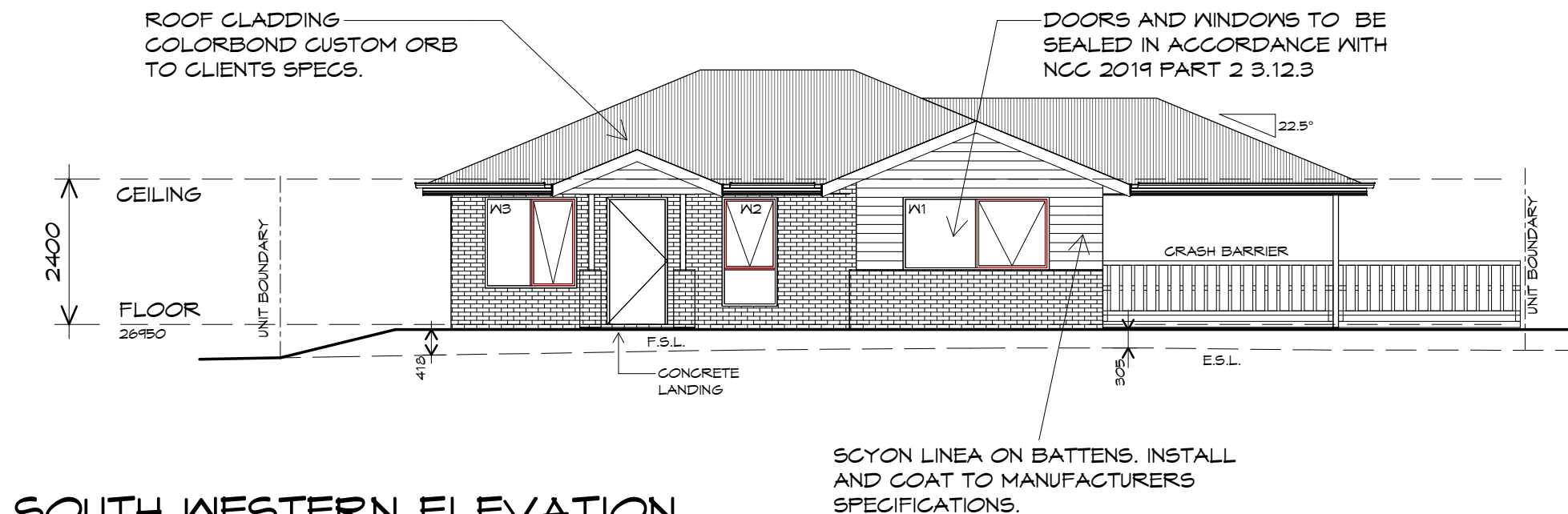
Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

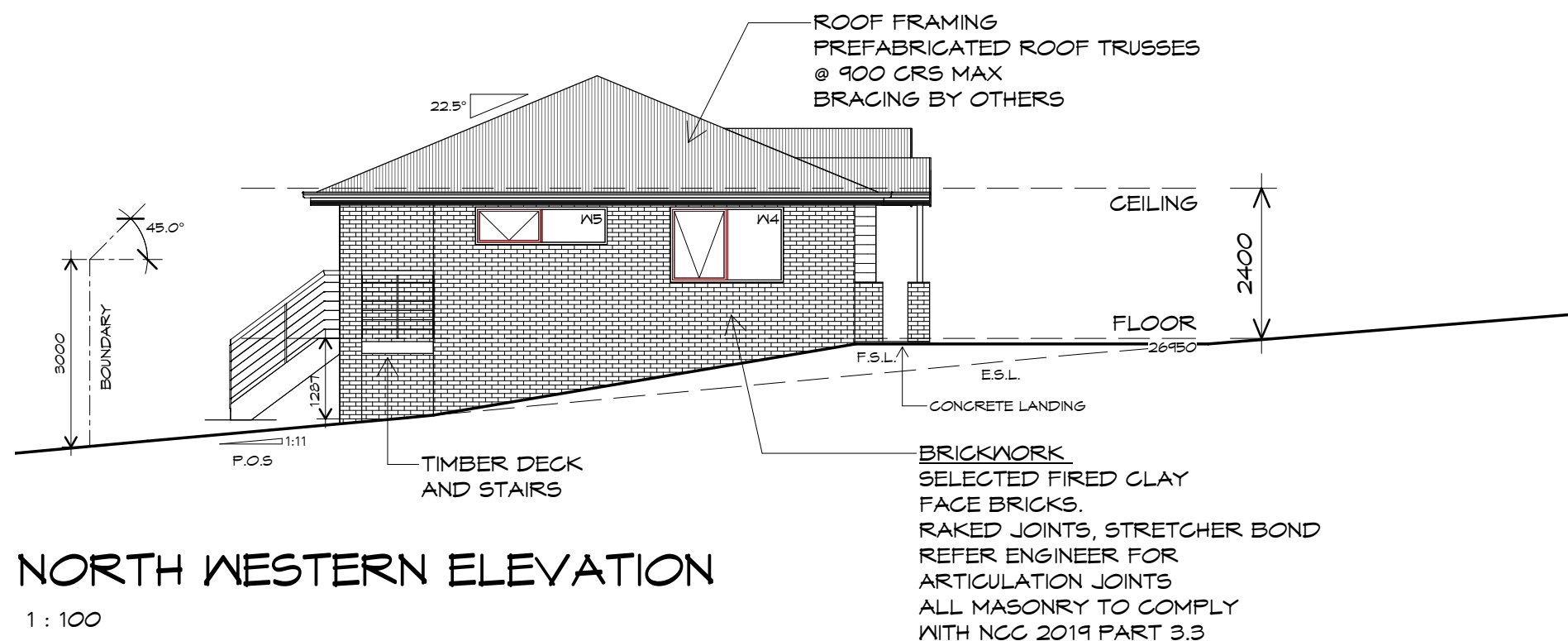
NOTE: DO NOT SCALE OFF DRAWINGS





SOUTH WESTERN ELEVATION

1 : 100



NORTH WESTERN ELEVATION

1 : 100

UNIT 25



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVLOVE HOUSING

Drafted by: A.G.M. Approved by: F.G.G.

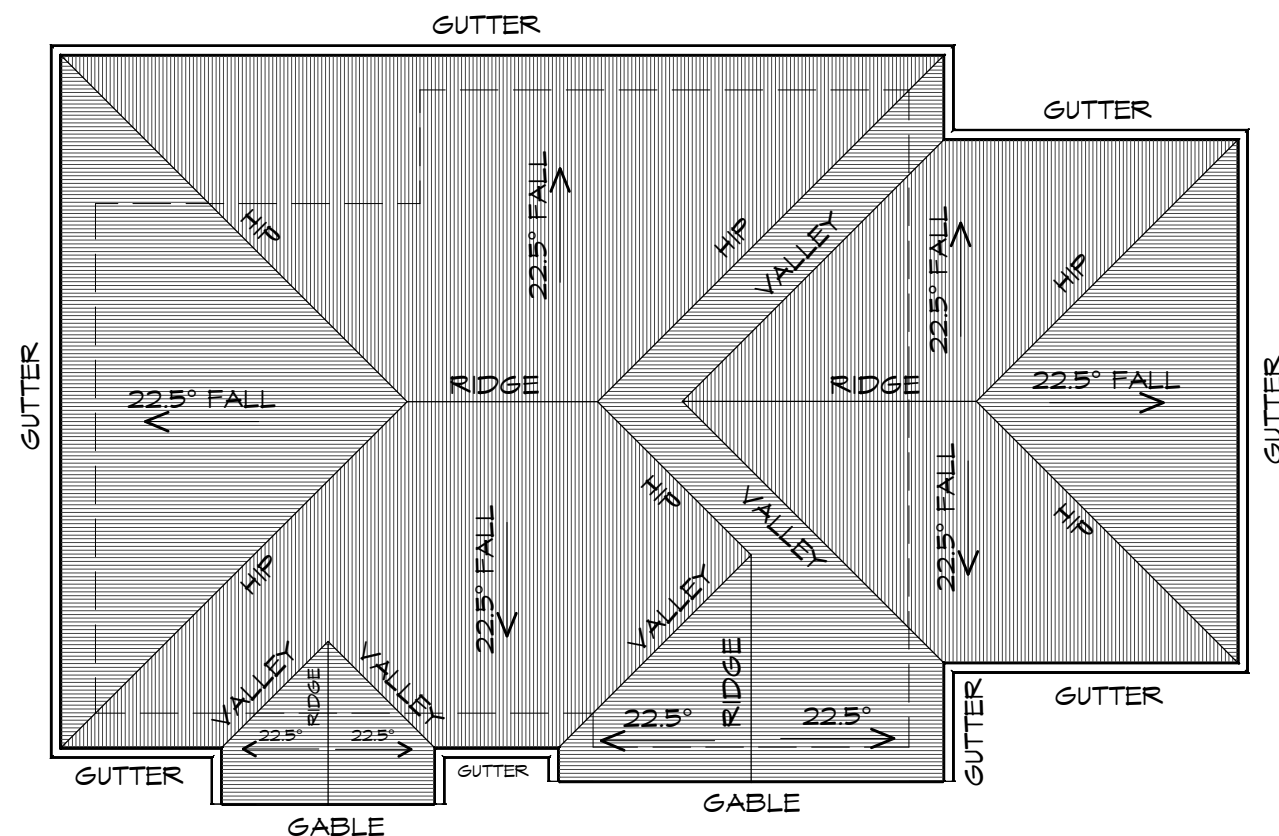
Drawing:  
ELEVATIONS

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U25-03 Revision: 01



Accredited building practitioner: Frank Geskus -No CC246A



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 25



**CENTACARE**  
**evolve**  
HOUSING



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### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.

REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Drawing:  
ROOF PLAN

Client name:  
CENTACARE EVLOVE HOUSING

Date: 19/11/2021  
Scale: 1 : 100

Drafted by:  
A.G.M.

Approved by:  
F.G.G



Project/Drawing no:  
PD20174 -U25-04

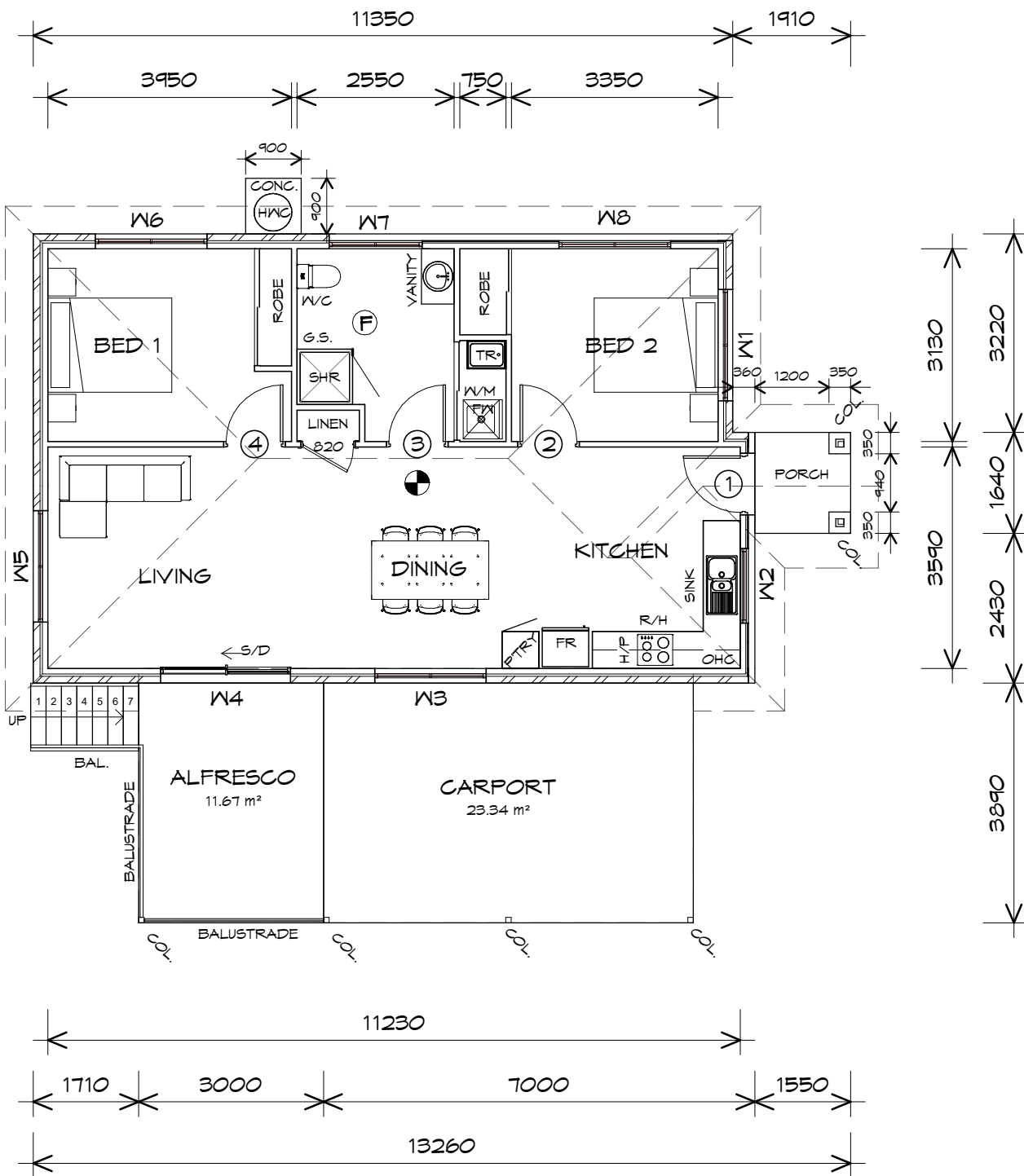
Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





FLOOR AREA	84.21	m <sup>2</sup>	( 9.05 SQUARES )
AL FRESCO AREA	11.67	m <sup>2</sup>	( 1.25 SQUARES )
CARPORT AREA	23.34	m <sup>2</sup>	( 2.51 SQUARES )
PORCH AREA	2.54	m <sup>2</sup>	( 0.27 SQUARES )
TOTAL AREA	121.76		13.09

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- S/D SLIDING DOOR
- FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- R/H RANGE HOOD

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	600	1810	AWNING WINDOW	
W2	900	1210	AWNING WINDOW	
W3	600	1810	AWNING WINDOW	
W4	2100	2110	SLIDING DOOR	
W5	600	1810	AWNING WINDOW	
W6	1800	1810	AWNING WINDOW	
W7	600	1510	AWNING WINDOW	OPAQUE
W8	1200	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT ??? **BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

UNIT 26

## FLOOR PLAN

1 : 100



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
B.P.

Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U26-01

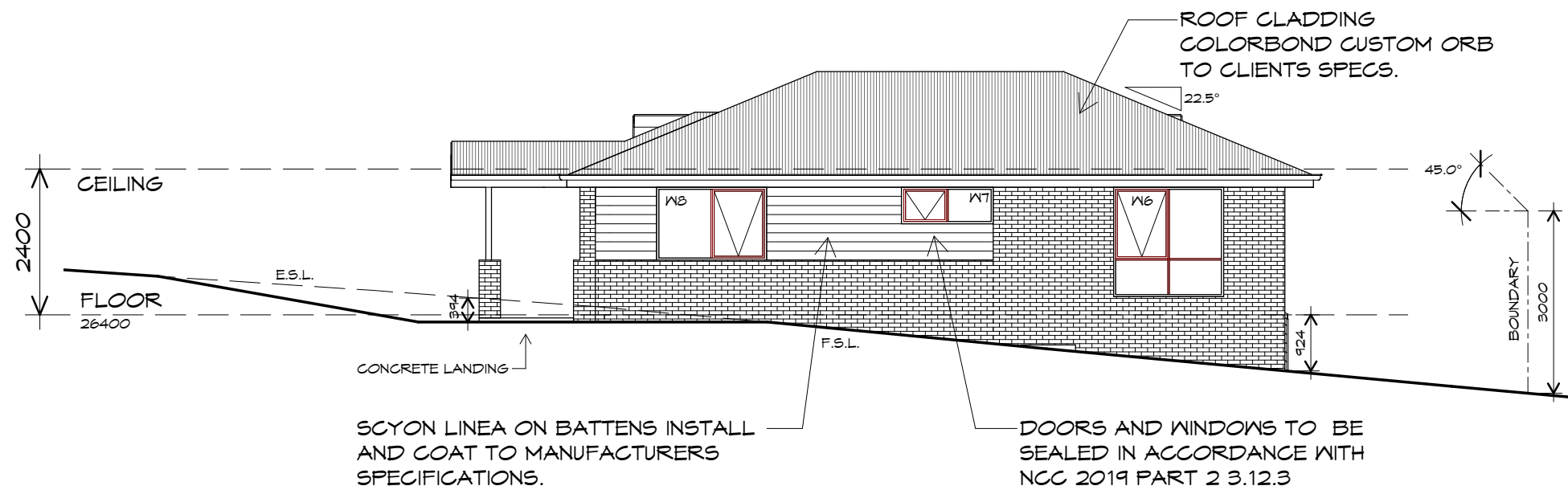
Revision:  
01



Accredited building practitioner: Frank Geskus -No CC246A

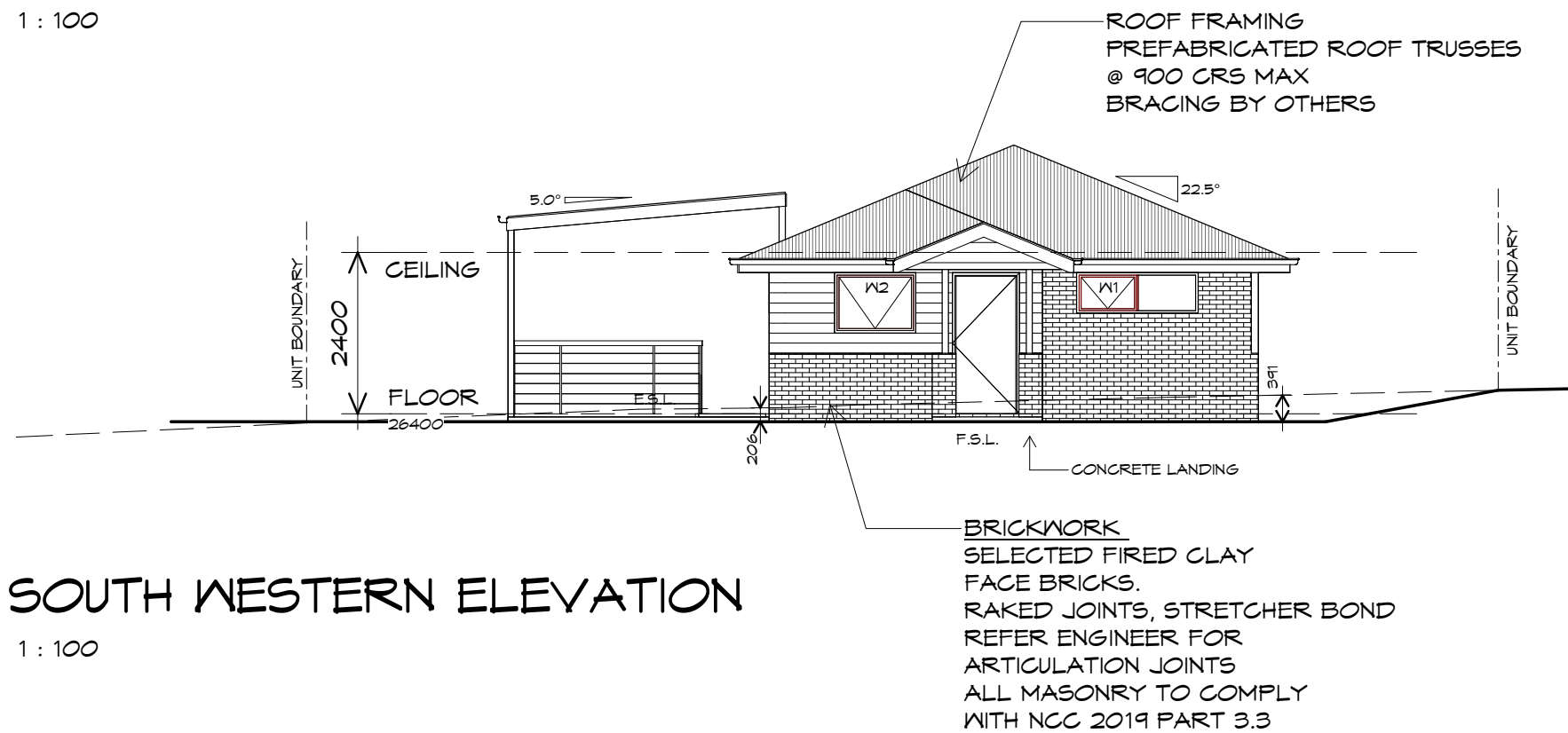
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## SOUTH EASTERN ELEVATION

1 : 100



## SOUTH WESTERN ELEVATION

1 : 100

UNIT 26



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by: A.G.M. Approved by: B.P.

Drawing:  
ELEVATIONS

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U26-02 Revision: 01

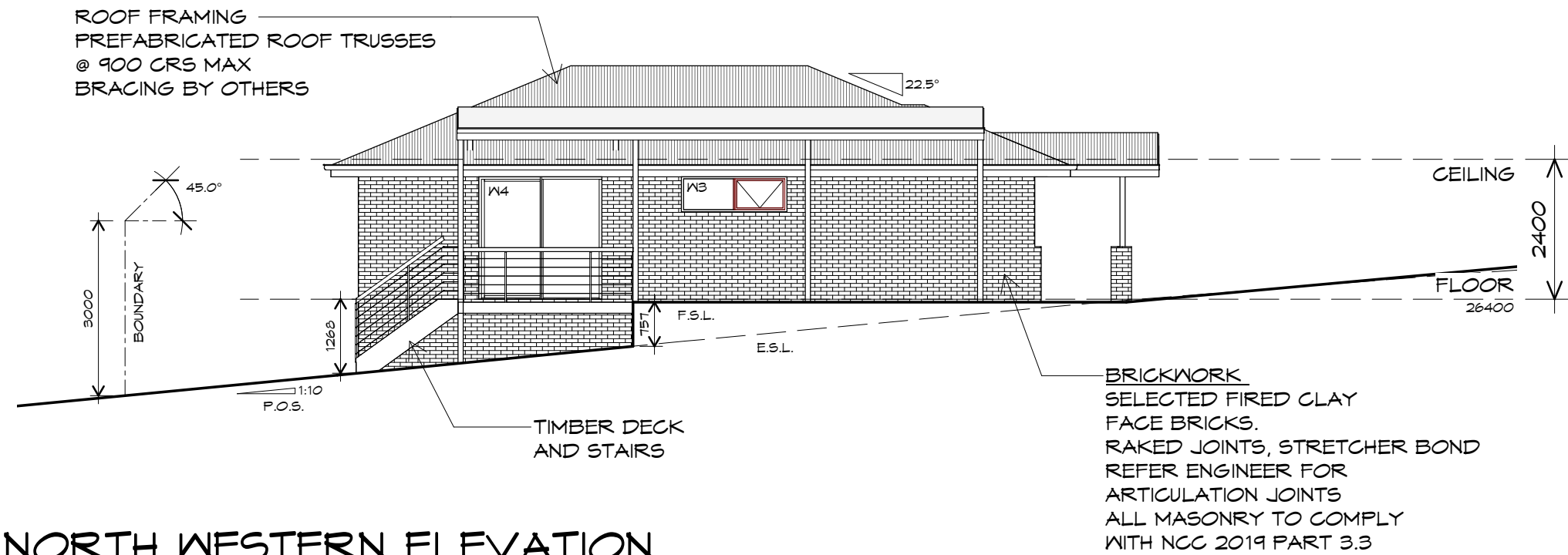


Accredited building practitioner: Frank Geskus -No CC246A

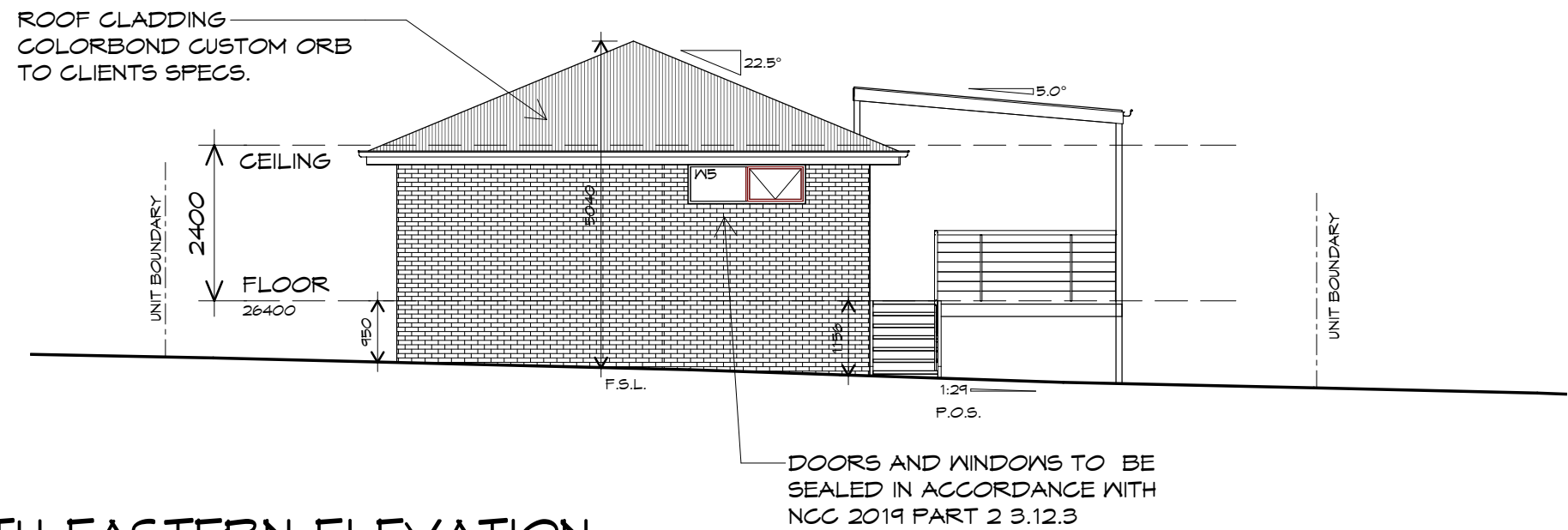
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





NORTH WESTERN ELEVATION  
1 : 100



NORTH EASTERN ELEVATION  
1 : 100

UNIT 26



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by: A.G.M. Approved by: B.P.

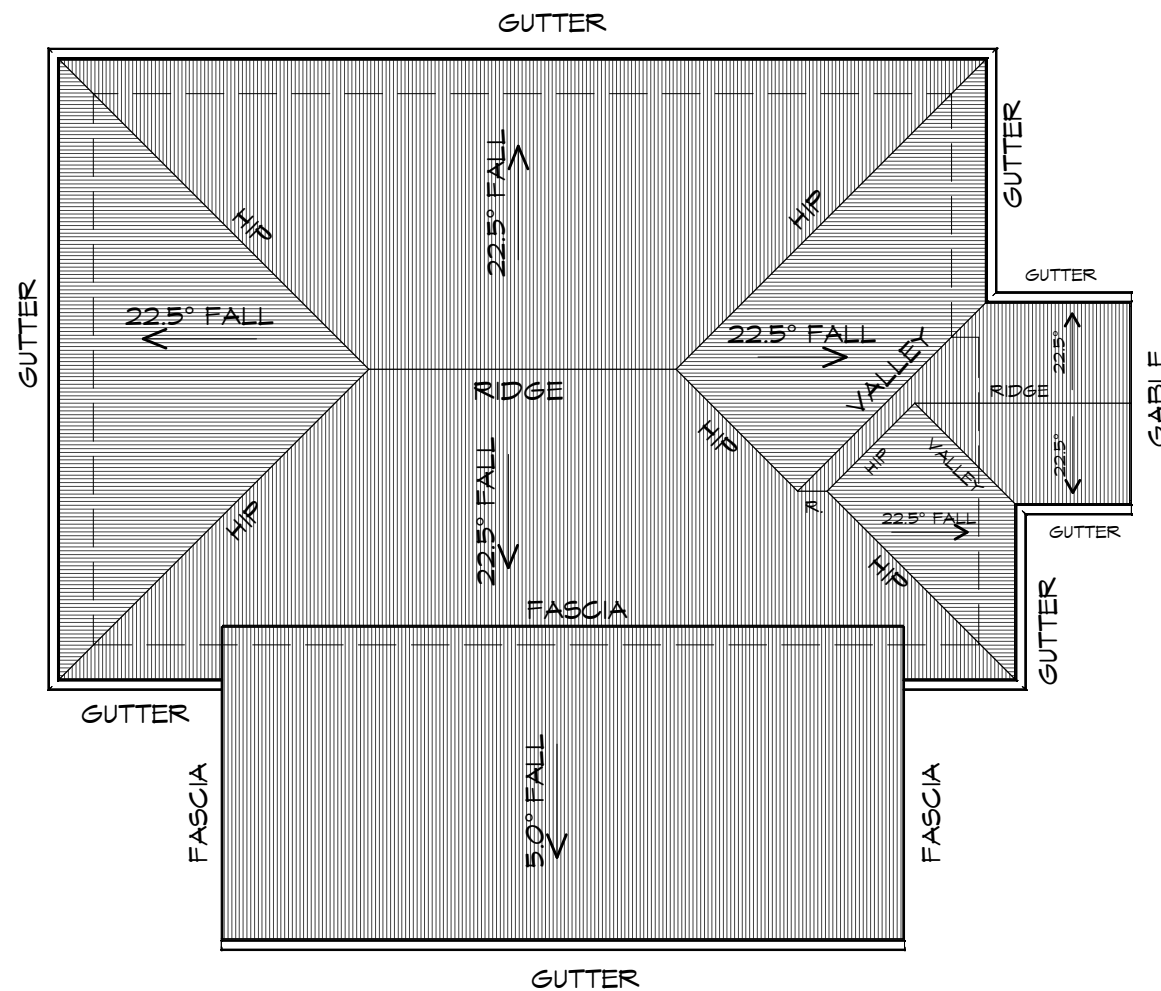


Drawing:  
ELEVATIONS

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U26-03 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 26



**CENTACARE**  
**evolve**  
HOUSING



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### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
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FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Drawing:  
ROOF PLAN

Client name:  
CENTACARE EVOLVE HOUSING

Date: 19/11/2021  
Scale: 1 : 100

Drafted by:  
A.G.M.

Approved by:  
B.P.



Project/Drawing no: PD20174 -U26-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



# FLOOR PLAN

1 : 100

UNIT 27



**CENTACARE**  
evolve  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

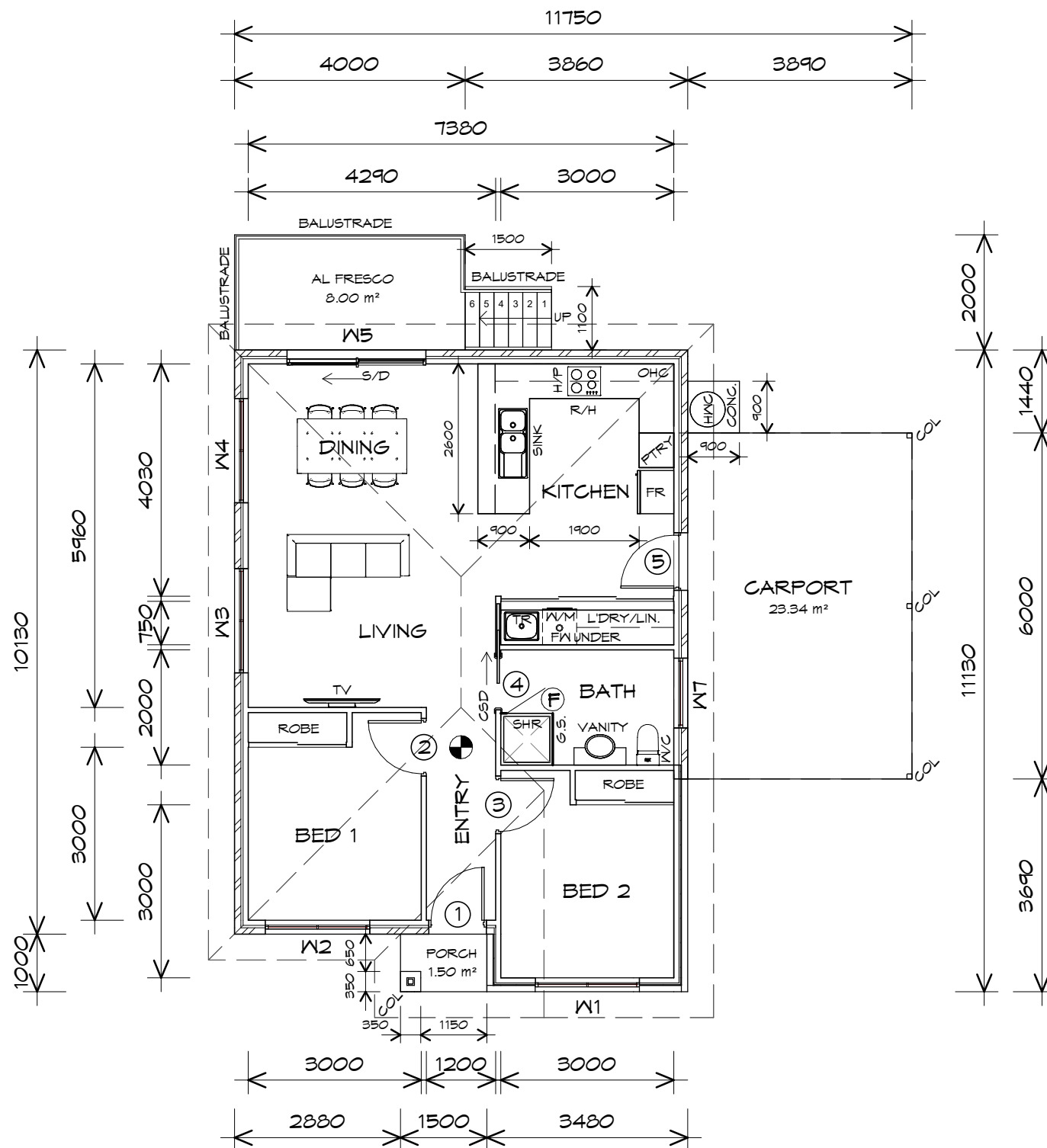
Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U27-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



CARPORT AREA	23.34	m2	( 2.51 SQUARES )
FLOOR AREA	83.10	m2	( 8.94 SQUARES )
AL FRESCO AREA	8.00	m2	( 0.86 SQUARES )
PORCH AREA	1.50	m2	( 0.16 SQUARES )
TOTAL AREA	115.94		12.47

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- Ⓢ F/W FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- R/H RANGE HOOD

## DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	EXTERNAL SOLID DOOR	

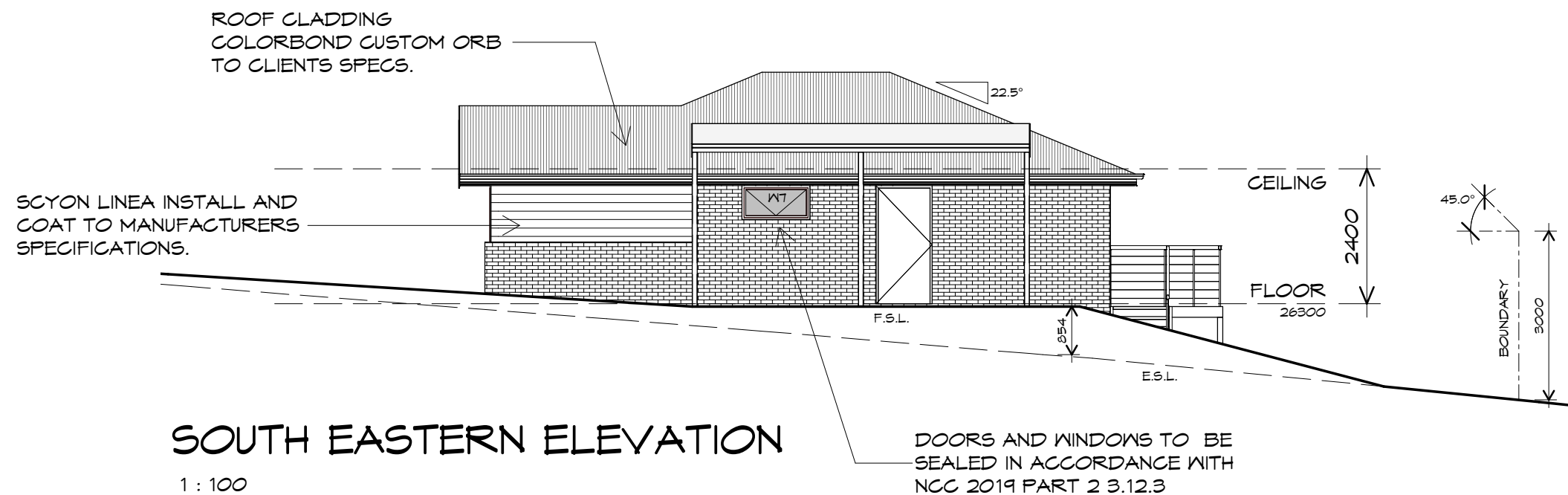
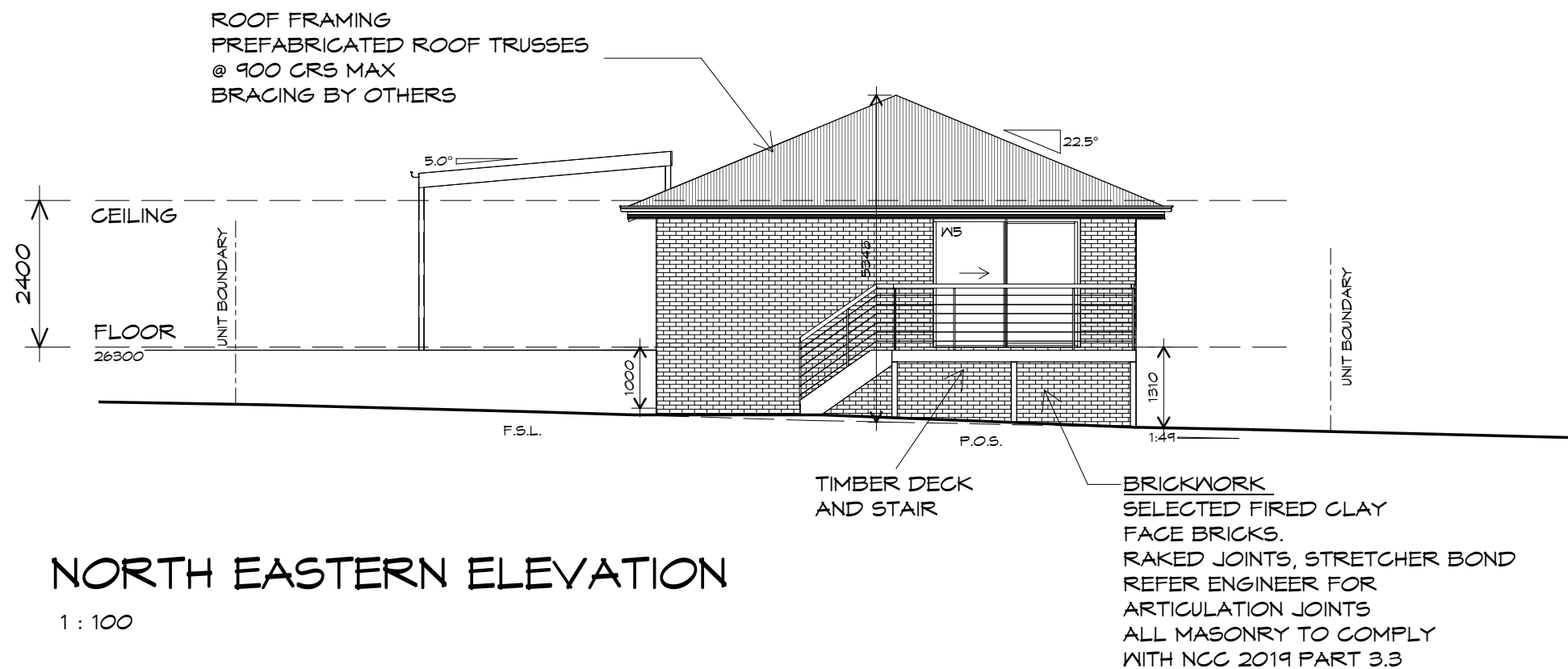
## WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1000	1810	AWNING WINDOW	
W3	1000	1810	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	2100	2410	SLIDING DOOR	
W7	600	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

UNIT 27



**CENTACARE**  
 evolve  
 HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
 p(l)+ 03 6332 3790  
 160 New Town Road, New Town, Hobart 7008  
 p(h)+ 03 6228 4575  
 info@primedesigntas.com.au primedesigntas.com.au

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMAN COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 ELEVATIONS

Date:  
 19/11/2021

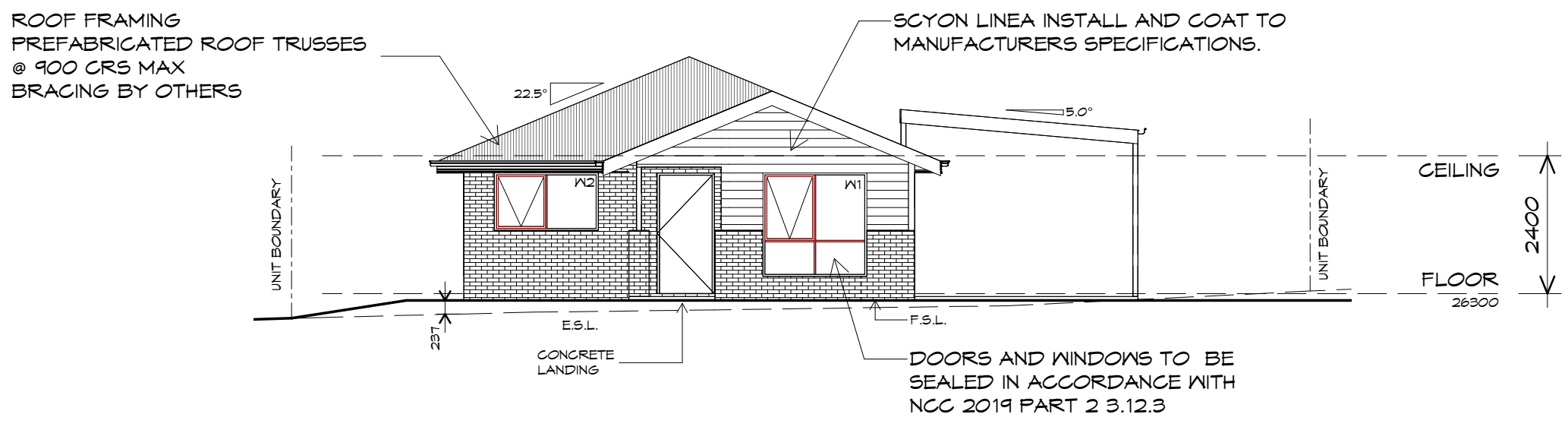
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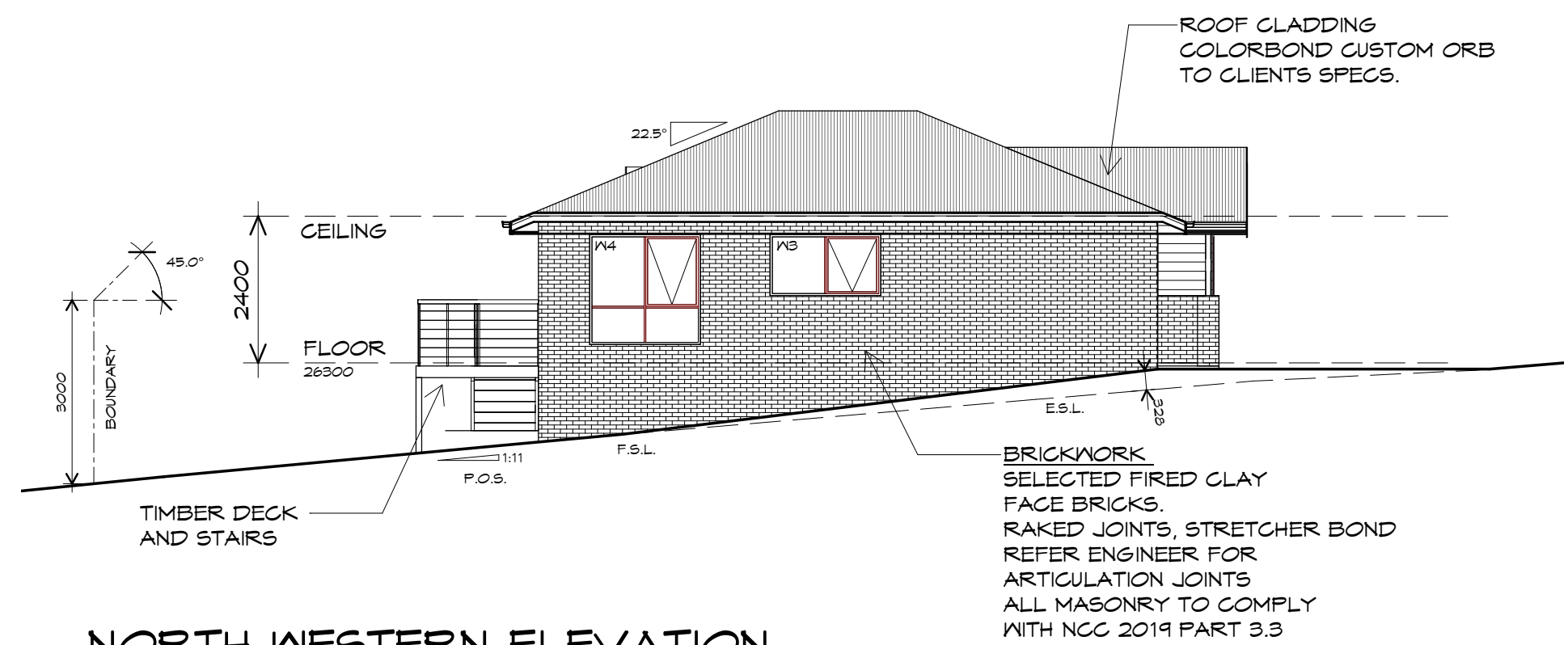
Revision:  
 01

Accredited building practitioner: Frank Geskus -No CC246A





**SOUTH WESTERN ELEVATION**  
1 : 100



**NORTH WESTERN ELEVATION**  
1 : 100

UNIT 27



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE**

Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by:  
**A.G.M.**

Approved by:  
**F.G.G.**



Drawing:  
**ELEVATIONS**

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U27-03 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

## UNIT 27



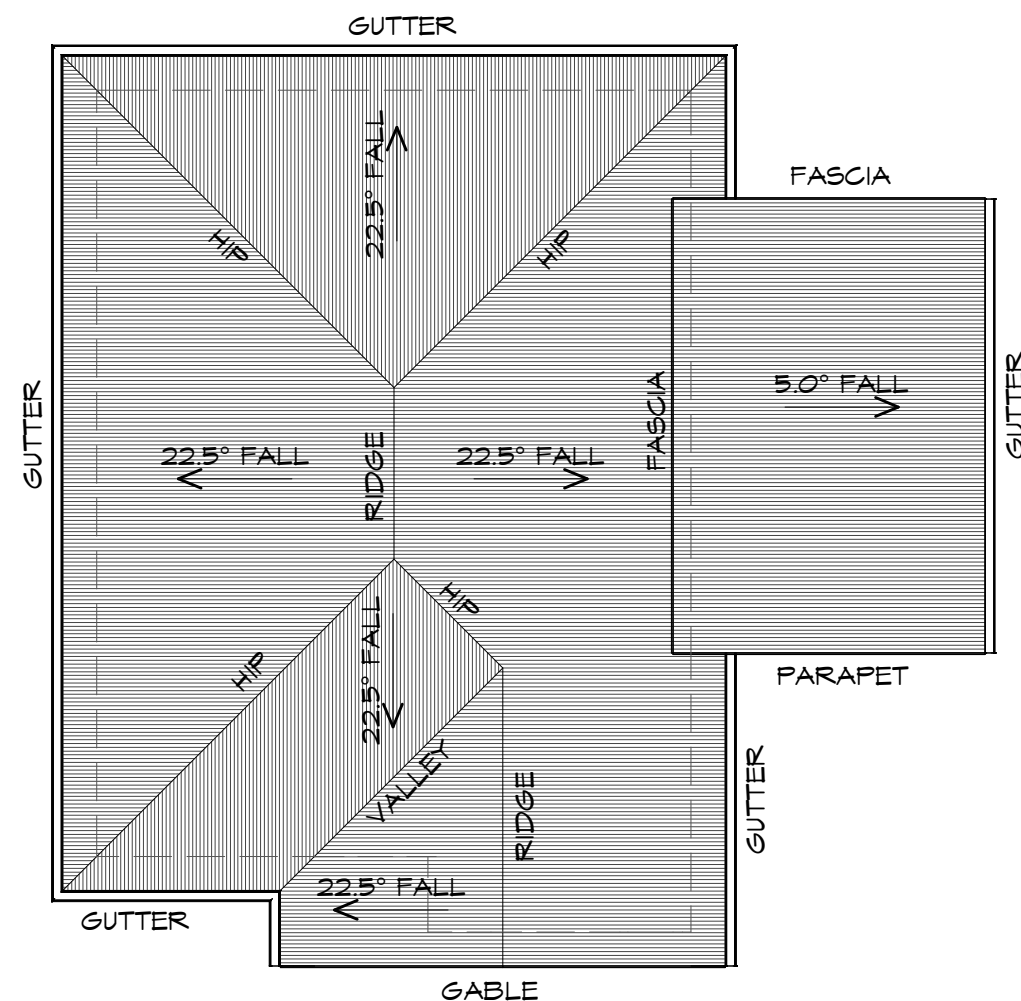
**CENTACARE**  
evolve  
HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



#### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date:  
19/11/2021

Scale:  
1 : 100

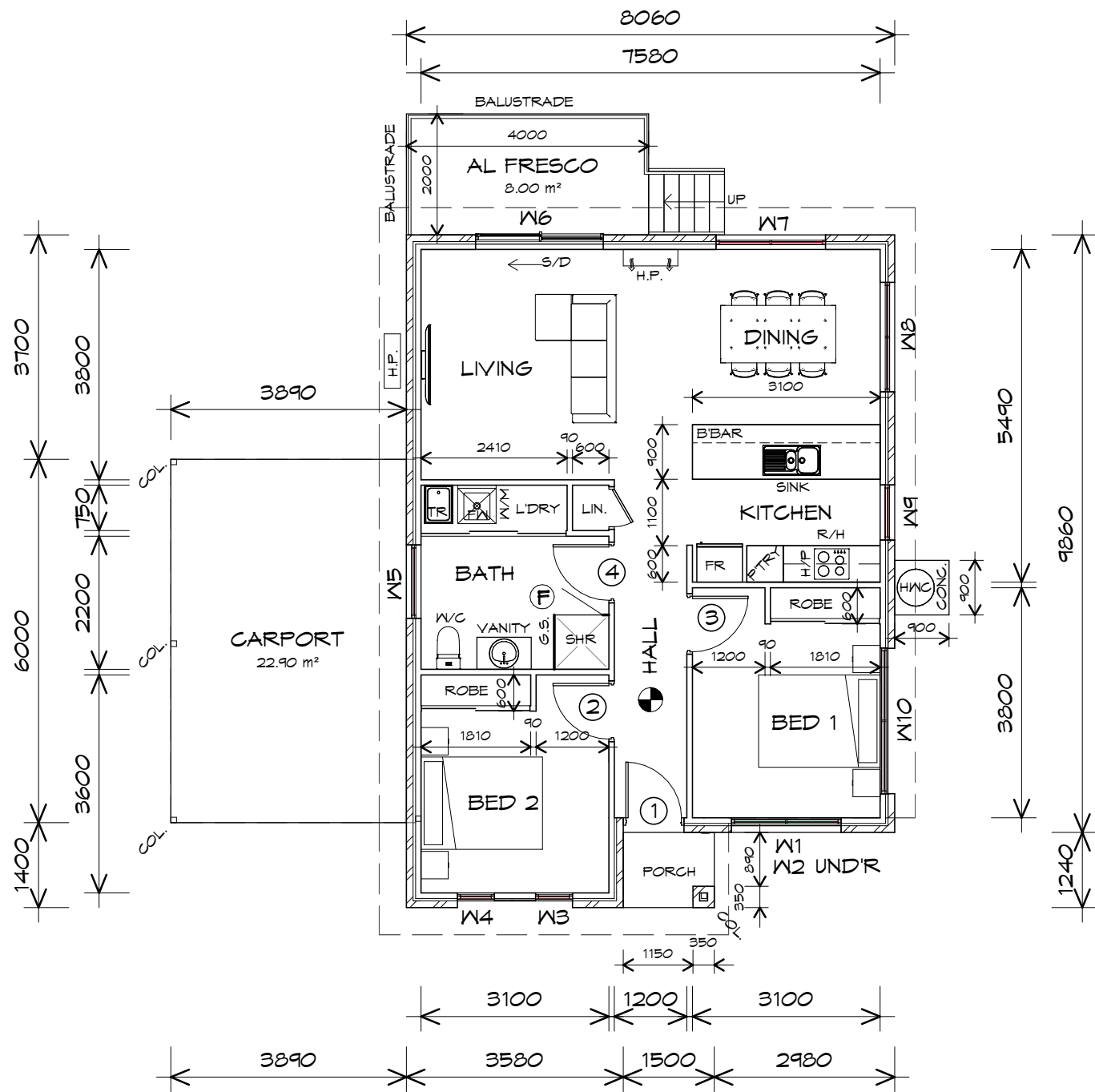
Project/Drawing no:  
PD20174 -U27-04

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS





## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGEHOOD VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

### DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

### WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	600	1810	AWNING WINDOW	
W2	600	1810	AWNING WINDOW	
W3	1800	610	AWNING WINDOW	
W4	1800	610	AWNING WINDOW	
W5	900	1210	AWNING WINDOW	OPAQUE
W6	2100	2110	SLIDING DOOR	
W7	1200	1810	AWNING WINDOW	
W8	1200	1810	AWNING WINDOW	
W9	1800	910	AWNING WINDOW	
W10	600	2410	AWNING WINDOW	

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

## FLOOR PLAN

1 : 100

## UNIT 28

CARPORT AREA	23.34	m <sup>2</sup>	( 2.51	SQUARES )
FLOOR AREA	83.91	m <sup>2</sup>	( 9.02	SQUARES )
ALFRESCO AREA	9.73	m <sup>2</sup>	( 1.05	SQUARES )
PORCH AREA	1.86	m <sup>2</sup>	( 0.20	SQUARES )
TOTAL AREA	118.84		12.78	

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.



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HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

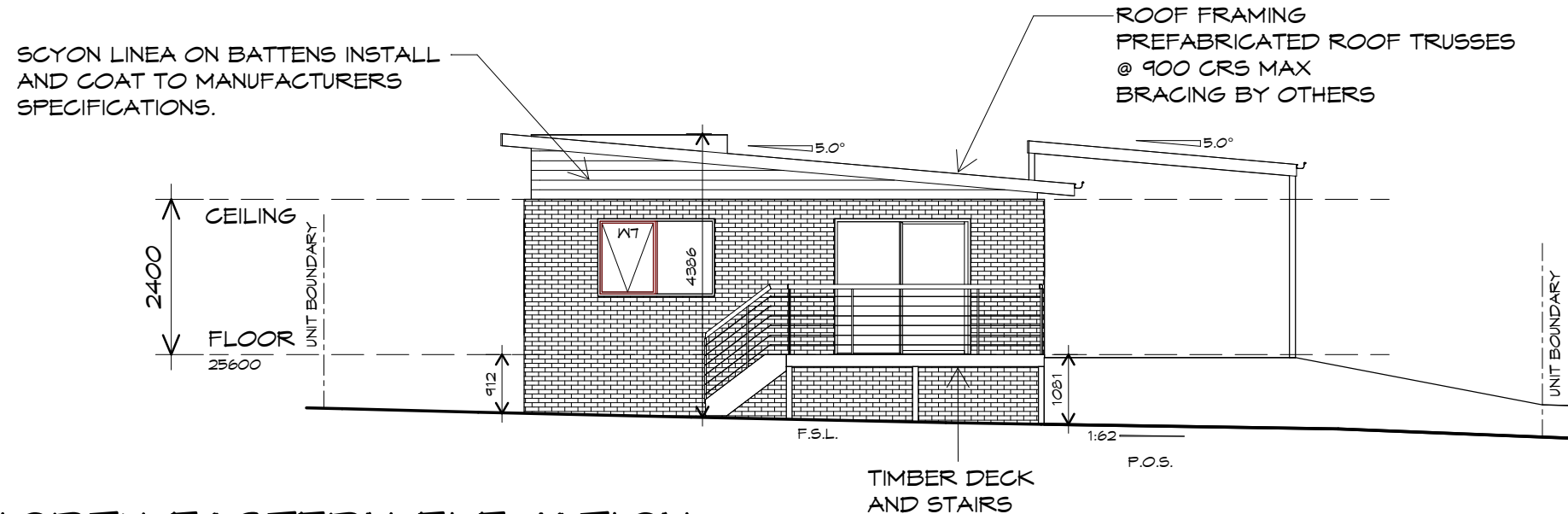
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PD20174 -U28-01

Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

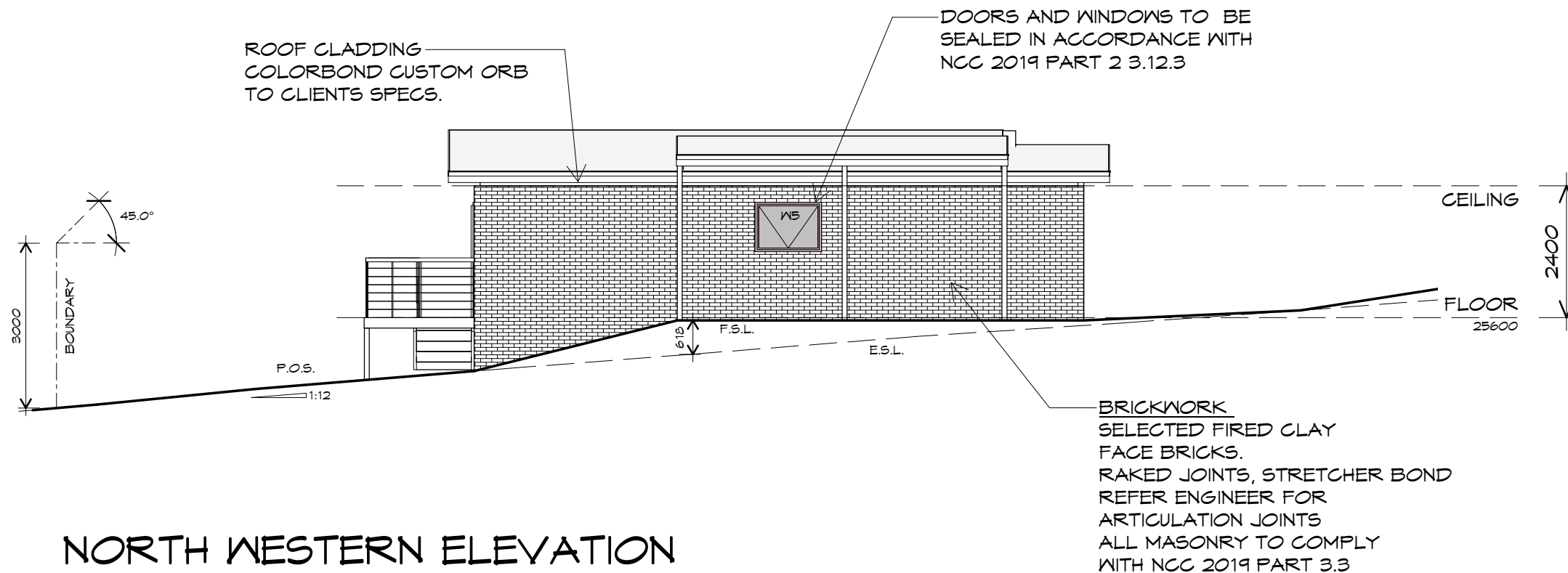
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NORTH EASTERN ELEVATION

1 : 100



NORTH WESTERN ELEVATION

1 : 100

UNIT 28



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



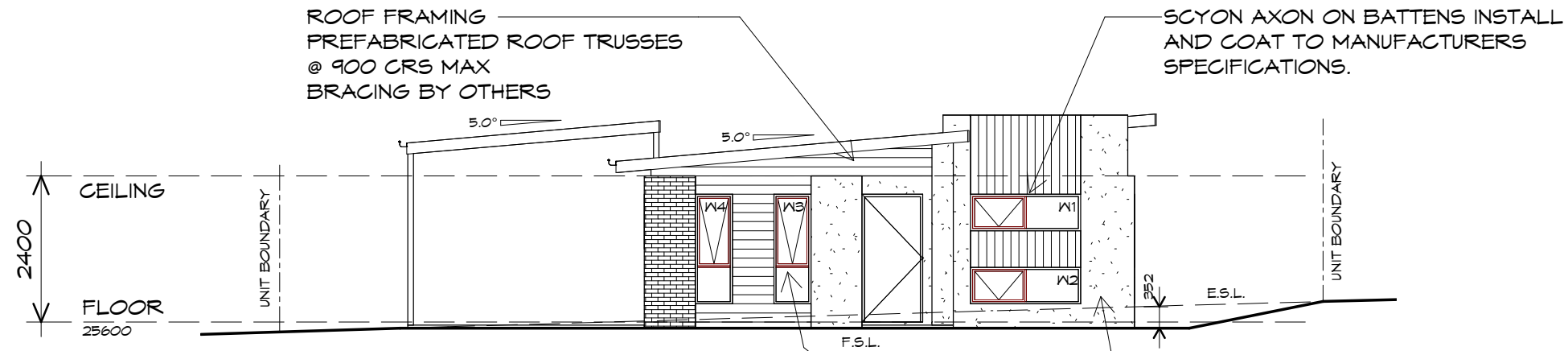
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Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U28-02  
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



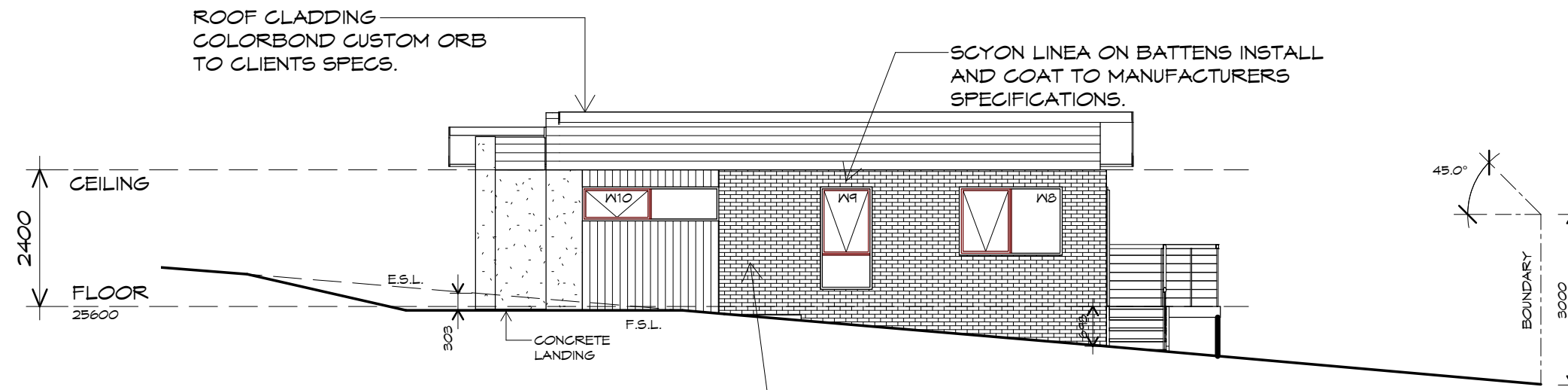


## SOUTH WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2 3.12.3

TEXTURE COATED BRICKWORK  
SELECTED FIRED CLAY BRICKS  
FLUSH JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH NCC 2019 PART 3.3



## SOUTH EASTERN ELEVATION

1 : 100

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH NCC 2019 PART 3.3

UNIT 28



**CENTACARE**  
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info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U28-03  
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A

## UNIT 28



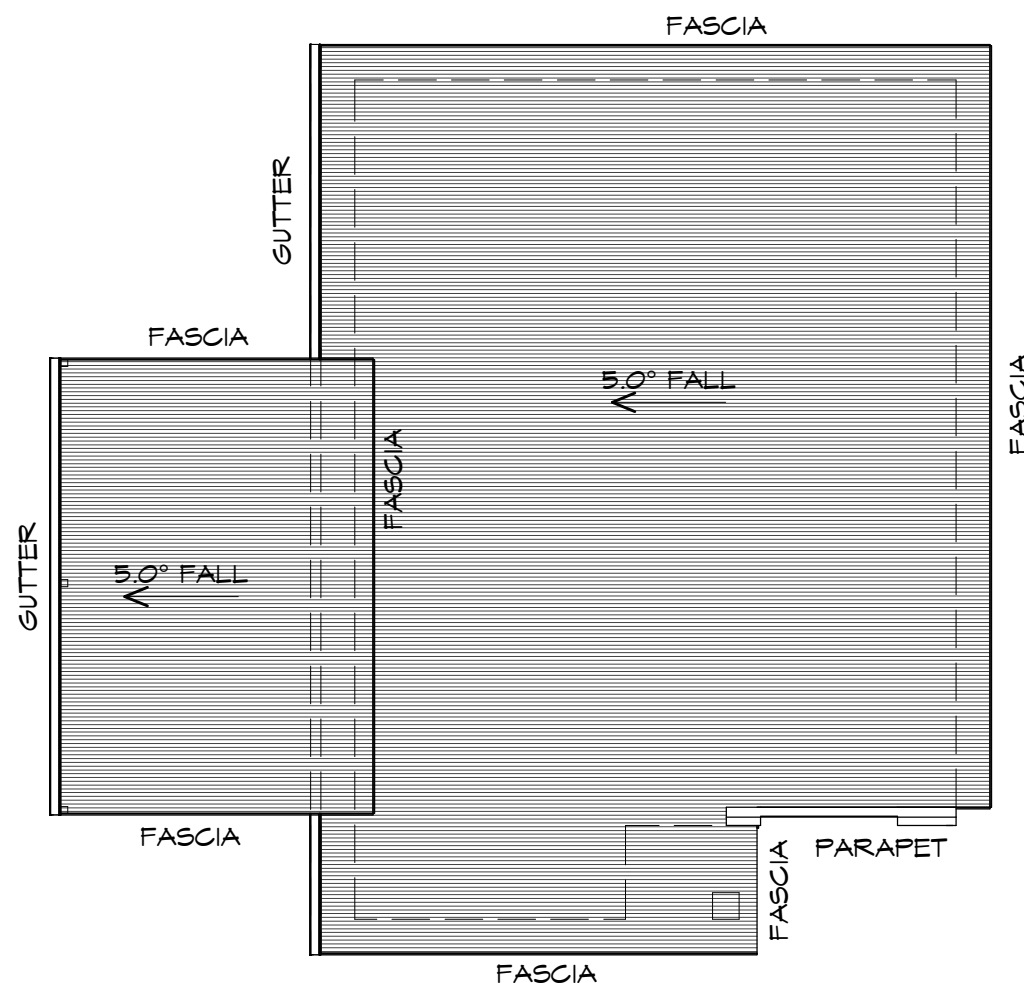
**CENTACARE**  
**evolve**  
 HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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 p(h)+ 03 6228 4575  
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Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMANS COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.

Drawing:  
 ROOF PLAN

Date:  
 19/11/2021

Scale:  
 1 : 100

Project/Drawing no:  
 PD20174 -U28-04

Revision:  
 03

Accredited building practitioner: Frank Geskus -No CC246A

#### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
 TO BE IN ACCORDANCE WITH  
 NCC 2019 PART 3.5.2.4.  
 WITH FALL NO LESS THAN  
 1:100 FOR BOX GUTTERS  
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
 A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
 400mm AND ROOF OVERHANG OF NOT  
 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.  
 B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
 PLAN ARE NOMINAL ONLY.  
 EXACT LOCATION & NUMBER OF D.P'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
 WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
 ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
 CORROSION PROTECTION FOR SHEET ROOFING,  
 REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
 CONTACT BETWEEN DIFFERENT ROOFING  
 MATERIALS.  
 FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
 FREQUENCY FOR TRANSVERSE FLASHINGS AND  
 CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
 DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF PENETRATION FLASHING DETAILS.  
 REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
 NCC 2019 PART 3.5.1.8

PLANNING  
 NOTE: DO NOT SCALE OFF DRAWINGS





## FLOOR PLAN

1 : 100

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 info@primedesigntas.com.au primedesigntas.com.au

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMAN COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 FLOOR PLAN

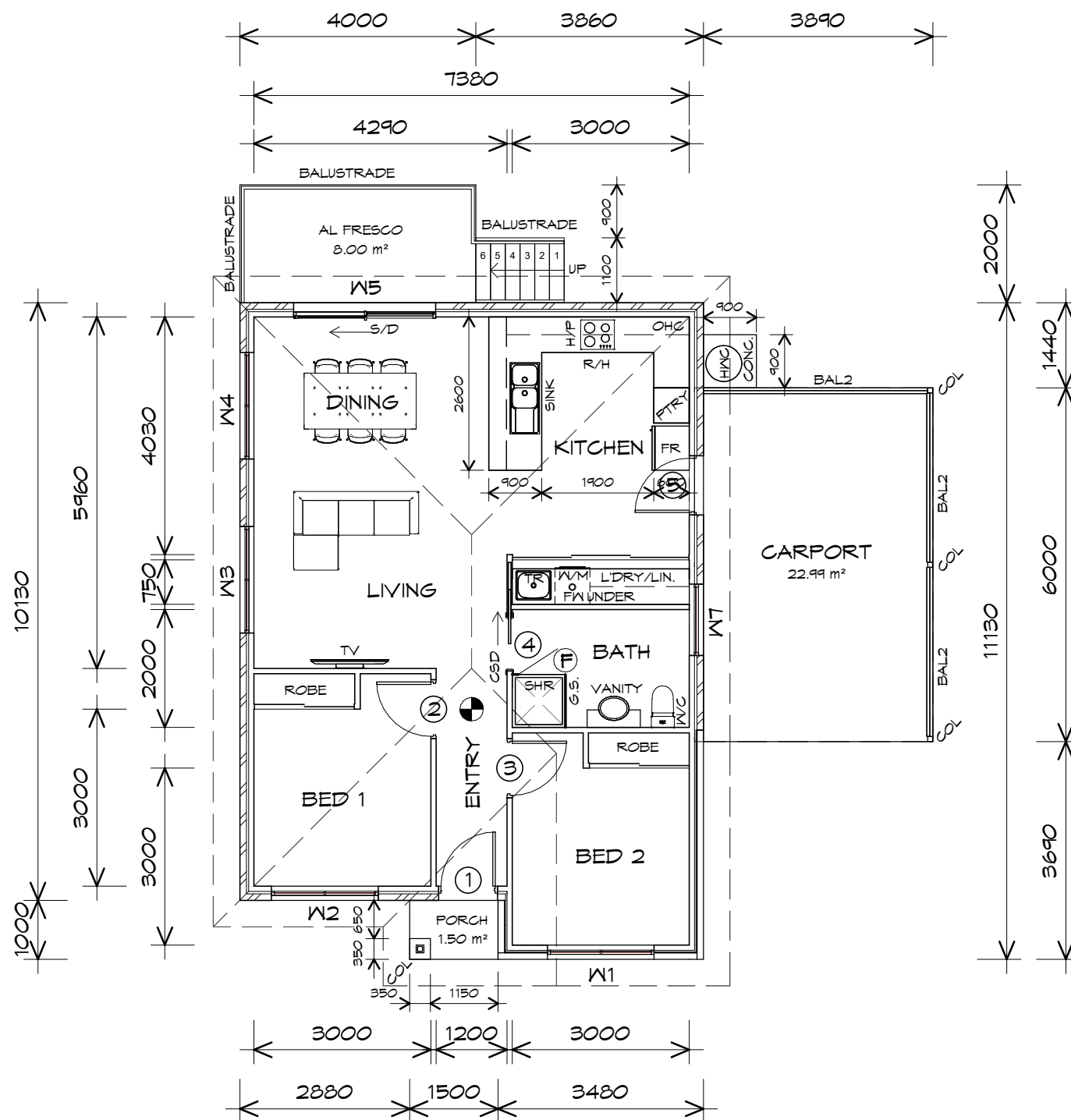
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Scale:  
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Project/Drawing no:  
 PD20174 -U29-01

Revision:  
 01

Accredited building practitioner: Frank Geskus -No CC246A



CARPORT AREA	23.34	m2	( 2.51 SQUARES )
FLOOR AREA	83.10	m2	( 8.94 SQUARES )
AL FRESCO AREA	8.00	m2	( 0.86 SQUARES )
PORCH AREA	1.50	m2	( 0.16 SQUARES )
TOTAL AREA	115.94		12.47

**NOTE:**  
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
 BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
 DECKS AND OUTDOOR AREAS ARE CALCULATED  
 SEPARATELY.

## LEGEND

- ⓕ EXHAUST FAN-VENT TO OUTSIDE AIR.
- ⦿ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- Ⓢ FW FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- BAL.2 CRASH BARRIER

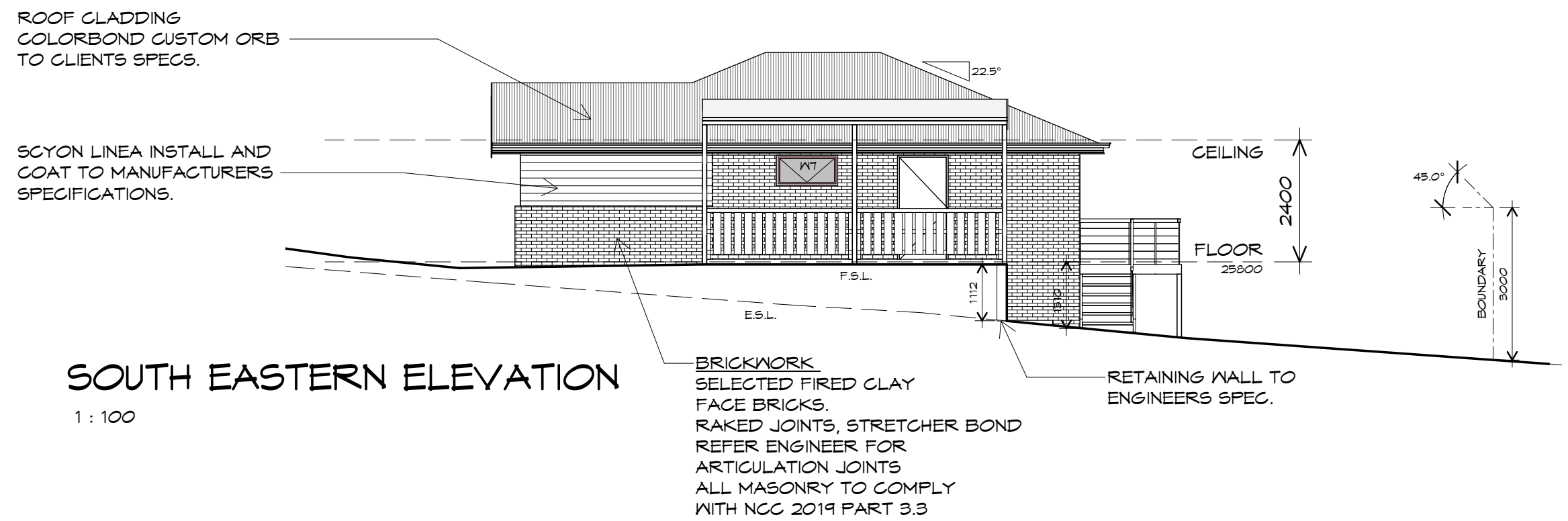
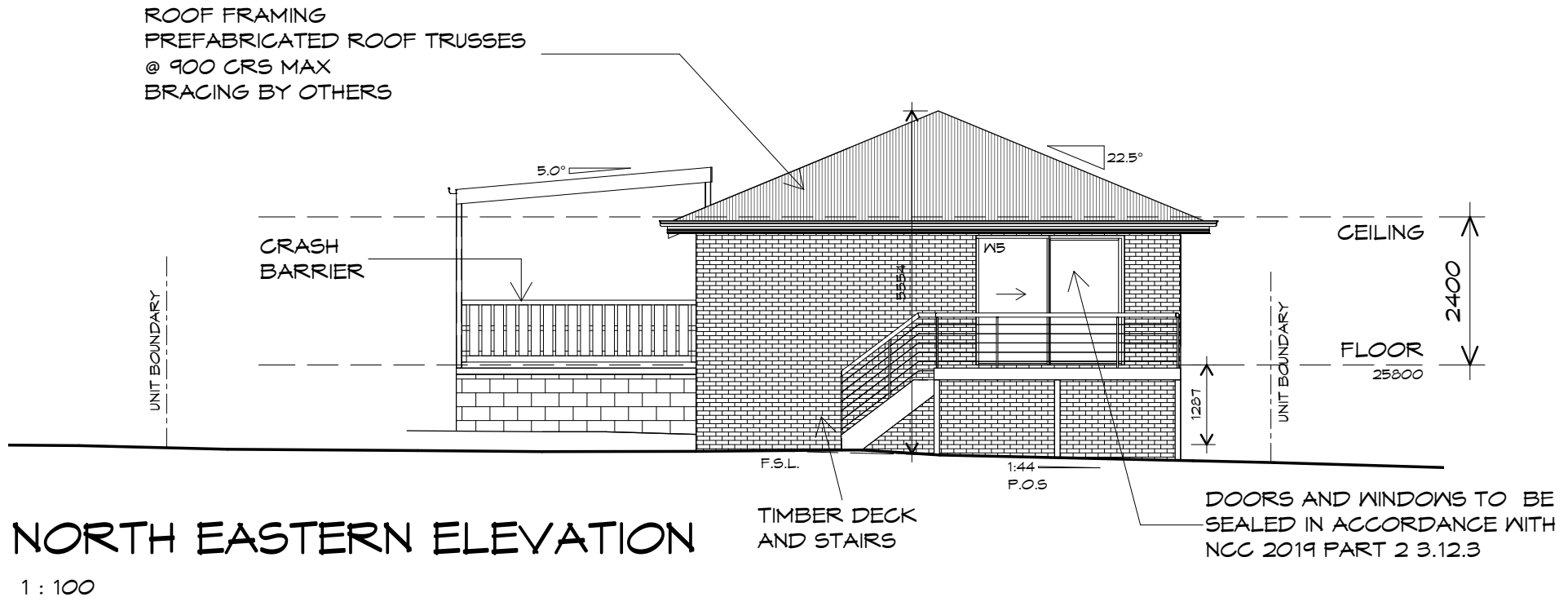
## DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	EXTERNAL SOLID DOOR	

## WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1000	1810	AWNING WINDOW	
W3	1000	1810	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	2100	2410	SLIDING DOOR	
W7	600	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
 WITH FLY SCREENS TO SUIT ??? BAL RATING.  
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
 PRIOR TO ORDERING



UNIT 29



**CENTACARE**  
**evolve**  
HOUSING



**Prime Design**  
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160 New Town Road, New Town, Hobart 7008  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE**

Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by:  
**A.G.M.**

Approved by:  
**F.G.G.**

Drawing:  
**ELEVATIONS**

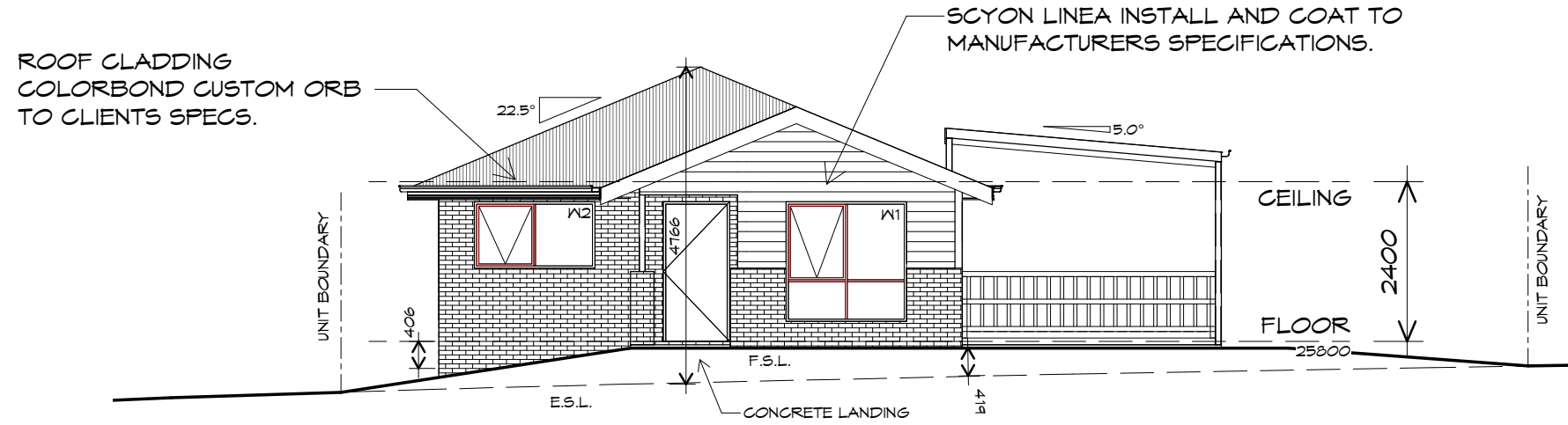
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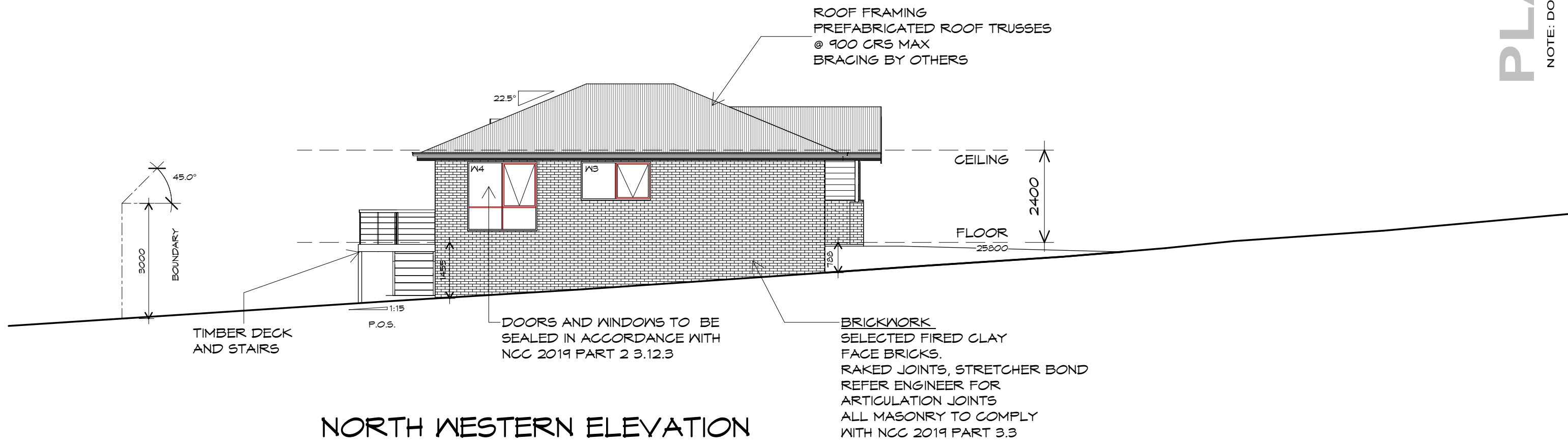
Accredited building practitioner: Frank Geskus -No CC246A







**SOUTH WESTERN ELEVATION**  
1 : 100



**NORTH WESTERN ELEVATION**  
1 : 100

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

**UNIT 29**



**CENTACARE**  
**evolve**  
**HOUSING**



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Project:  
**PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE**

Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by:  
**A.G.M.**

Approved by:  
**F.G.G.**

Drawing:  
**ELEVATIONS**

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U29-03 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



## ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

**CENTACARE**  
**evolve**  
HOUSING

**Prime Design**

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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

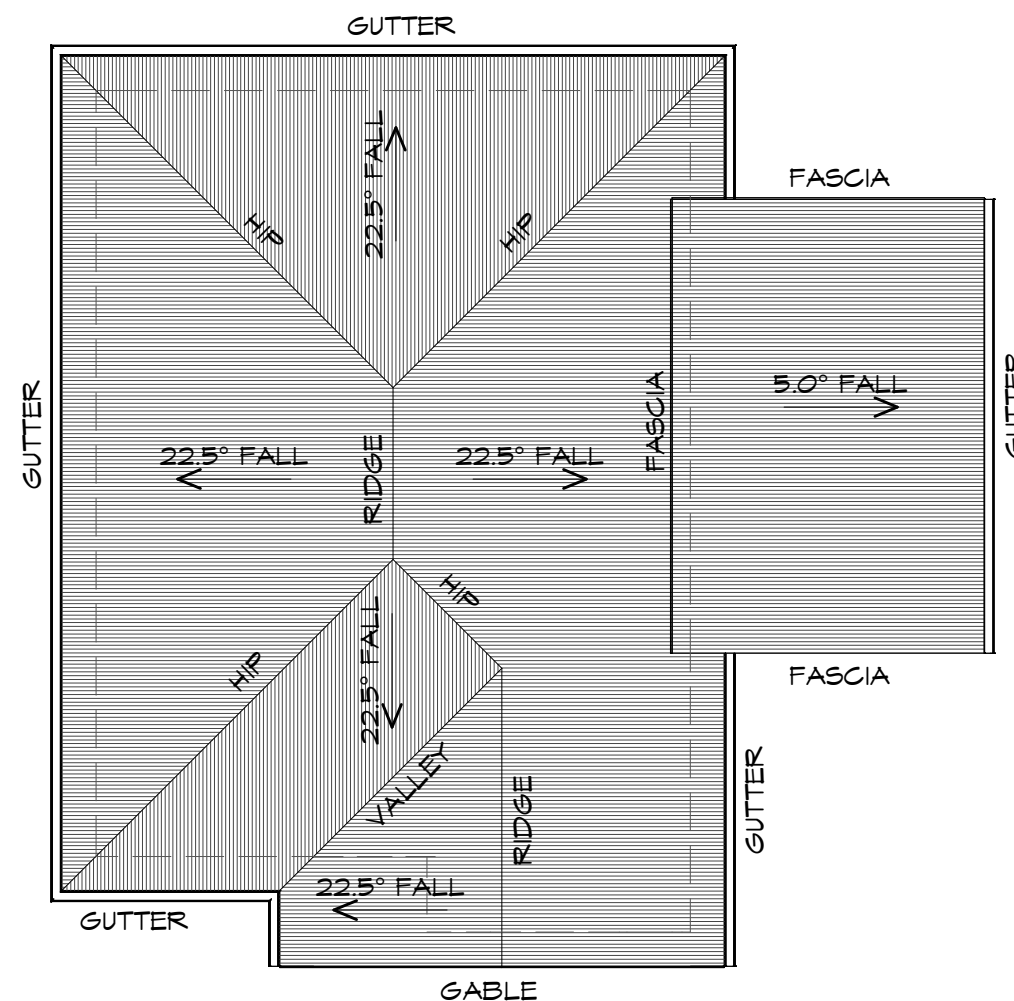
**bda** BUILDING  
DESIGNERS  
AUSTRALIA

Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U29-04  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

**VALLEY GUTTERS ON A ROOF WITH A PITCH:**  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

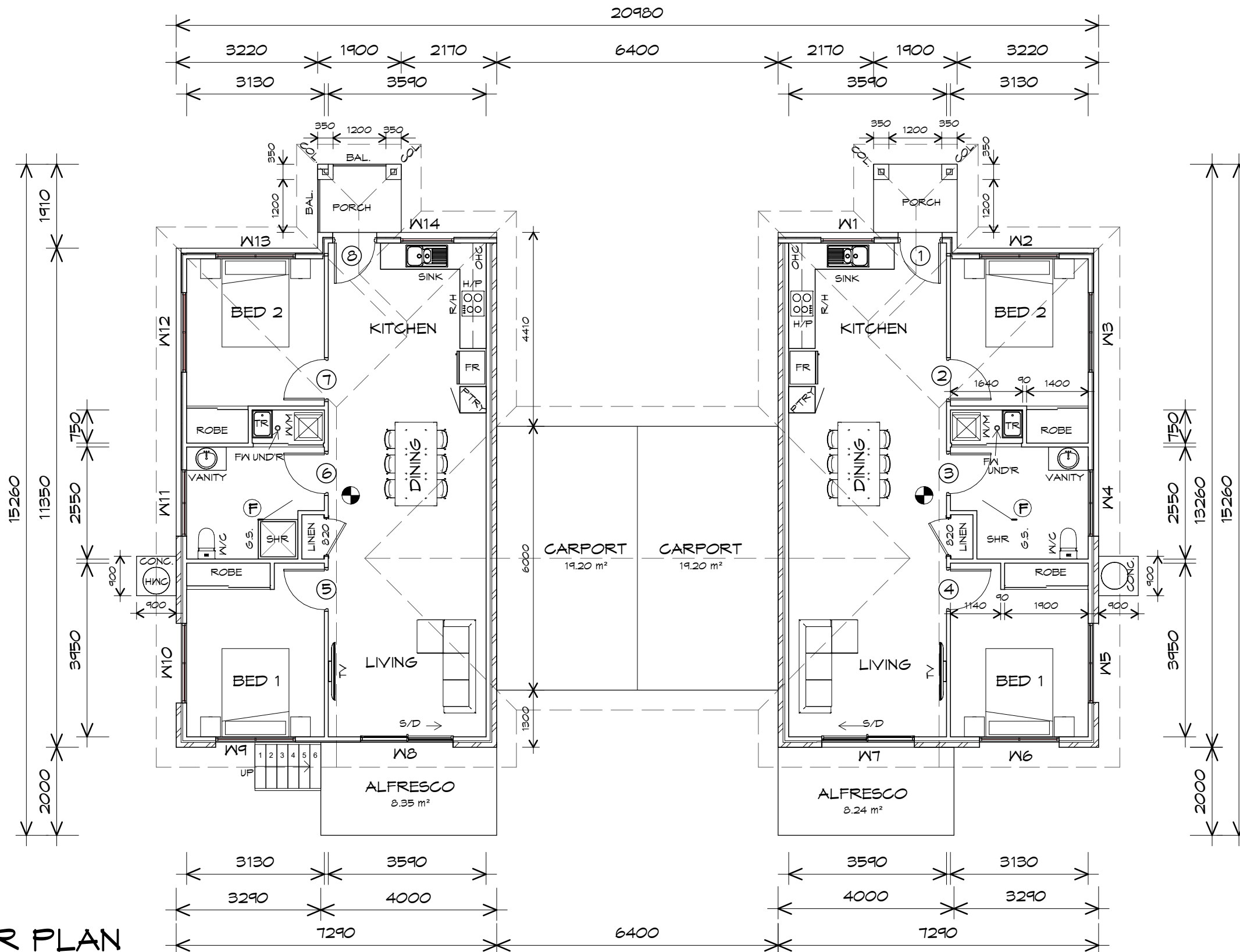
# FLOOR PLAN

1 : 100



**CENTACARE**  
**evolve**  
HOUSING

UNIT 30-31



FLOOR AREA	84.21	m <sup>2</sup>	( 9.05	SQUARES )
AL FRESKO AREA	8.00	m <sup>2</sup>	( 0.86	SQUARES )
CARPORT AREA	19.20	m <sup>2</sup>	( 2.06	SQUARES )
PORCH AREA	2.95	m <sup>2</sup>	( 0.32	SQUARES )
CARPORT AREA	19.20	m <sup>2</sup>	( 2.06	SQUARES )
ALFRESKO AREA	8.00	m <sup>2</sup>	( 0.86	SQUARES )
FLOOR AREA	84.21	m <sup>2</sup>	( 9.05	SQUARES )
PORCH AREA	2.95	m <sup>2</sup>	( 0.32	SQUARES )
TOTAL AREA	228.70		24.59	

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE**  
**LAMPRIILL CIRCLE,**  
**HERDSMANS COVE**

Client name:  
**CENTACARE EVOLVE HOUSING**

Drawing:  
**FLOOR PLAN**

Drafted by:  
**A.G.M.**

Approved by:  
**F.G.G.**

Date:  
**19/11/2021**

Scale:  
**1 : 100**

Project/Drawing no: **PD20174 -U30/31-01**

Revision: **00**

Accredited building practitioner: Frank Geskus -No CC246A





DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	
6	920	INTERNAL TIMBER DOOR	
7	920	INTERNAL TIMBER DOOR	
8	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W6	600	1810	AWNING WINDOW	
W8	2100	2110	SLIDING DOOR	
W9	600	1810	AWNING WINDOW	
W10	1800	1810	AWNING WINDOW	
W11	600	1510	AWNING WINDOW	OPAQUE
W12	1000	1810	AWNING WINDOW	
W13	600	1810	AWNING WINDOW	
W14	1000	1210	AWNING WINDOW	

ALUMINIUM WINDOWS ??? **GLAZING** COMPLETE  
 WITH FLY SCREENS TO SUIT ??? **BAL** RATING.  
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
 PRIOR TO ORDERING



CENTACARE

evolve

HOUSING

UNIT 30-31



Prime

Design

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 160 New Town Road, New Town, Hobart 7008  
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 info@primedesignntas.com.au primedesignntas.com.au

Project:

PROPOSED NEW RESIDENCE  
LAMPRIILL CIRCLE,  
HERDSMANS COVE

Client name:


CENTACARE EVOLVE HOUSING

Drafted by:

A.G.M.

Approved by:

F.G.G.



BUILDING  
DESIGNERS  
AUSTRALIA

Drawing:

DOOR AND WINDOW  
SCHEDULES

Date:

19/11/2021

Project/Drawing no:

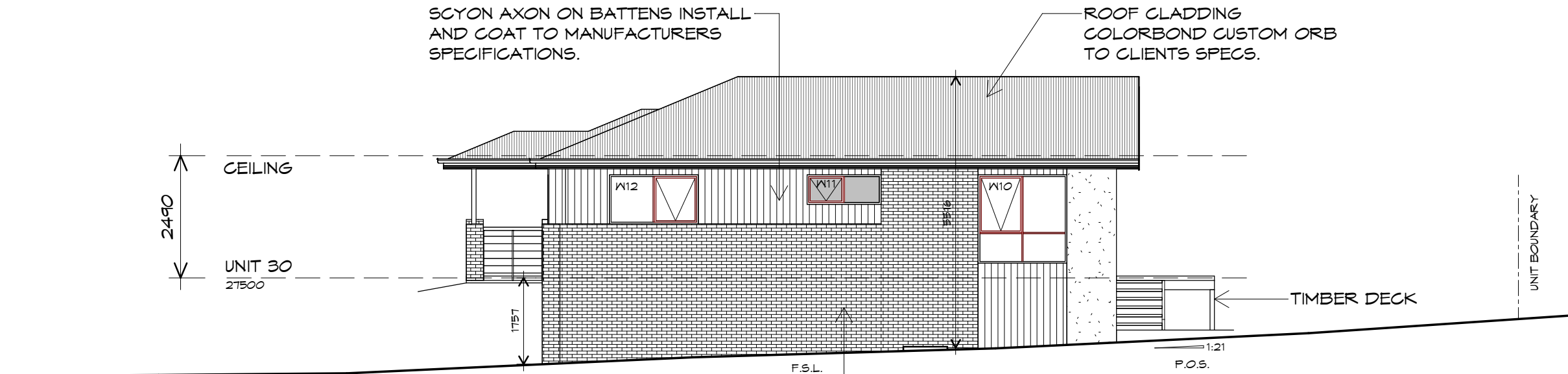
PD20174 -U30/31-02

Revision:

00

Accredited building practitioner:

Frank Geskus -No CC246A

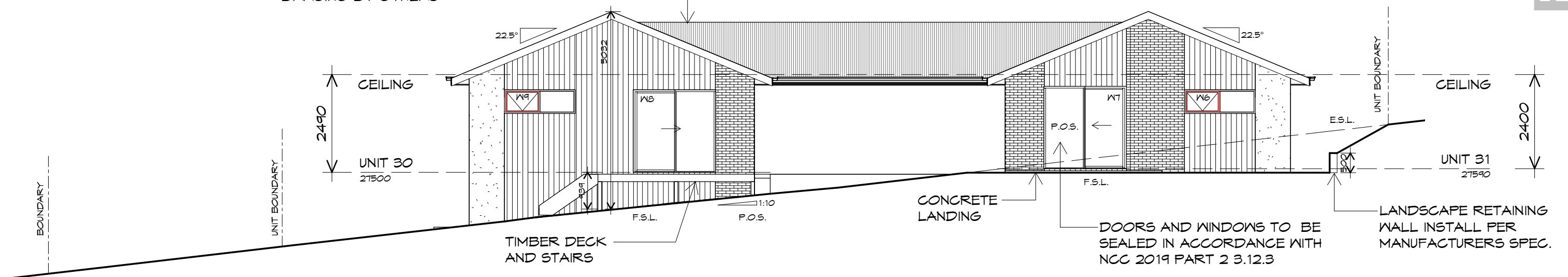


## NORTH EASTERN ELEVATION

1 : 100

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH NCC 2019 PART 3.3



## NORTH WESTERN ELEVATION

1 : 100



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

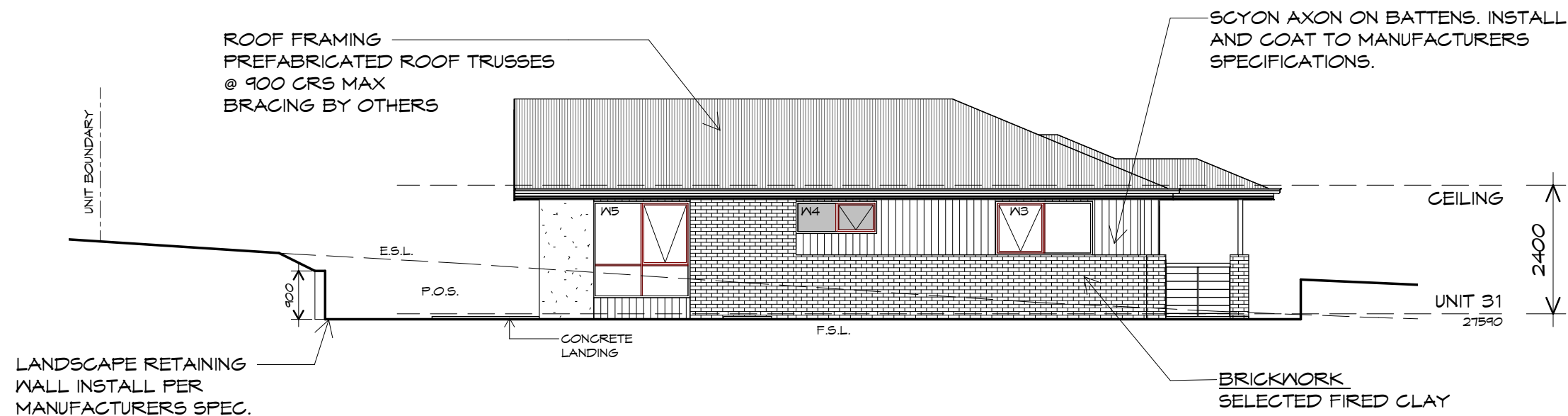
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Revision: 00

Accredited building practitioner: Frank Geskus -No CC246A

UNIT 6

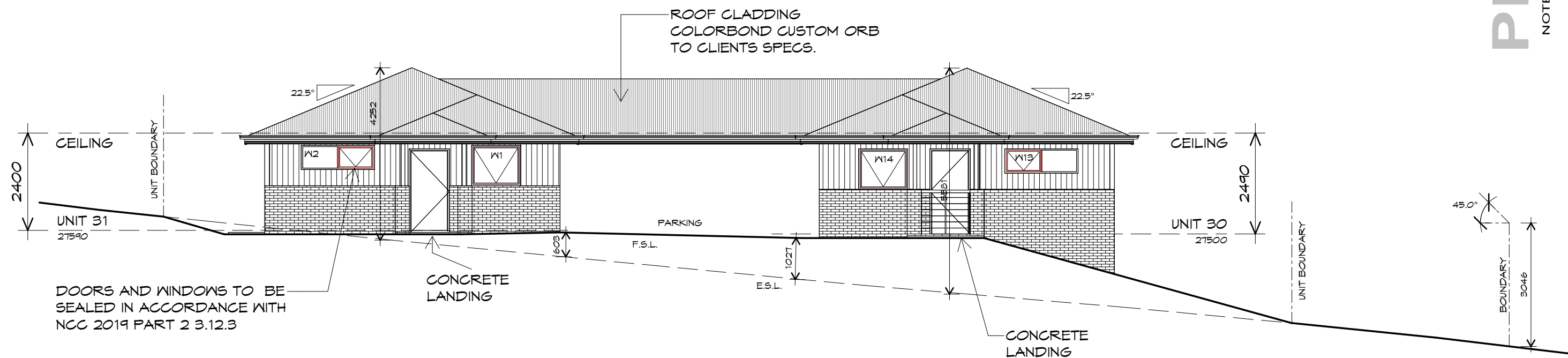
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## SOUTH WESTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U30/31-04  
Revision: 00

Accredited building practitioner: Frank Geskus -No CC246A



#### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

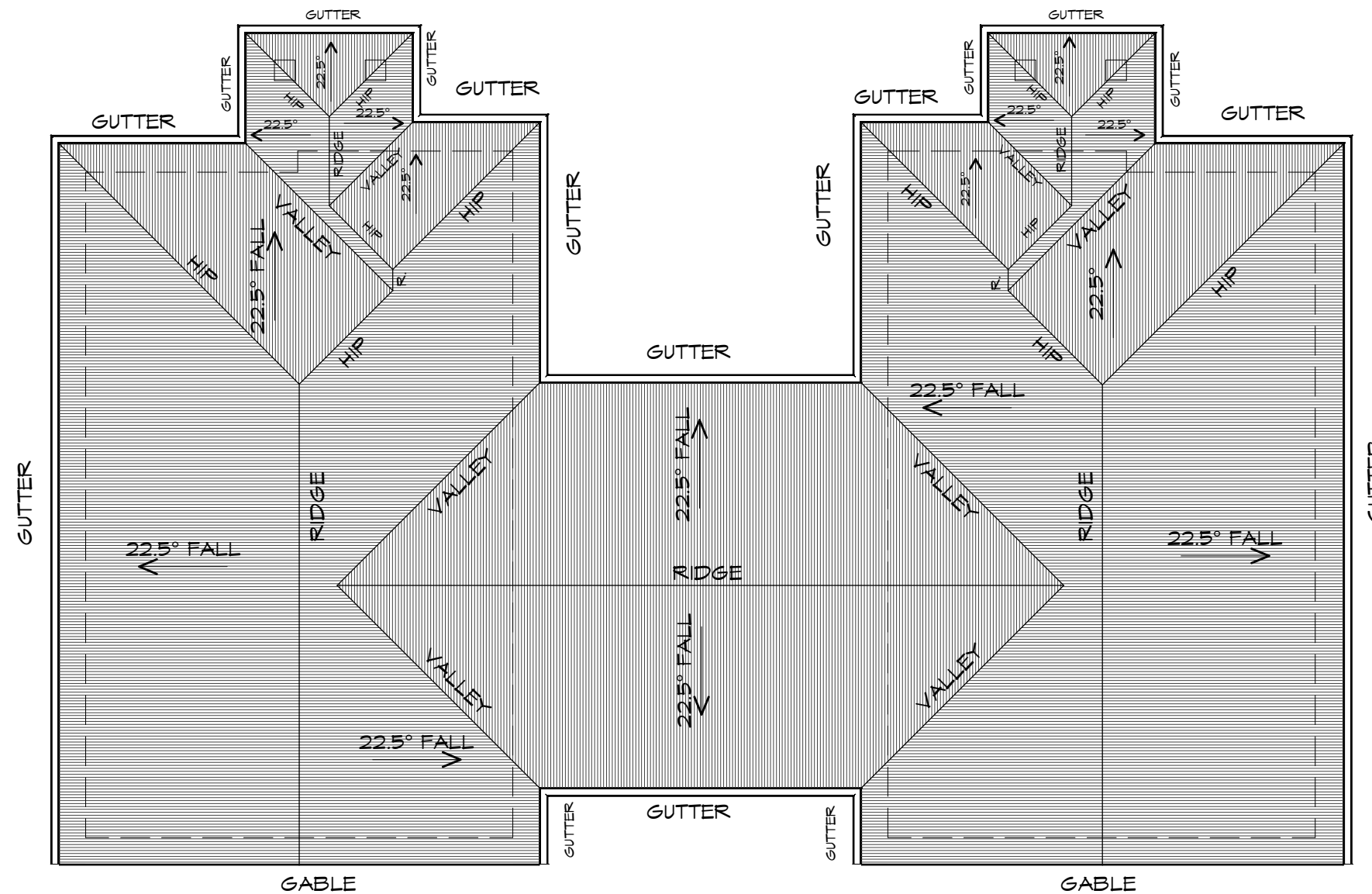
VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
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LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
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SPACING BETWEEN DOWNPIPES MUST NOT  
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#### METAL ROOF

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REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
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FREQUENCY FOR TRANSVERSE FLASHINGS AND  
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ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8



## ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



**CENTACARE**  
**evolve**  
HOUSING

UNIT 6



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



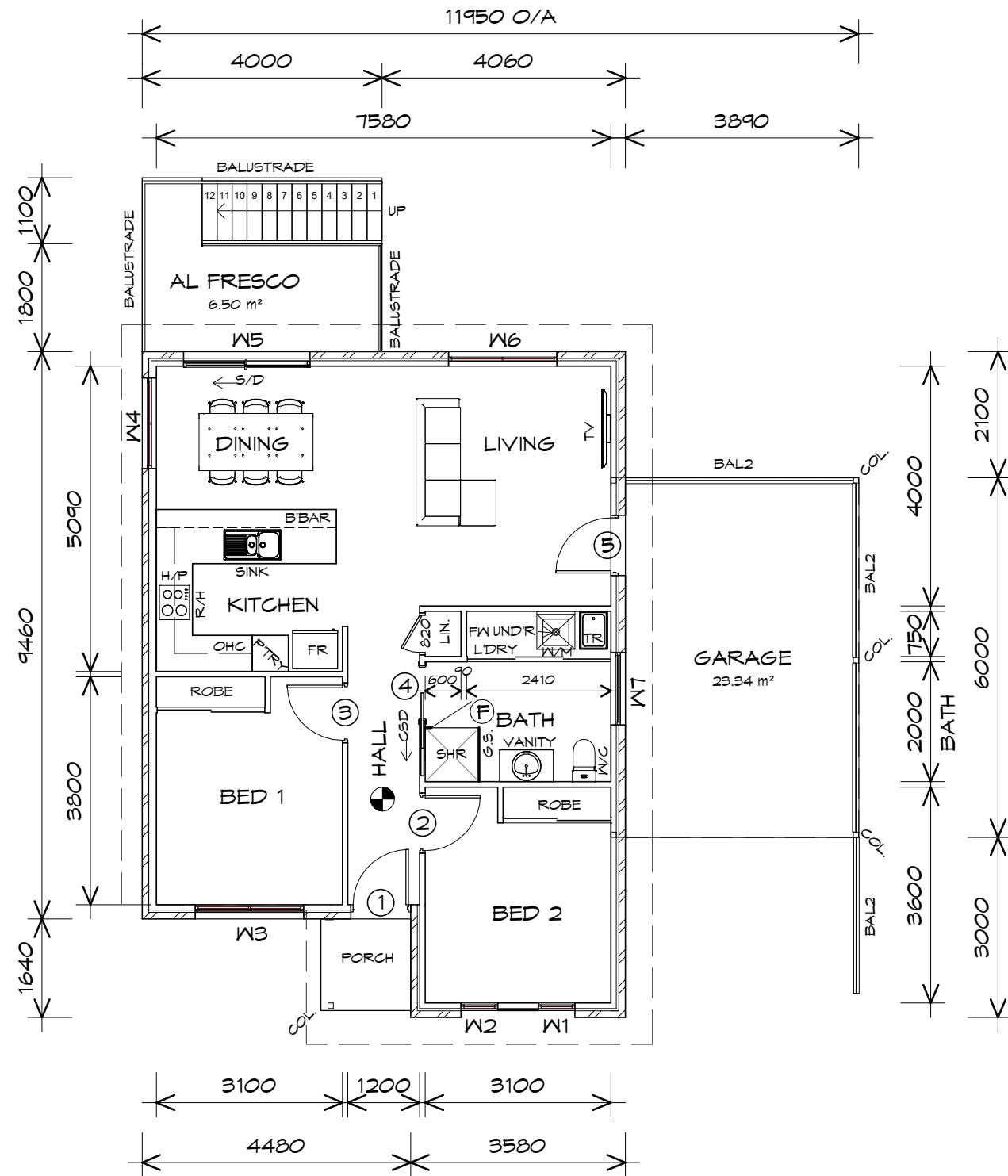
Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20174 -U30/31-05  
Revision: 00

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



FLOOR AREA	81.09	m2	( 8.72 SQUARES )
CARPORT AREA	25.28	m2	( 2.72 SQUARES )
PORCH AREA	2.46	m2	( 0.26 SQUARES )
AL FRESCO AREA	6.50	m2	( 0.70 SQUARES )
TOTAL AREA	115.33		12.40

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

- ### LEGEND
- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
  - R/H RANGE HOOD-VENT TO OUTSIDE AIR.
  - 240V SMOKE ALARM
  - CSD CAVITY SLIDING DOOR
  - S/D SLIDING DOOR
  - FW FLOOR WASTE
  - S/L SIDELIGHT
  - COL COLUMN
  - G.S. GLASS SCREEN
  - HWC HOT WATER CYLINDER
  - BAL.2 CRASH BARRIER

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	1810	AWNING WINDOW	
W4	600	1510	AWNING WINDOW	OPAQUE
W5	2100	2110	SLIDING DOOR	
W6	1800	1810	AWNING WINDOW	
W7	600	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE WITH FLY SCREENS TO SUIT ??? BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

**FLOOR PLAN**  
1 : 100

UNIT 32



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

Date:  
19/11/2021

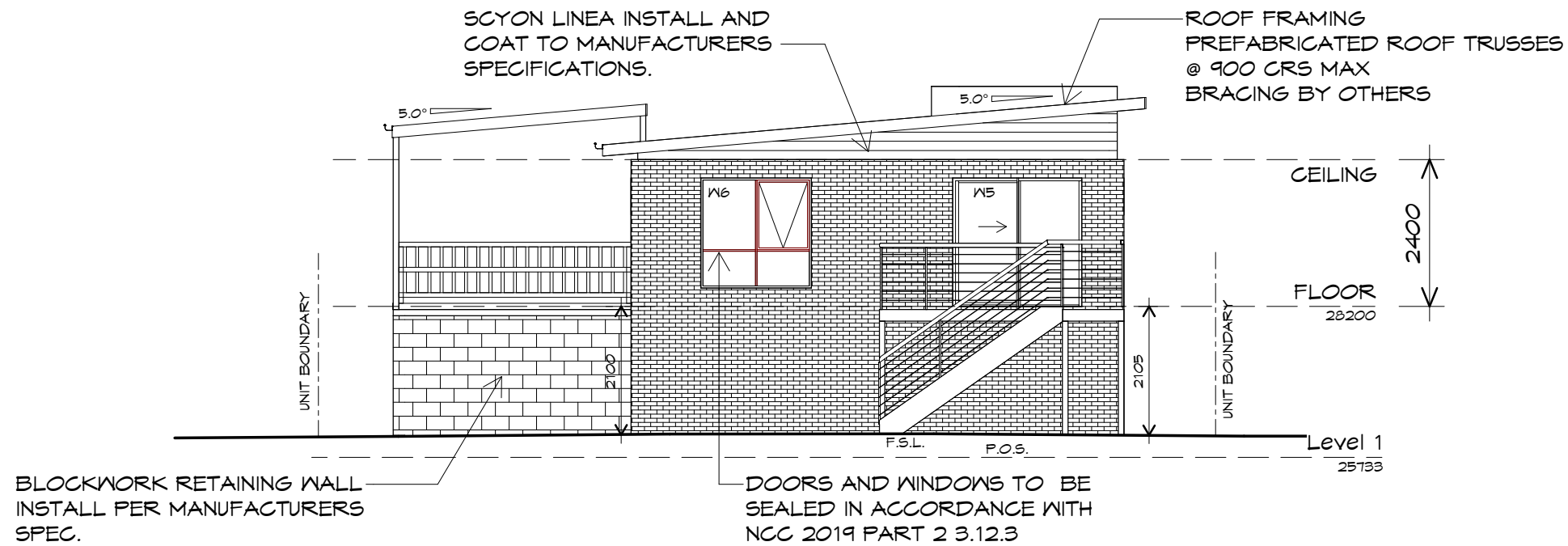
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Project/Drawing no:  
PD20068 -U32-01

Revision:  
01

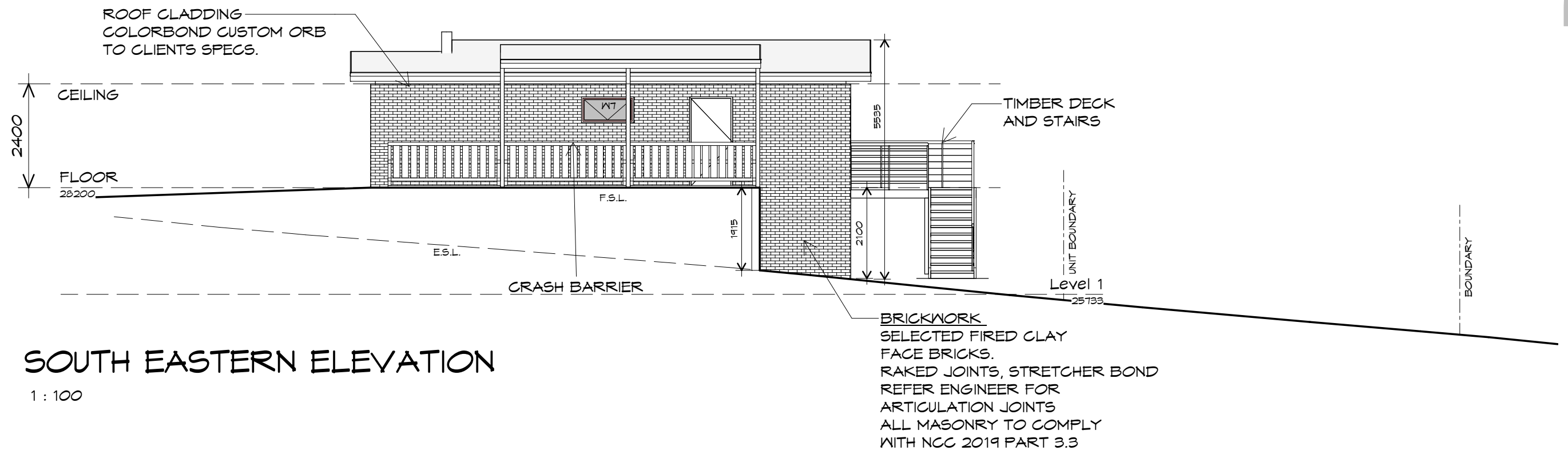
Accredited building practitioner: Frank Geskus -No CC246A

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



## NORTH EASTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 32



**CENTACARE**  
**evolve**  
**HOUSING**



10 Goodman Court, Invermay Tasmania 7248,  
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p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date:  
19/11/2021

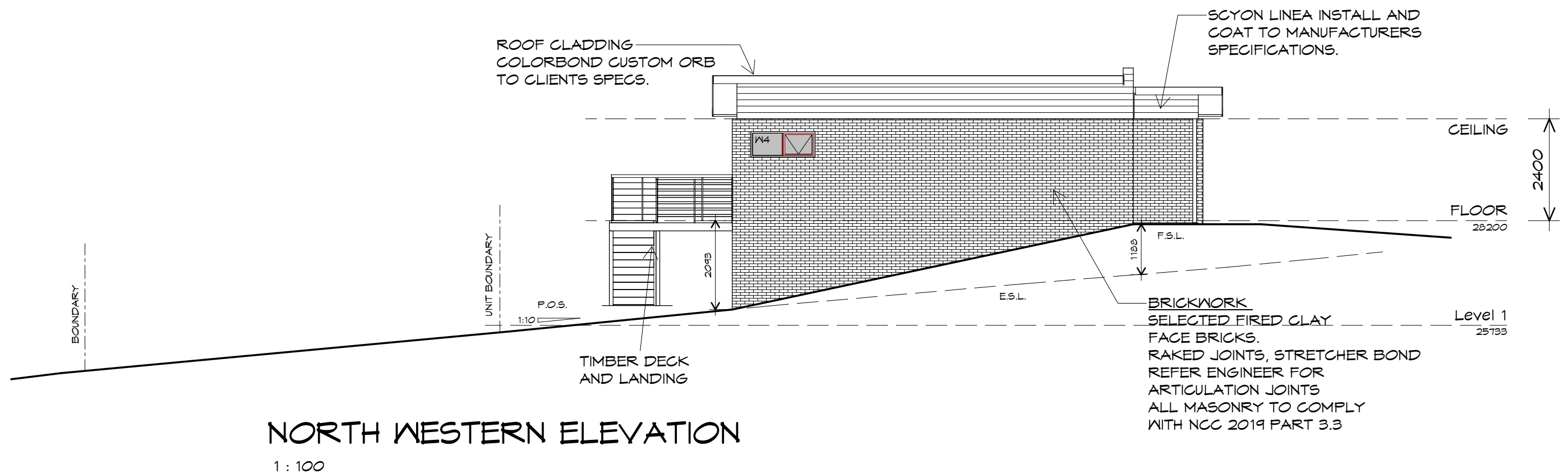
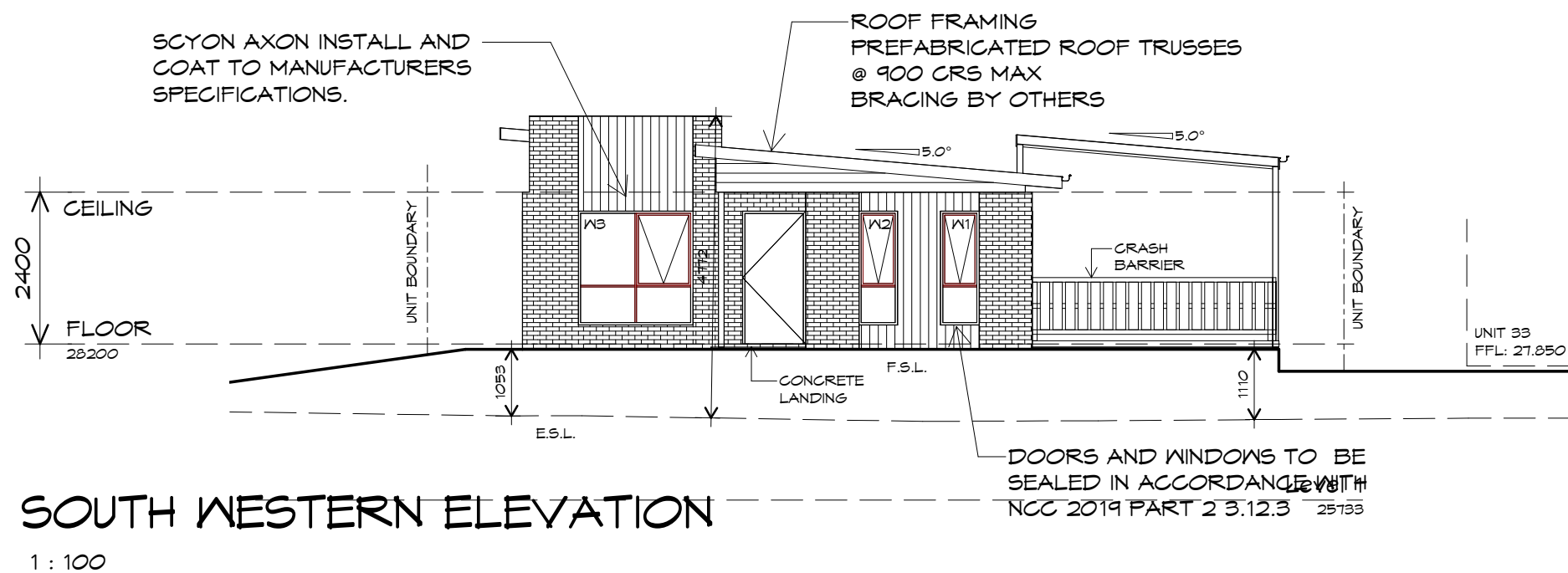
Scale:  
1 : 100

Project/Drawing no:  
PD20068 -U32-02

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A





UNIT 32



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20068 -U32-03  
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

## UNIT 33



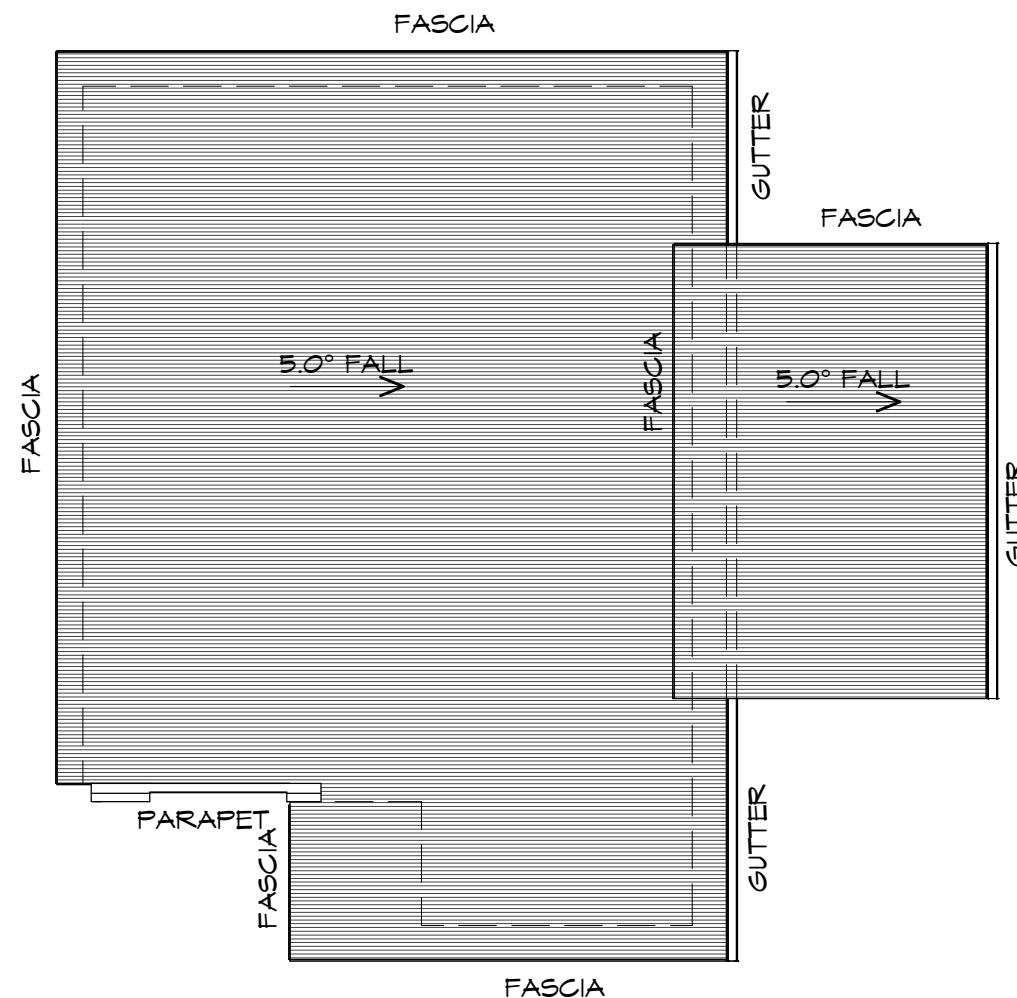
**CENTACARE**  
**evolve**  
HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
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Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20068 -U32-04

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

#### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
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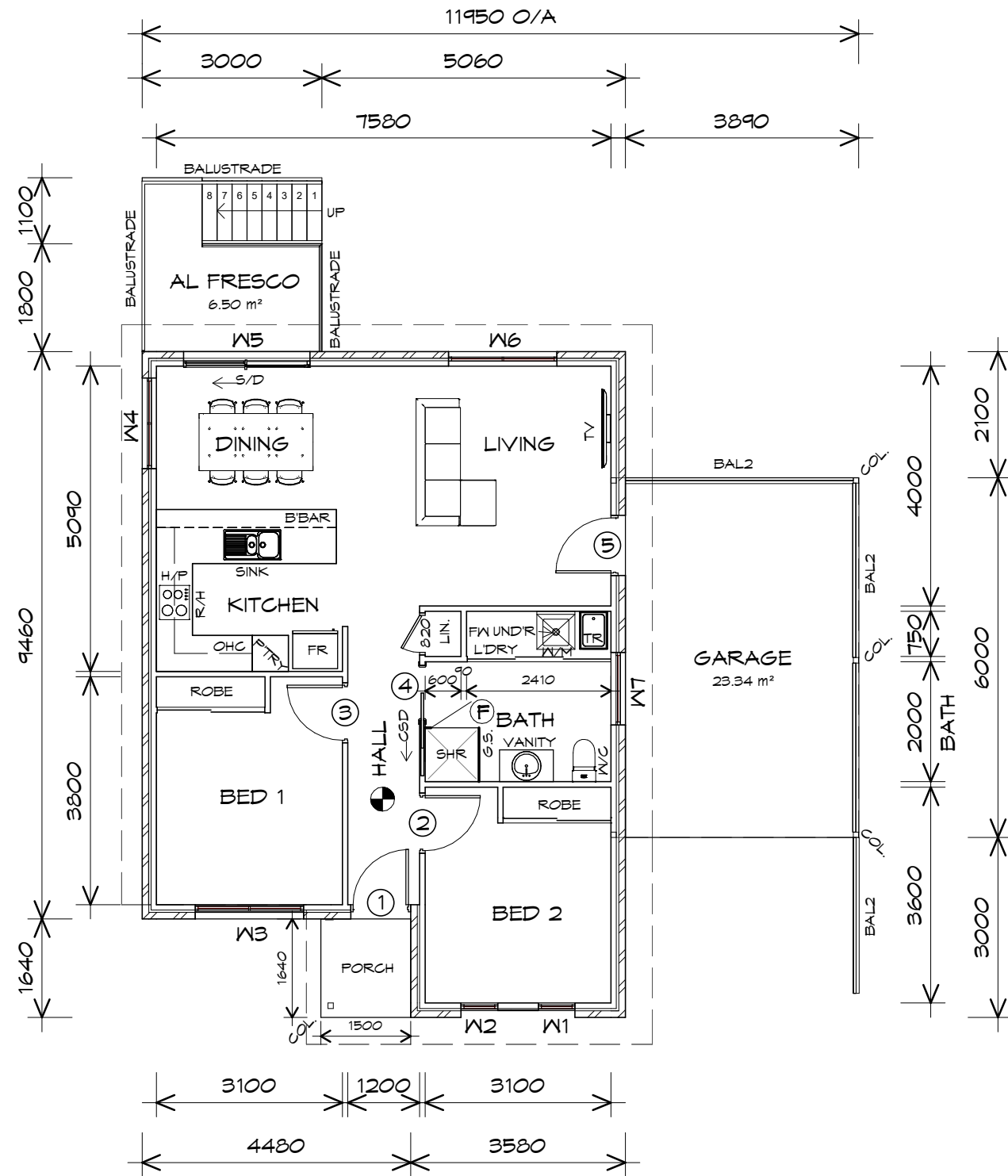
DOWNPIPE POSITIONS SHOWN ON THIS  
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EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
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#### METAL ROOF

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PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



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  - FW FLOOR WASTE
  - S/L SIDELIGHT
  - COL COLUMN
  - G.S. GLASS SCREEN
  - HWC HOT WATER CYLINDER
  - BAL.2 CRASH BARRIER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
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WINDOW SCHEDULE				
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ALUMINIUM WINDOWS ??? GLAZING COMPLETE WITH FLY SCREENS TO SUIT ??? BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

FLOOR PLAN  
1 : 100

UNIT 33



**Prime Design**

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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE**

Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by:  
**A.G.M.**

Approved by:  
**F.G.G.**

Drawing:  
**FLOOR PLAN**

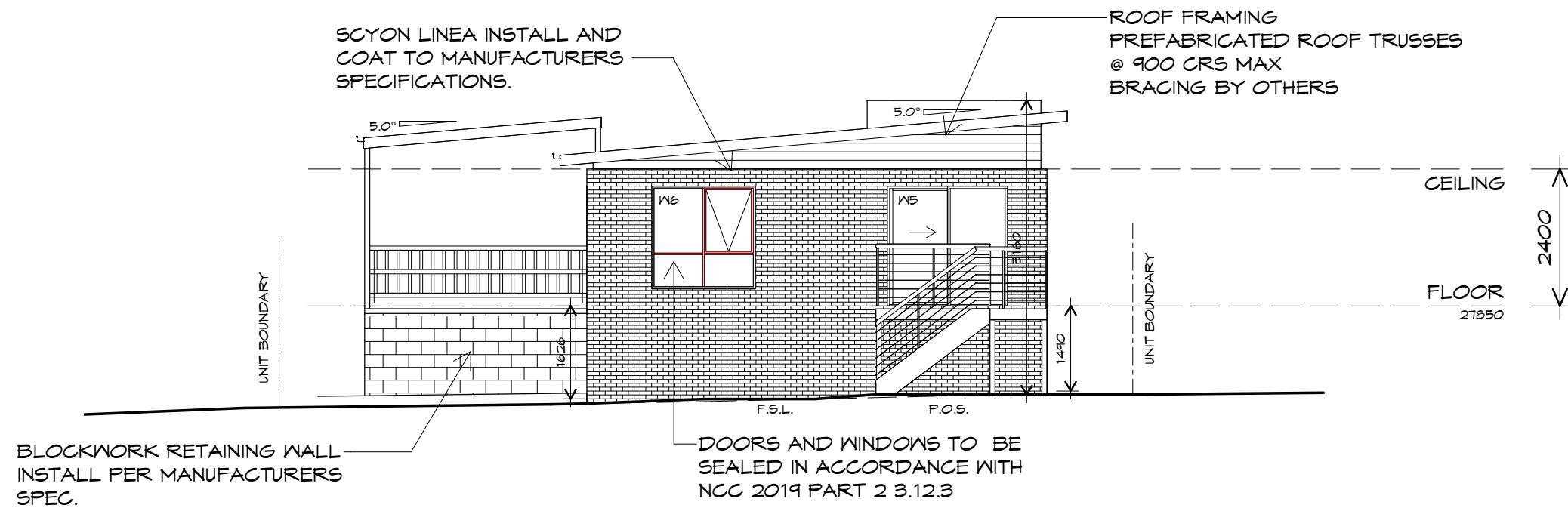
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Project/Drawing no: PD20068 -U33-01 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

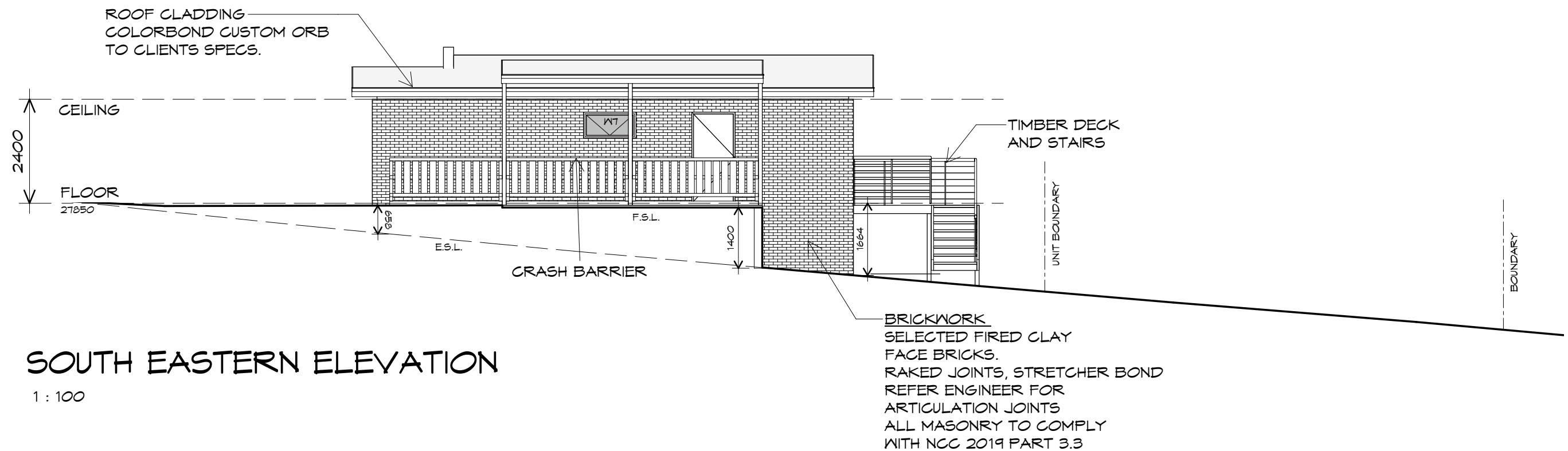
PLANNING  
 NOTE: DO NOT SCALE OFF DRAWINGS





## NORTH EASTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 33



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
ELEVATIONS

Date:  
19/11/2021

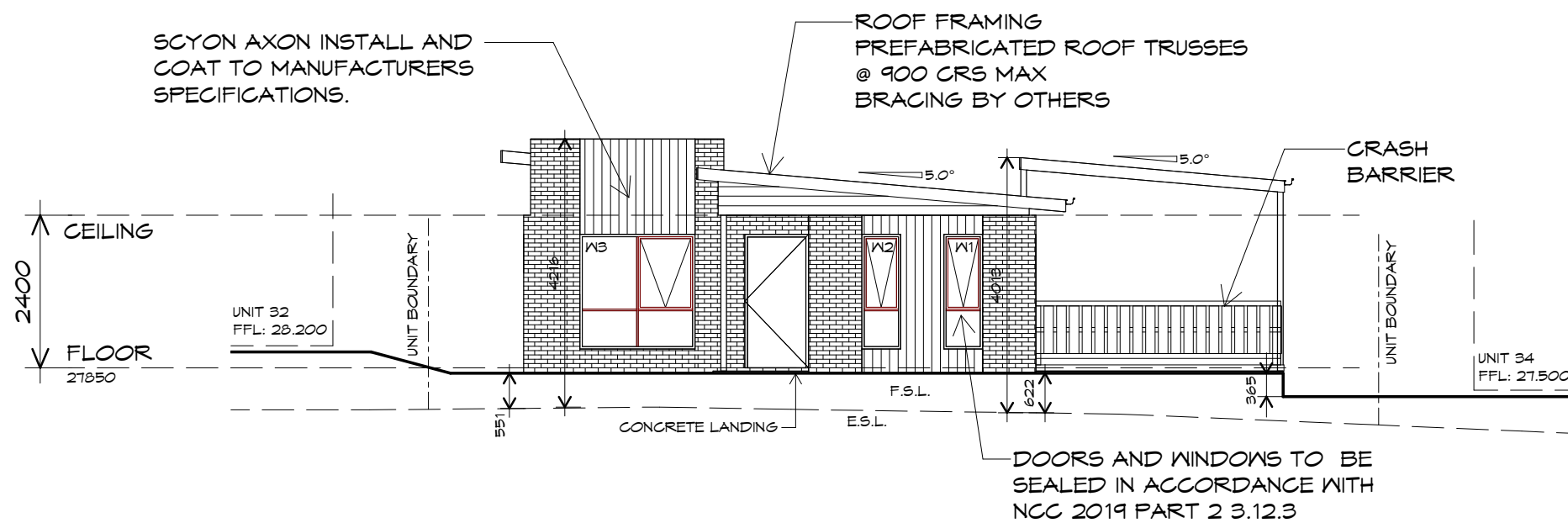
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Project/Drawing no:  
PD20068 -U33-02

Revision:  
02

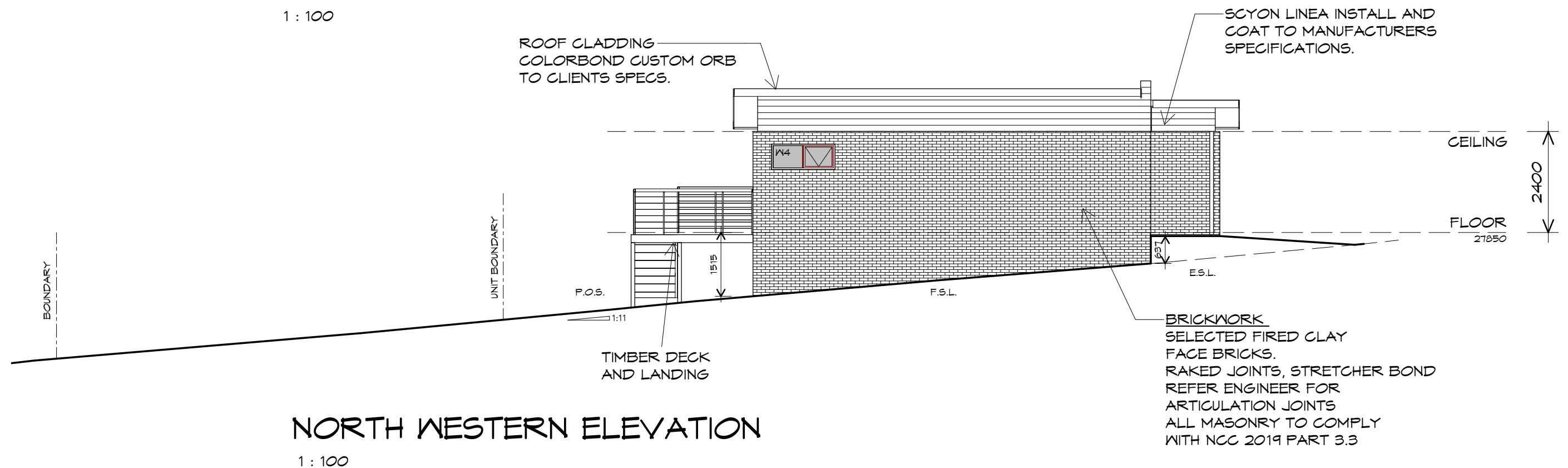


Accredited building practitioner: Frank Geskus -No CC246A



## SOUTH WESTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 33



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20068 -U33-03  
Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

## UNIT 33



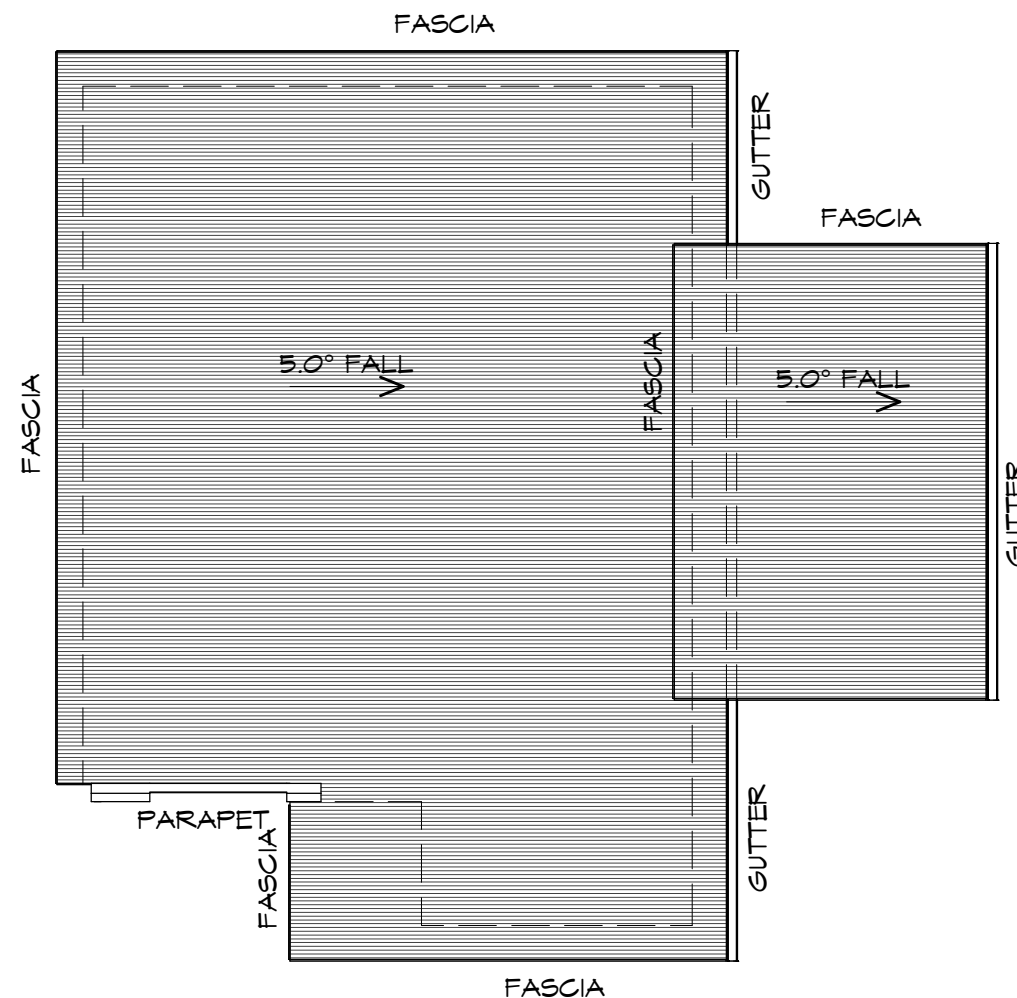
**CENTACARE**  
evolve  
HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no: PD20068 -U33-04  
Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

#### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

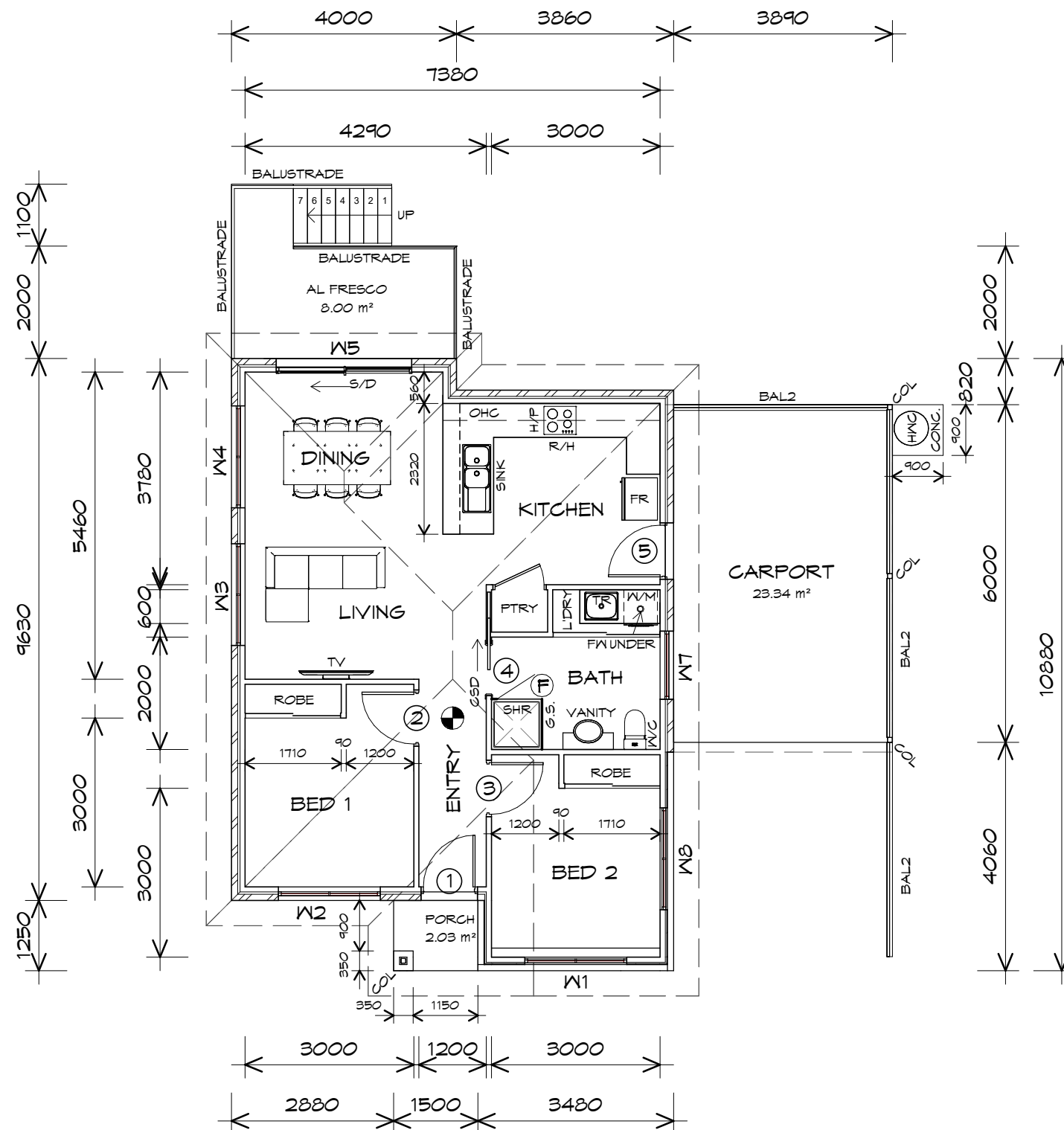
#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS





CARPORT AREA	23.34	m2	( 2.51 SQUARES )
FLOOR AREA	77.88	m2	( 8.37 SQUARES )
AL FRESCO AREA	8.00	m2	( 0.86 SQUARES )
PORCH AREA	1.88	m2	( 0.20 SQUARES )
TOTAL AREA	111.10		11.95

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- R/H RANGE HOOD
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- Ⓢ FW FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- BAL.2 CRASH BARRIER

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM DOOR
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1000	1810	AWNING WINDOW	OPAQUE
W2	1800	1810	AWNING WINDOW	
W3	1000	1810	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	2100	2410	SLIDING DOOR	
W7	600	1210	AWNING WINDOW	OPAQUE
W8	600	1810	AWNING WINDOW	

ALUMINIUM WINDOWS ??? GLAZING COMPLETE WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

## FLOOR PLAN

1 : 100

## UNIT 34



**CENTACARE**  
**evolve**  
**HOUSING**



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p(l)+ 03 6332 3790  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

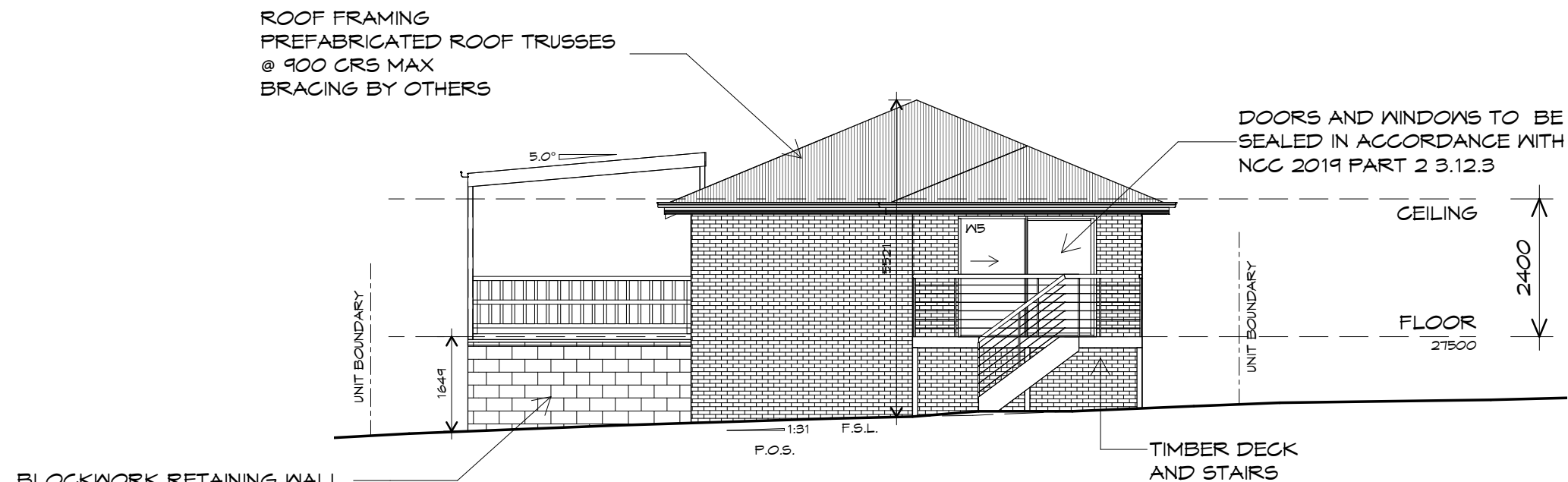
Project/Drawing no:  
PD20174 -U34-01

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A

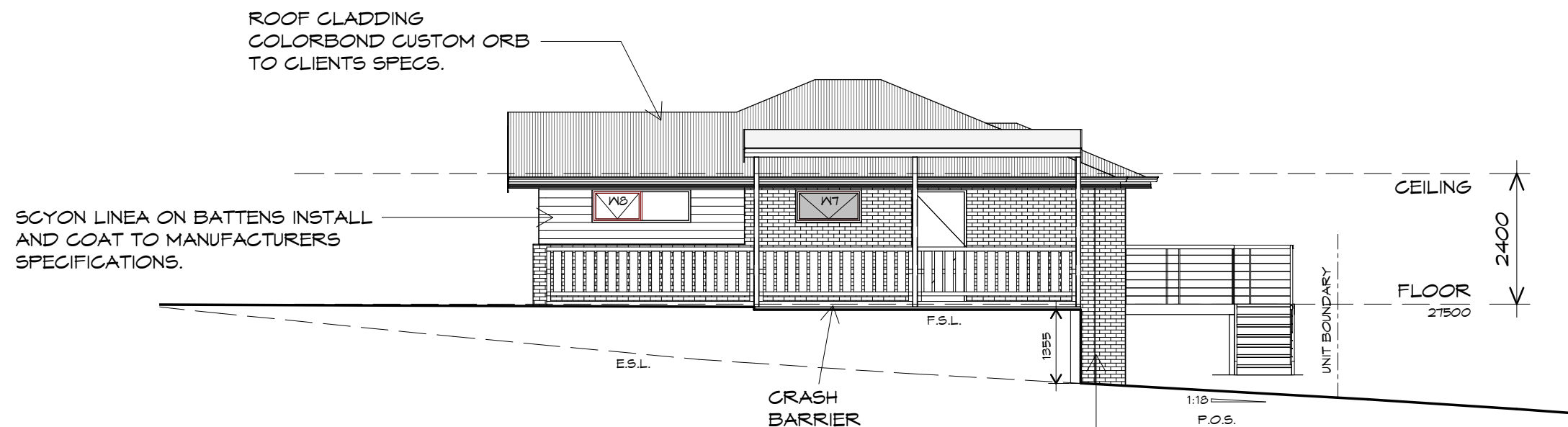
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## NORTH EASTERN ELEVATION

1 : 100



## SOUTH EASTERN ELEVATION

1 : 100

UNIT 34



**CENTACARE**  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by: A.G.M. Approved by: F.G.G.

Drawing:  
ELEVATIONS

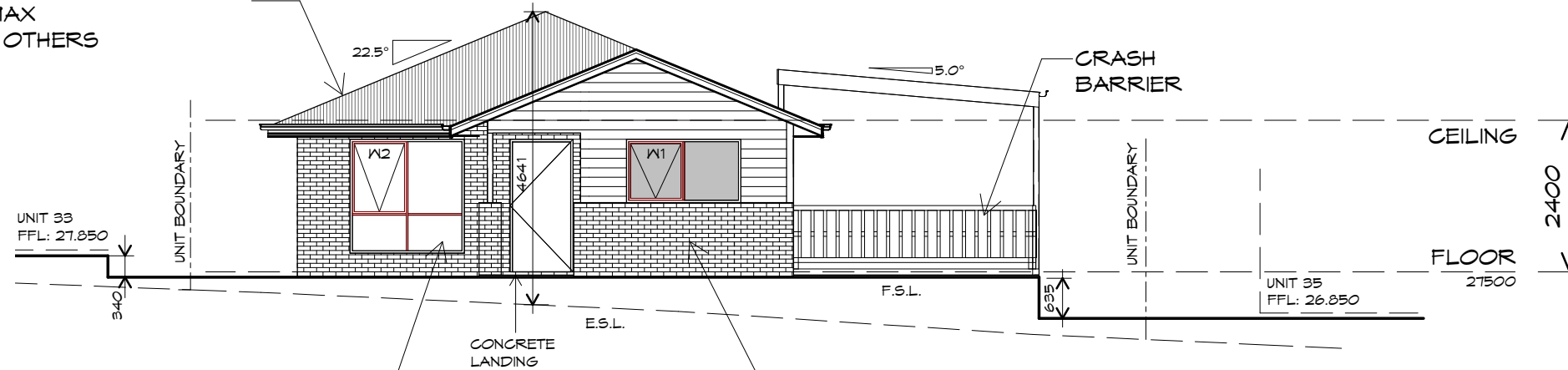
Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U34-02 Revision: 01



Accredited building practitioner: Frank Geskus -No CC246A

ROOF FRAMING  
 PREFABRICATED ROOF TRUSSES  
 @ 900 CRS MAX  
 BRACING BY OTHERS

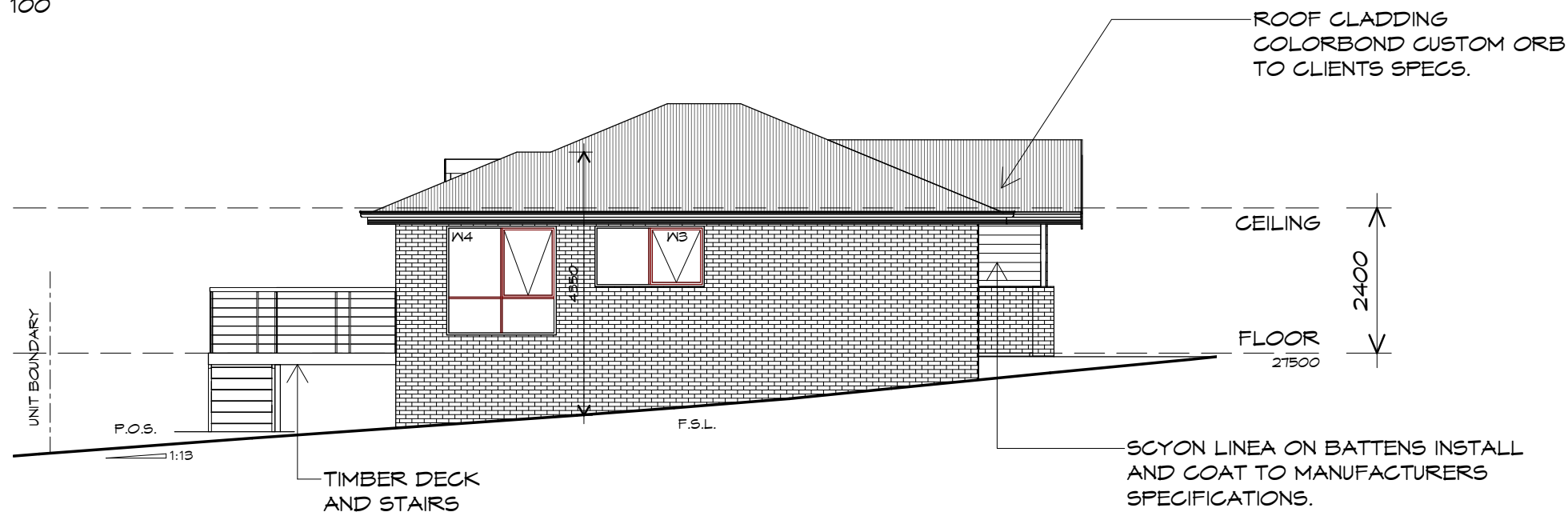


DOORS AND WINDOWS TO BE  
 SEALED IN ACCORDANCE WITH  
 NCC 2019 PART 2 3.12.3

BRICKWORK  
 SELECTED FIRED CLAY  
 FACE BRICKS.  
 RAKED JOINTS, STRETCHER BOND  
 REFER ENGINEER FOR  
 ARTICULATION JOINTS  
 ALL MASONRY TO COMPLY  
 WITH NCC 2019 PART 3.3

## SOUTH WESTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 34



**CENTACARE**  
 evolve  
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Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRIILL CIRCLE,  
 HERDSMAN COVE

Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Drawing:  
 ELEVATIONS

Date: 19/11/2021  
 Scale: 1 : 100

Project/Drawing no: PD20174 -U34-03  
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING  
 NOTE: DO NOT SCALE OFF DRAWINGS



## UNIT 34



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### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

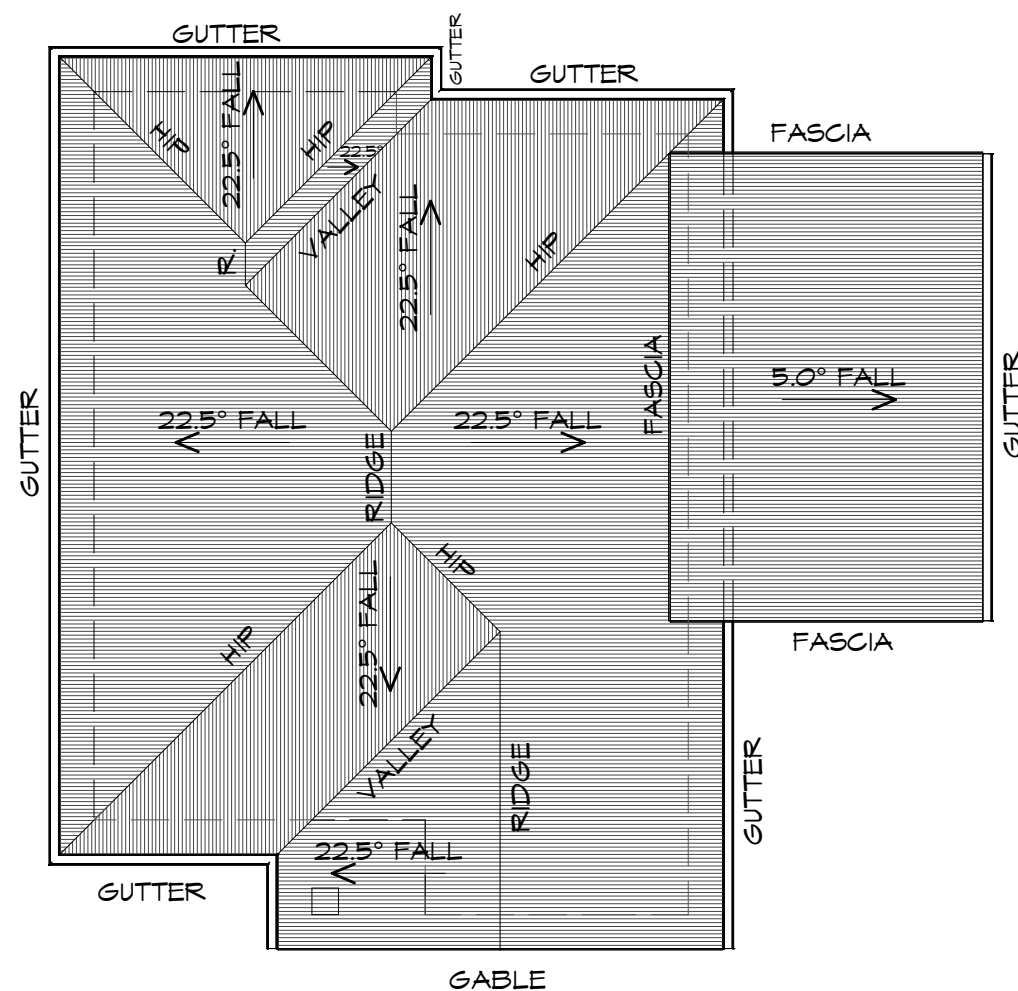
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no:  
PD20174 -U34-04

Revision:  
01

Accredited building practitioner: Frank Geskus -No CC246A



## FLOOR PLAN

1 : 100

UNIT 35



**CENTACARE**  
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HOUSING

**Prime Design**

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p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CRICLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FLOOR PLAN

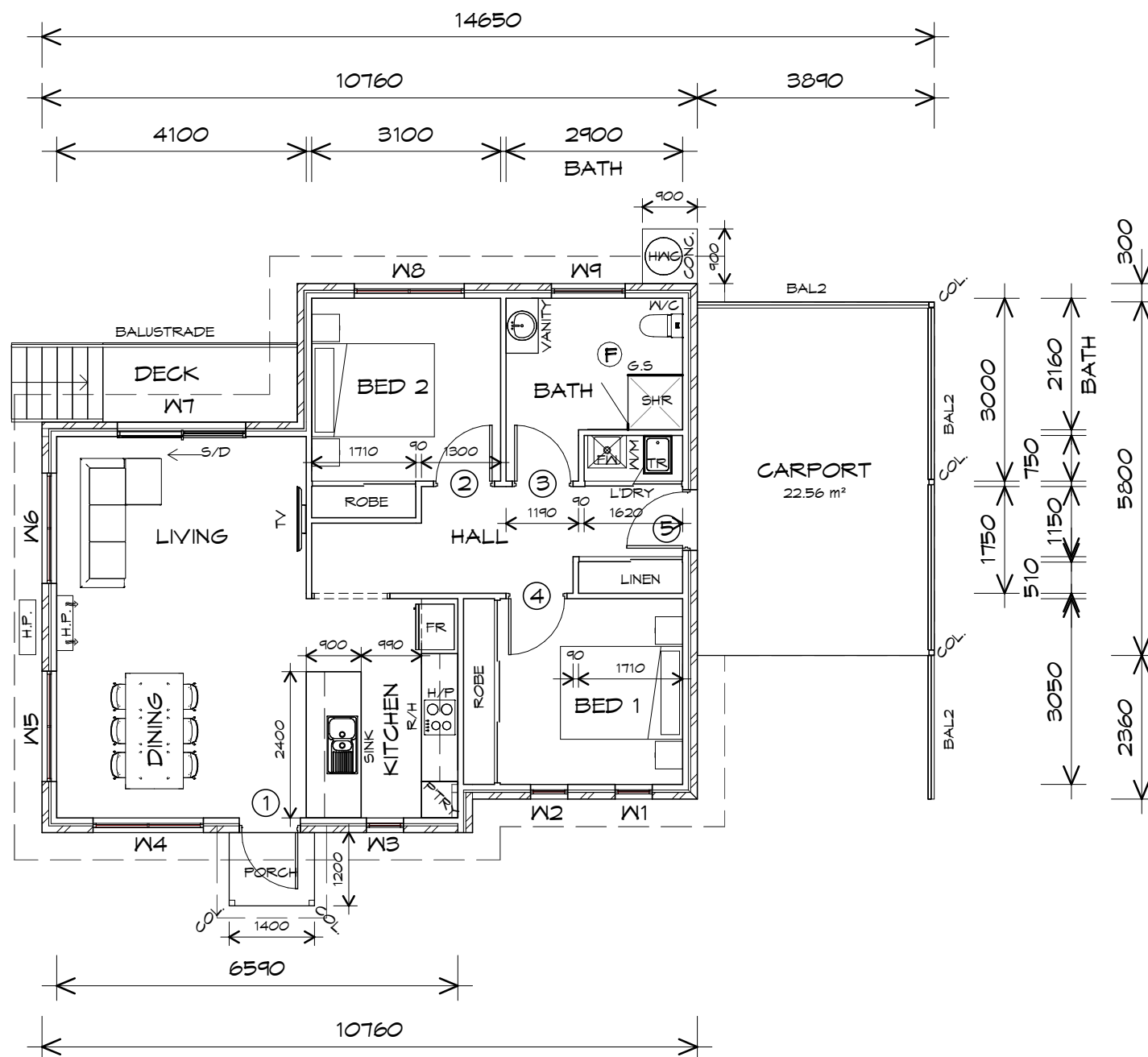
Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U35-01

Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR AREA	85.60	m2	( 9.20	SQUARES )
CARPORT AREA	23.34	m2	( 2.51	SQUARES )
PORCH AREA	1.68	m2	( 0.18	SQUARES )
DECK AREA	5.45	m2	( 0.59	SQUARES )
TOTAL AREA	116.07		12.48	

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.

## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGEHOOD TO OUTSIDE AIR.
- 240V SMOKE ALARM
- S/D SLIDING DOOR
- oFW FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- BAL.2 CRASH BARRIER

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL

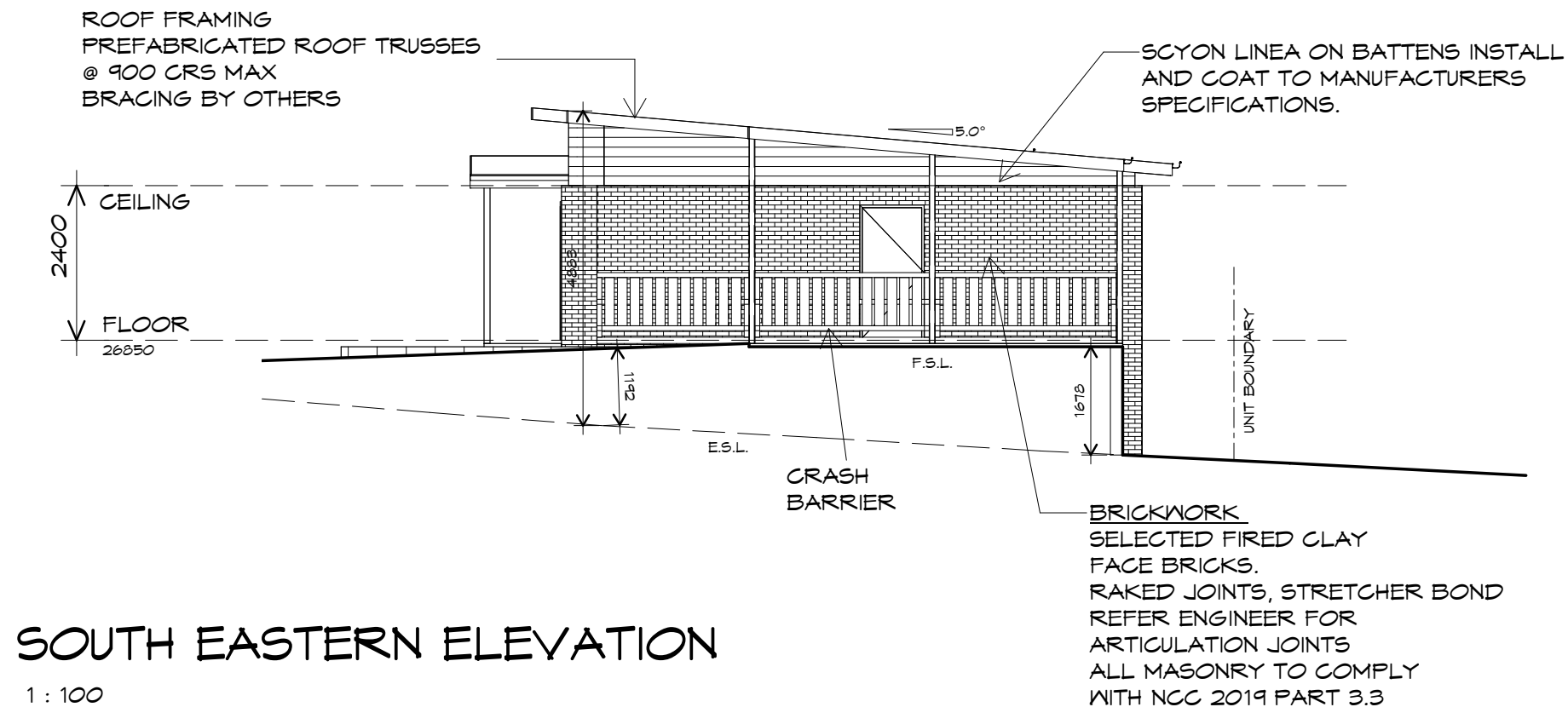
DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	610	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	600	1810	AWNING WINDOW	
W6	600	1810	AWNING WINDOW	
W7	2100	2110	SLIDING DOOR	
W8	1200	1810	AWNING WINDOW	
W9	900	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS ??? GLAZING COMPLETE  
WITH FLY SCREENS TO SUIT ??? BAL RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



UNIT 35



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED NEW RESIDENCE  
LAMPRILL CRICLE,  
HERDSMANS COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

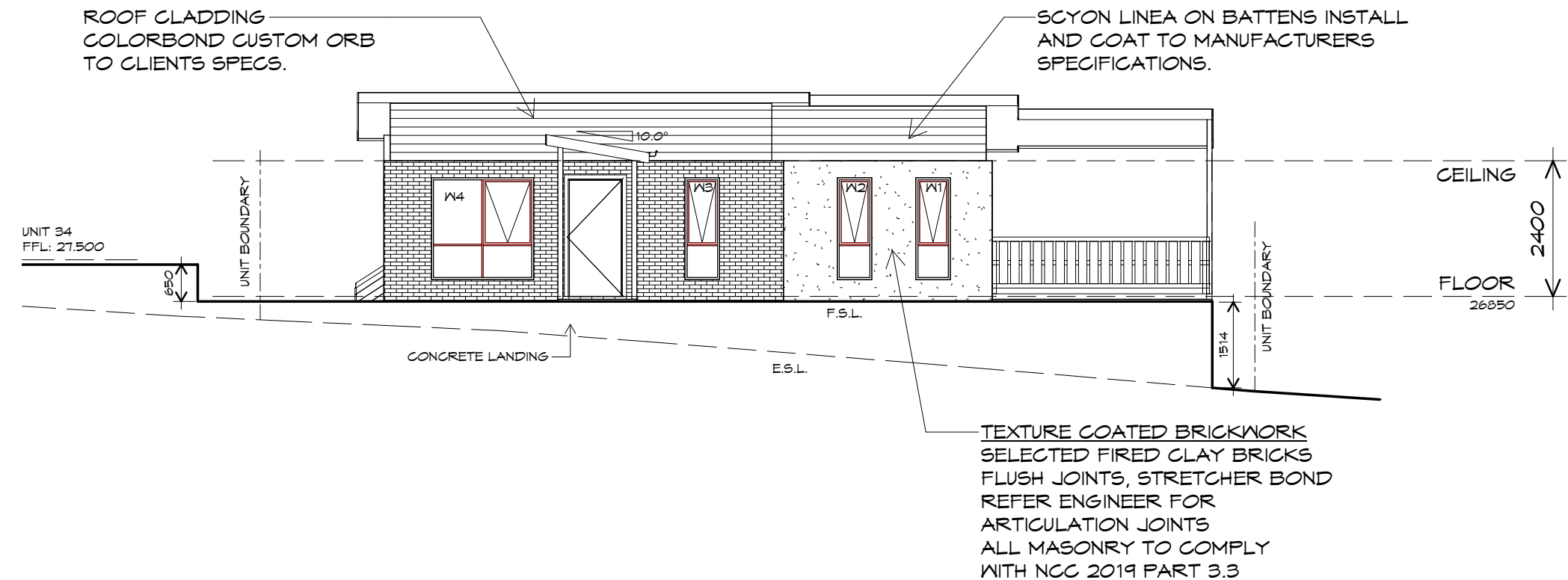
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Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A

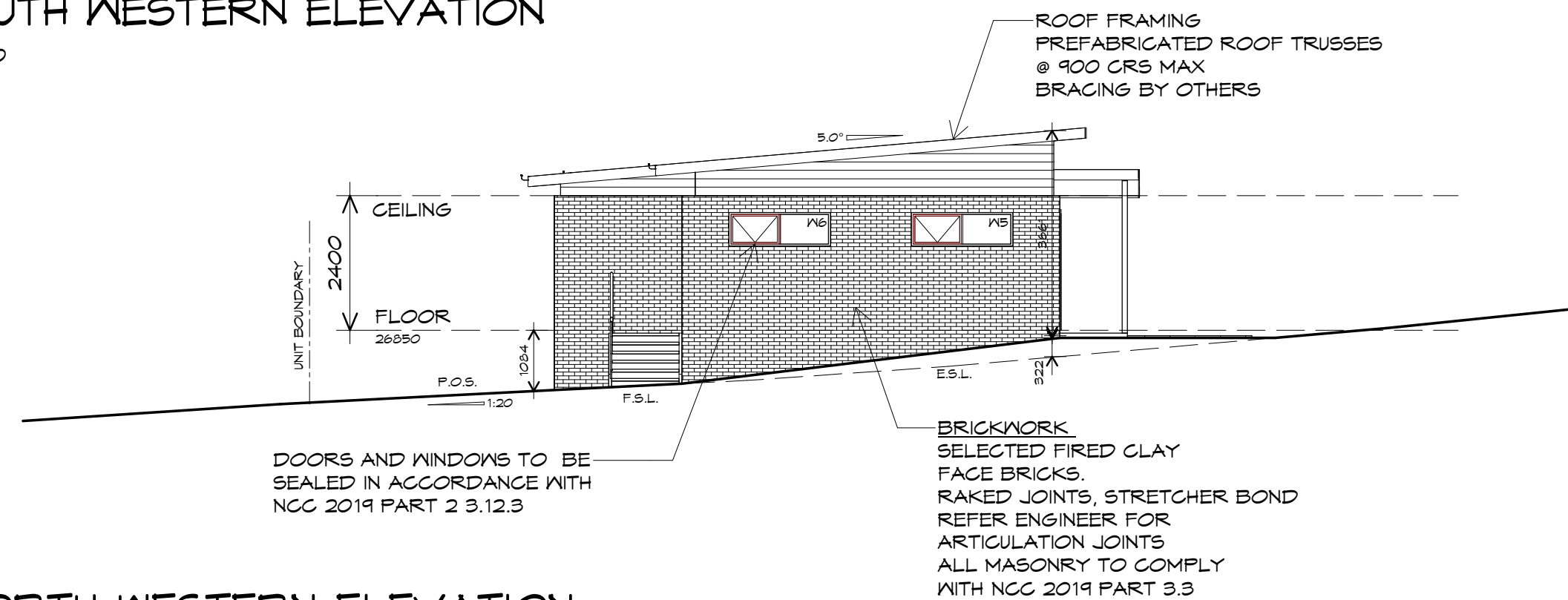
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





**SOUTH WESTERN ELEVATION**  
1 : 100



**NORTH WESTERN ELEVATION**  
1 : 100

UNIT 35



**CENTACARE**  
**evolve**  
**HOUSING**



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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED NEW RESIDENCE  
LAMPRILL CRICLE,  
HERDSMANS COVE**

Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by:  
**A.G.M.**

Approved by:  
**F.G.G.**

Drawing:  
**ELEVATIONS**

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U35-03 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



## UNIT 35



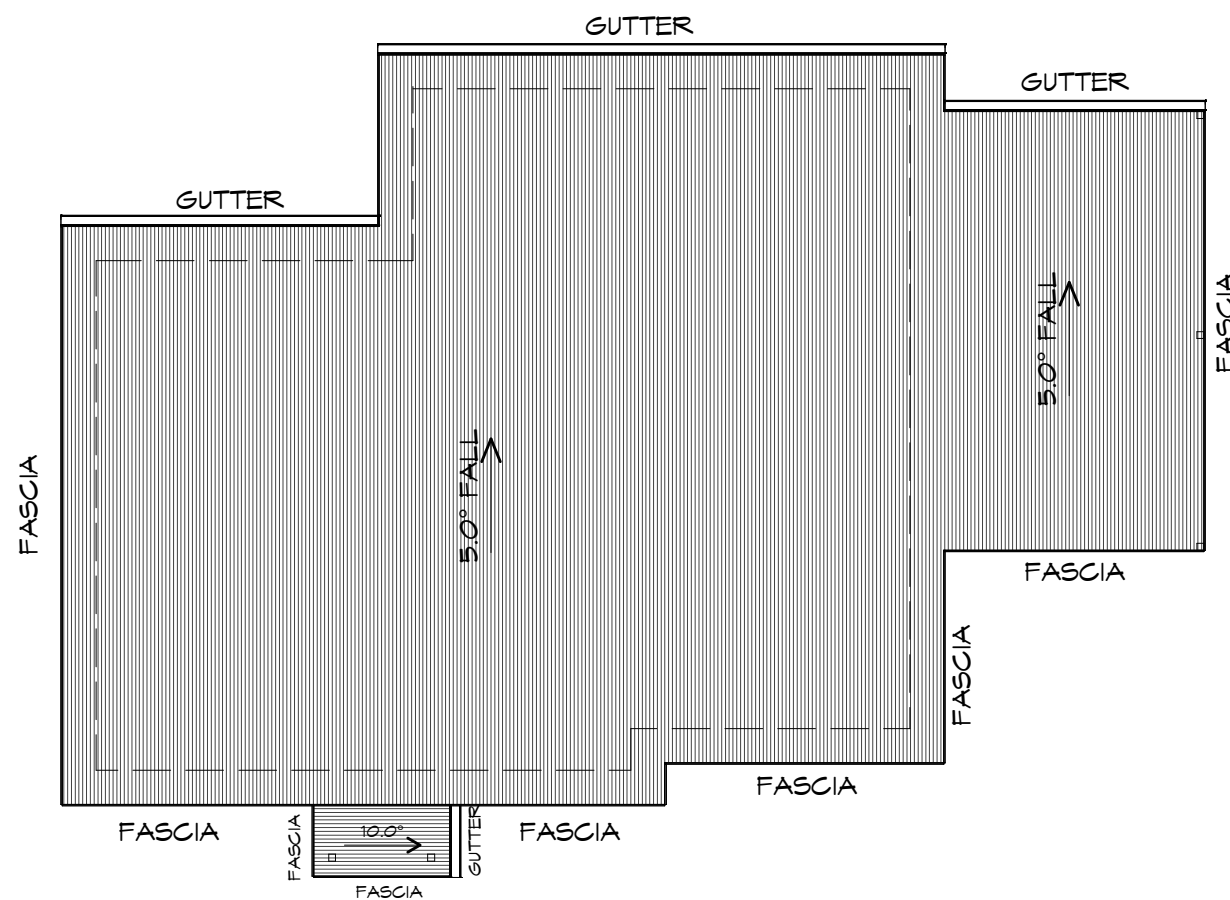
**CENTACARE**  
**evolve**  
 HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



#### ROOF PLUMBING NOTES:

##### GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
 NCC 2019 PART 3.5.2.4.  
 WITH FALL NO LESS THAN  
 1:100 FOR BOX GUTTERS  
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

##### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
 400mm AND ROOF OVERHANG OF NOT  
 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.  
 B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
 PLAN ARE NOMINAL ONLY.  
 EXACT LOCATION & NUMBER OF D.P'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
 WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

##### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
 ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
 CORROSION PROTECTION FOR SHEET ROOFING,  
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FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
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 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
 NCC 2019 PART 3.5.1.8

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
 PROPOSED NEW RESIDENCE  
 LAMPRILL CRICLE,  
 HERDSMANS COVE

Drawing:  
 ROOF PLAN

Client name:  
 CENTACARE EVOLVE HOUSING

Date: 19/11/2021  
 Scale: 1 : 100

Drafted by:  
 A.G.M.

Approved by:  
 F.G.G.



Project/Drawing no: PD20174 -U35-04  
 Revision: 03  
 Accredited building practitioner: Frank Geskus -No CC246A



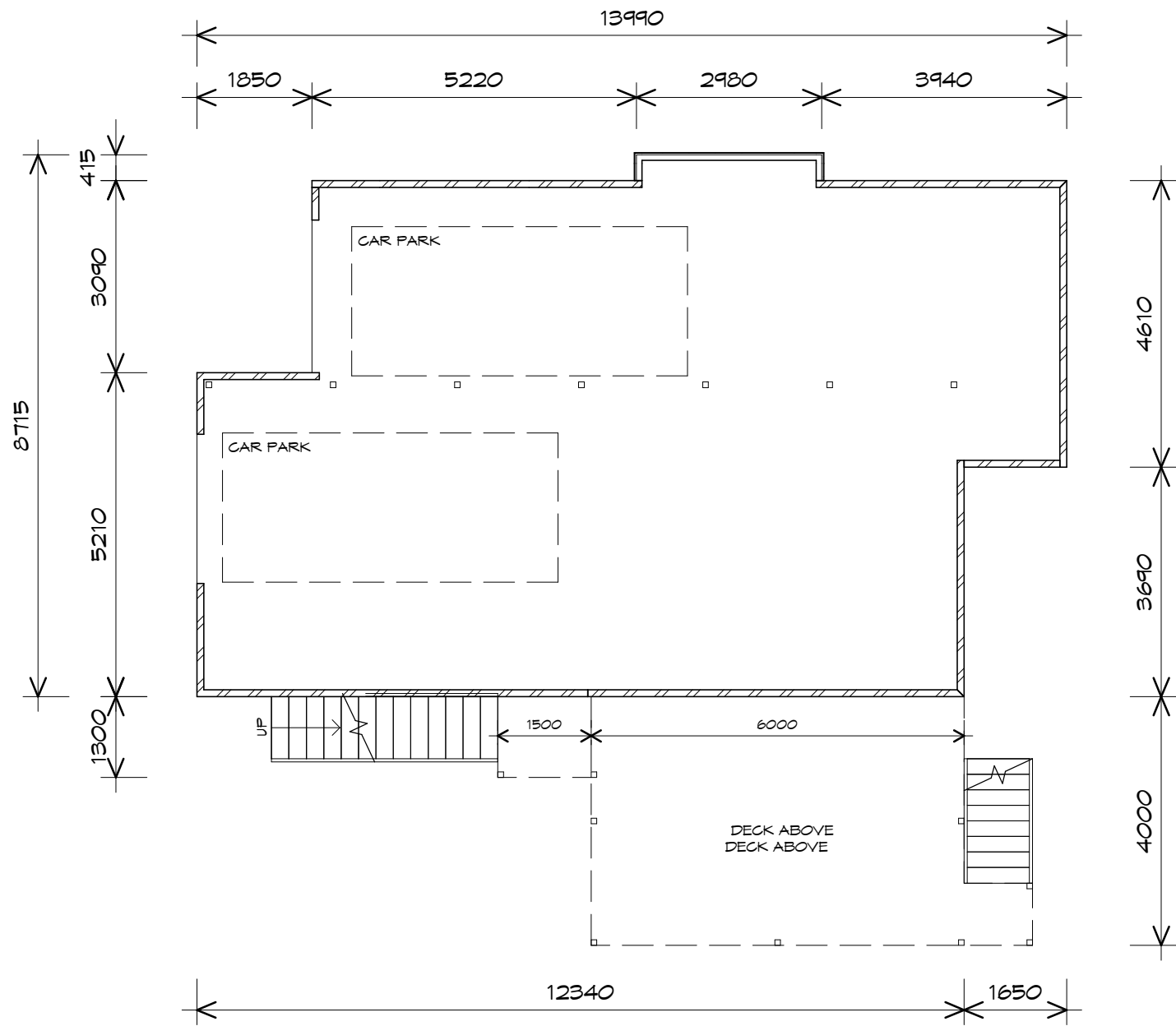
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LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- ⊙ 240V SMOKE ALARM
- S/D SLIDING DOOR
- ⦿ FW FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NOTE:  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

FIRST FLOOR AREA	102.71 m2	( 11.04 SQUARES )
AL FRESCO AREA	24.00 m2	( 2.58 SQUARES )
TOTAL AREA	126.71	13.63

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GROUND FLOOR PLAN

1 : 100

UNIT 36



**CENTACARE**  
**evolve**  
**HOUSING**



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRIILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
GROUND FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U36-01

Revision:  
06

Accredited building practitioner: Frank Geskus -No CC246A

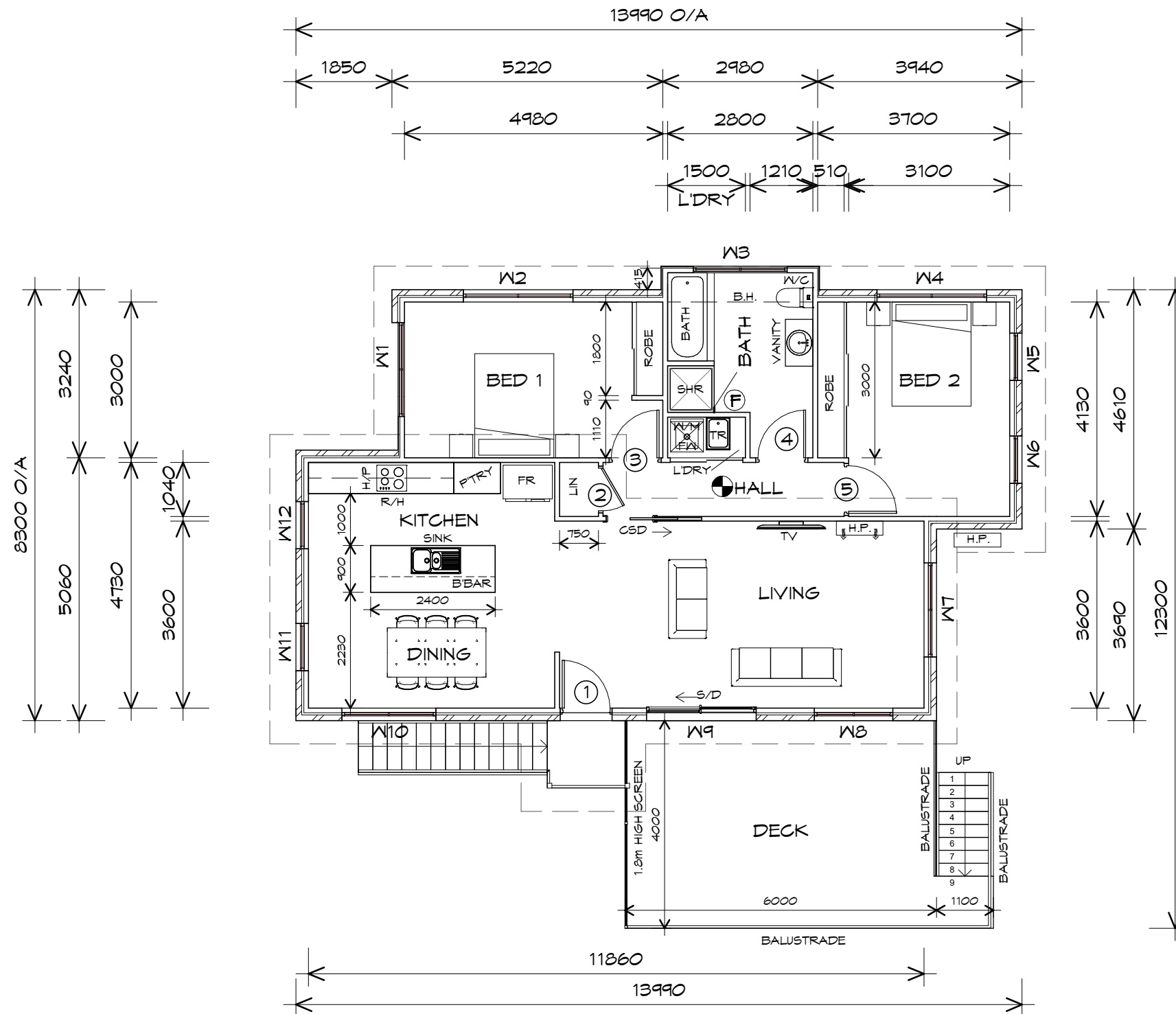


## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

FIRST FLOOR AREA	102.71 m <sup>2</sup>	( 11.04 SQUARES )
AL FRESCO AREA	24.00 m <sup>2</sup>	( 2.58 SQUARES )
TOTAL AREA	126.71	13.63

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## FIRST FLOOR PLAN

1 : 100

UNIT 36



**CENTACARE**  
**evolve**  
HOUSING



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p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FIRST FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U36-02

Revision:  
06

Accredited building practitioner: Frank Geskus -No CC246A

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	
2	920	CAVITY SLIDING DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	1810	AWNING WINDOW	
W2	1800	2110	AWNING WINDOW	
W3	900	1810	AWNING WINDOW	OPAQUE
W4	600	2110	AWNING WINDOW	
W5	1800	910	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	600	1510	AWNING WINDOW	
W9	2100	2110	SLIDING DOOR	
W10	1800	1810	AWNING WINDOW	
W11	1800	910	AWNING WINDOW	
W12	1800	910	AWNING WINDOW	

UNIT 36



CENTACARE  
evolve  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRIILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



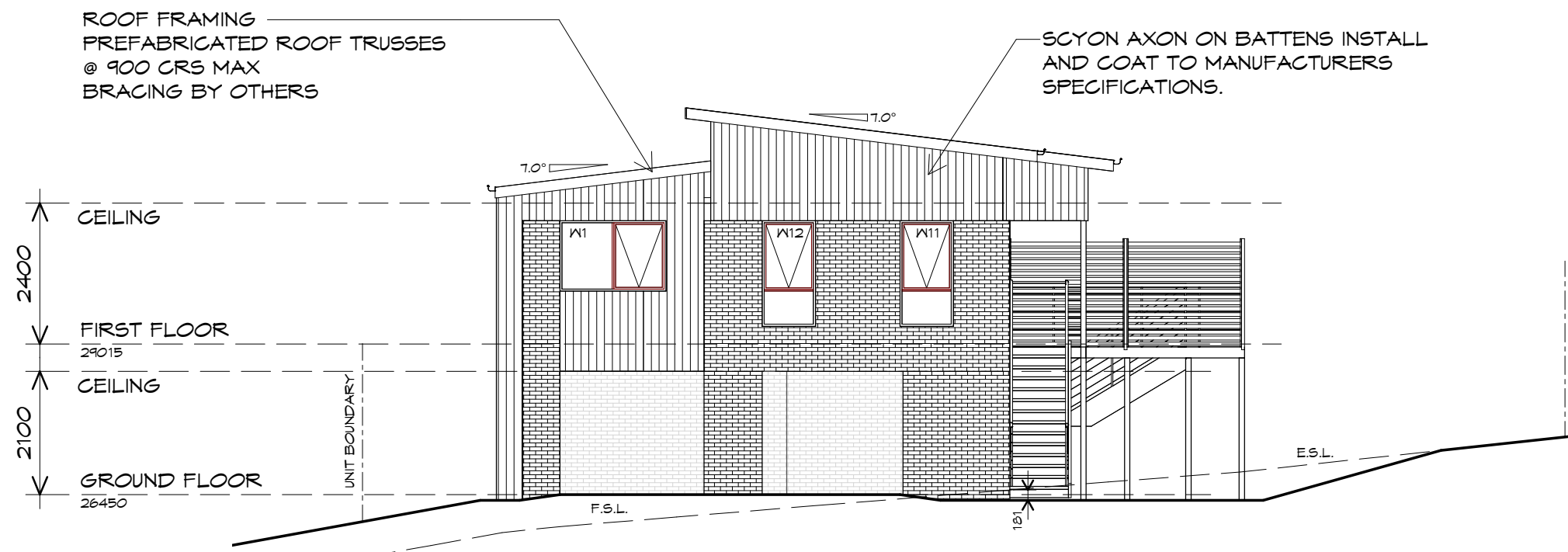
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DOOR AND WINDOW  
SCHEDULES

Date:  
19/11/2021

Project/Drawing no:  
PD20174 -U36-03

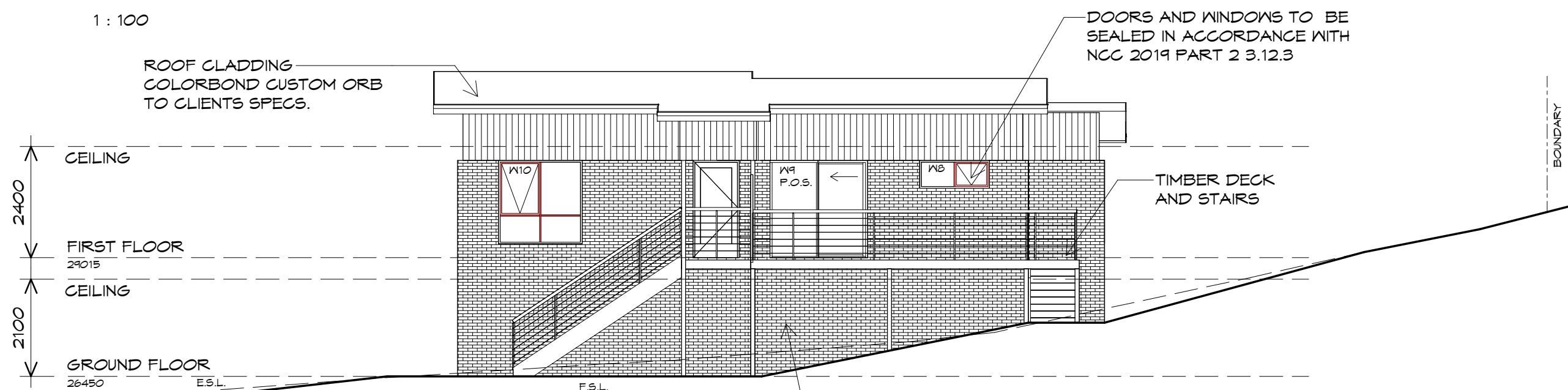
Revision:  
06

Accredited building practitioner: Frank Geskus -No CC246A



## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH NCC 2019 PART 3.3

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
NCC 2019 PART 2 3.12.3

TIMBER DECK  
AND STAIRS

UNIT 36



**CENTACARE**  
**evolve**  
HOUSING



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p(l)+ 03 6332 3790  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

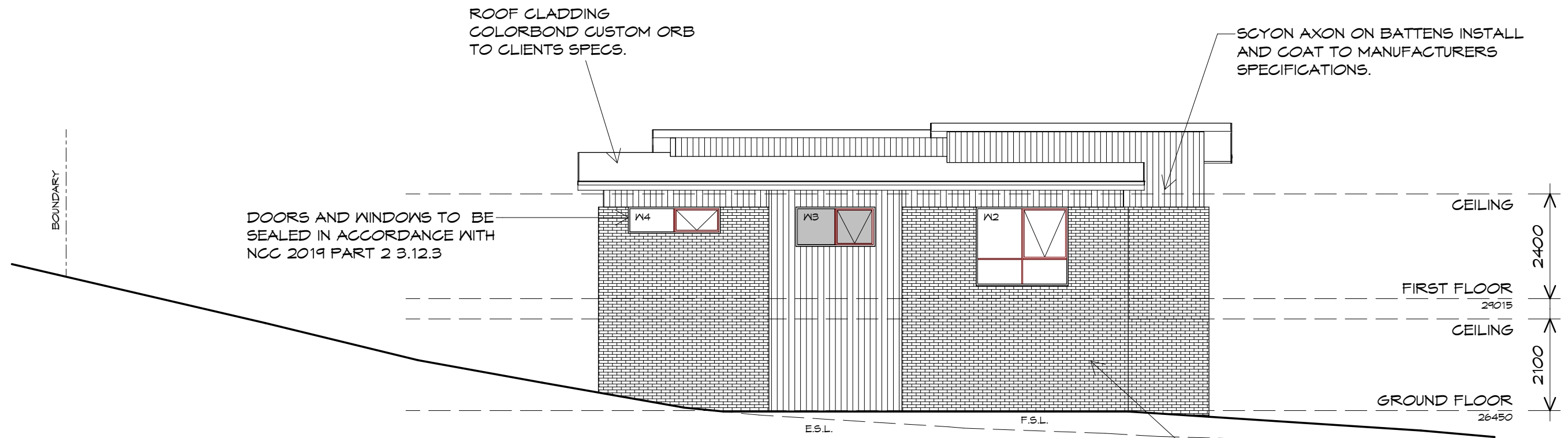
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Revision: 06

Accredited building practitioner: Frank Geskus -No CC246A

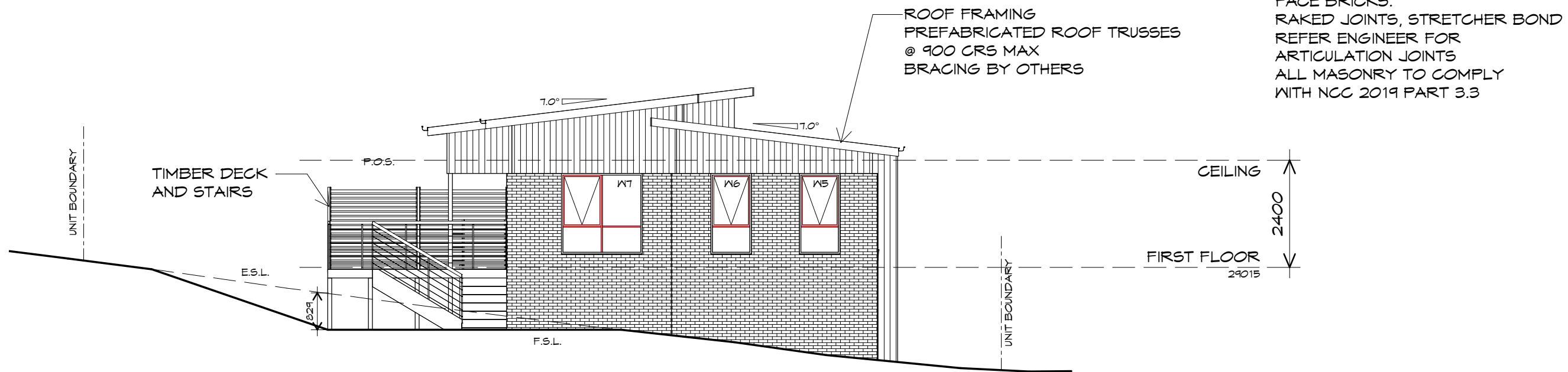
Drafted by: A.G.M.  
Approved by: F.G.G.







**SOUTH EASTERN ELEVATION**  
1 : 100



**SOUTH WESTERN ELEVATION**  
1 : 100

UNIT 36



**CENTACARE**  
**evolve**  
HOUSING



**Prime Design**  
10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
LOT 1 LAMPRIILL CIRCLE,  
HERDSMAN COVE  
Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by:  
**A.G.M.**  
Approved by:  
**F.G.G.**

Drawing:  
**ELEVATIONS**

Date:  
**19/11/2021**  
Scale:  
**1 : 100**

Project/Drawing no:  
**PD20174 -U36-05**  
Revision:  
**06**



Accredited building practitioner: Frank Geskus -No CC246A

## UNIT 36



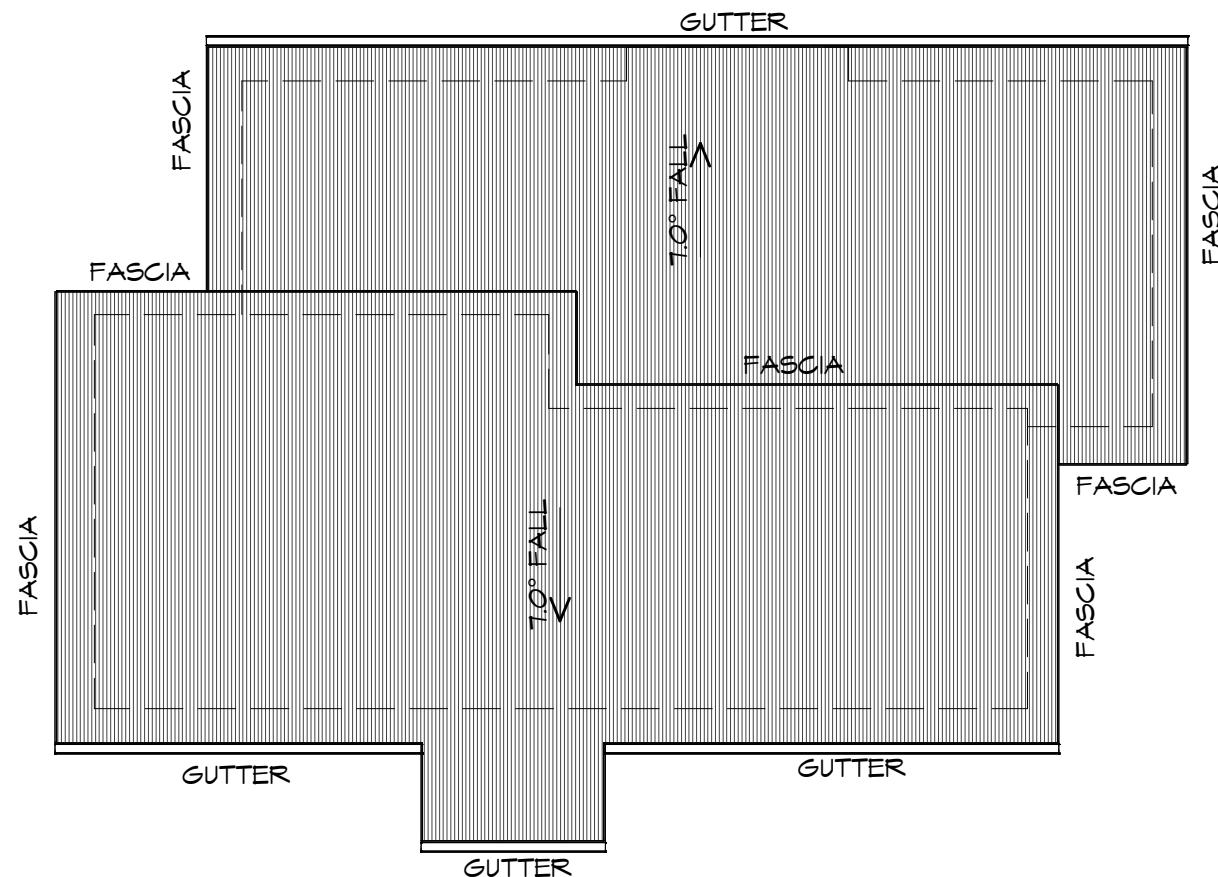
**CENTACARE**  
**evolve**  
HOUSING

### ROOF PLAN

1 : 100

#### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED RESIDENTIAL  
DEVELOPMENT**  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
**CENTACARE EVOLVE HOUSING**

Drafted by:  
**A.G.M.** Approved by:  
**F.G.G.**



Drawing:  
**ROOF PLAN**

Date:  
**19/11/2021** Scale:  
**1 : 100**

Project/Drawing no:  
**PD20174 -U36-06** Revision:  
**06**

Accredited building practitioner: Frank Geskus -No CC246A

#### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

#### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

#### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.  
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

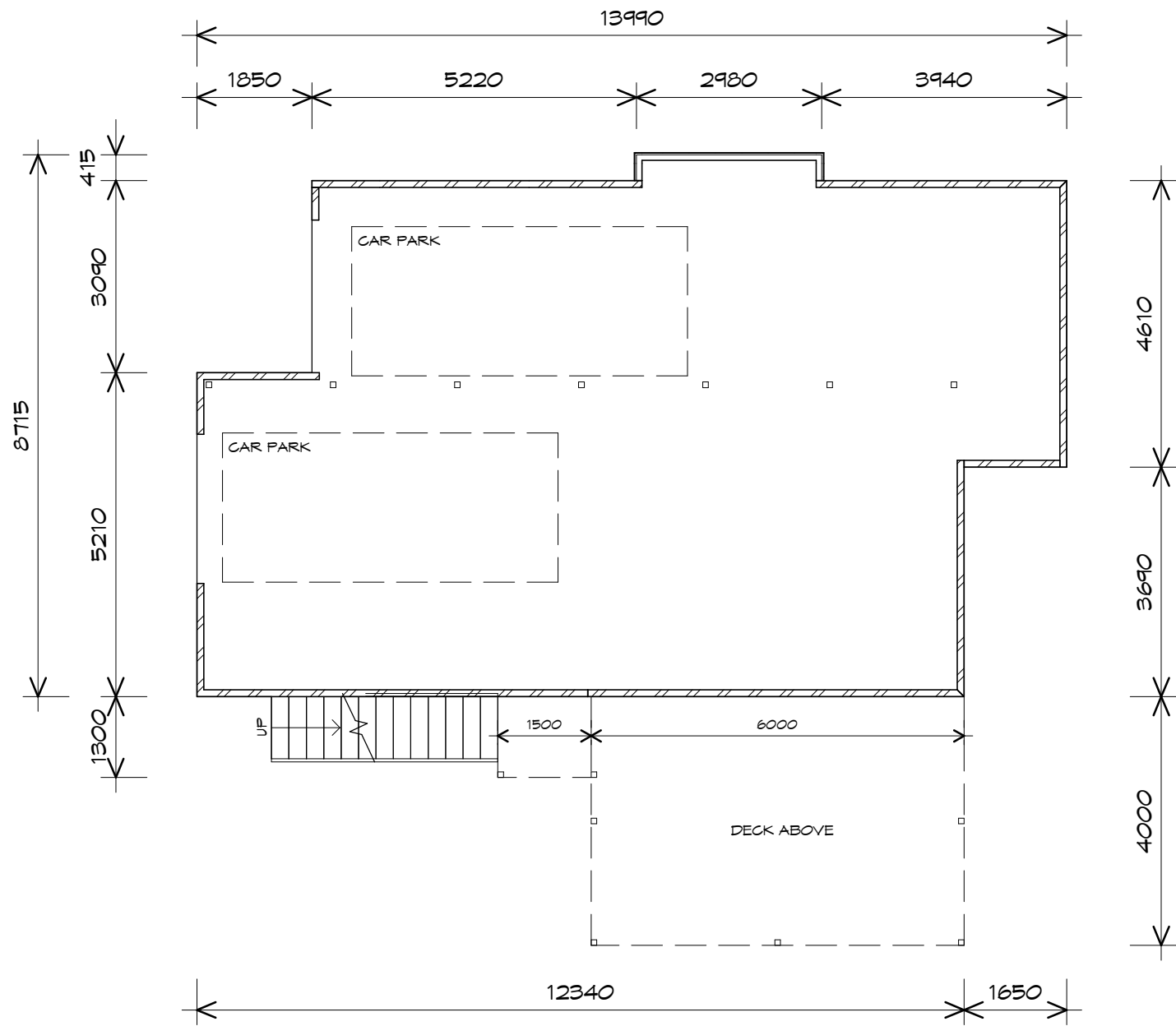
**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- ⊙ 240V SMOKE ALARM
- S/D SLIDING DOOR
- ⬢ FW FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NOTE:  
WHERE LIGHT WEIGHT CLADDING IS  
USED DIMENSIONS ARE TO FRAME ONLY  
AND DO NOT INCLUDE LIGHT WEIGHT  
CLADDING

FIRST FLOOR AREA	102.71 m2	( 11.04 SQUARES )
AL FRESCO AREA	24.00 m2	( 2.58 SQUARES )
TOTAL AREA	126.71	13.63

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.

GROUND FLOOR PLAN

1 : 100

UNIT 37



**CENTACARE**  
**evolve**  
**HOUSING**



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p(l)+ 03 6332 3790  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drawing:  
GROUND FLOOR PLAN

Date:  
19/11/2021  
Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U37-01  
Revision:  
05

Drafted by:  
A.G.M.  
Approved by:  
F.G.G.



Accredited building practitioner: Frank Geskus -No CC246A

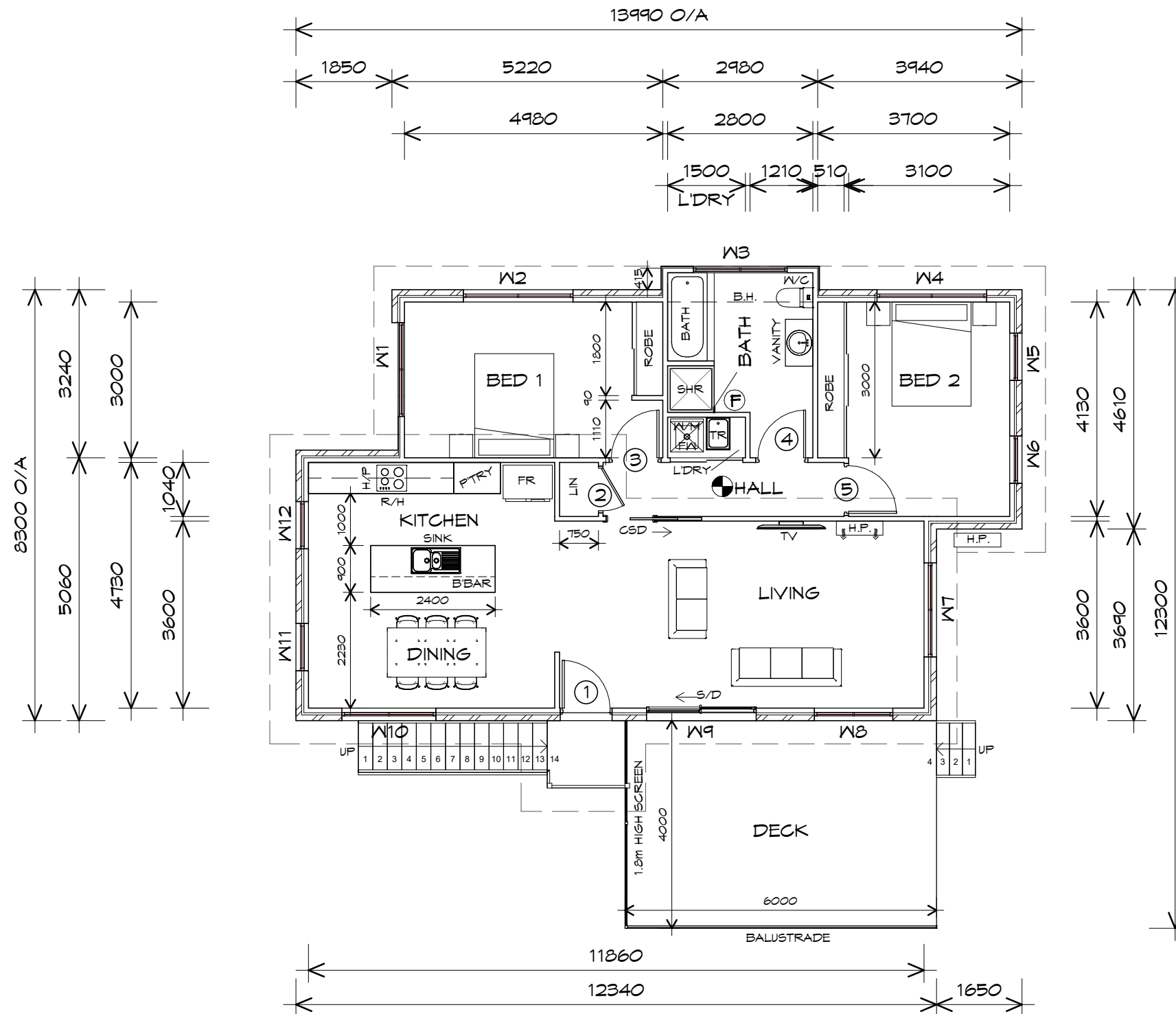


## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

FIRST FLOOR AREA	102.71 m <sup>2</sup>	( 11.04 SQUARES )
AL FRESCO AREA	24.00 m <sup>2</sup>	( 2.58 SQUARES )
TOTAL AREA	126.71	13.63

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## FIRST FLOOR PLAN

1 : 100

UNIT 37



**CENTACARE**  
**evolve**  
HOUSING



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p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FIRST FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U37-02

Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	
2	920	CAVITY SLIDING DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	1810	AWNING WINDOW	
W2	1800	2110	AWNING WINDOW	
W3	900	1810	AWNING WINDOW	OPAQUE
W4	600	2110	AWNING WINDOW	
W5	1800	910	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	600	1510	AWNING WINDOW	
W9	2100	2110	SLIDING DOOR	
W10	1800	1810	AWNING WINDOW	
W11	1800	910	AWNING WINDOW	
W12	1800	910	AWNING WINDOW	

UNIT 37



CENTACARE  
evolve  
HOUSING



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p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRIILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
DOOR AND WINDOW  
SCHEDULES

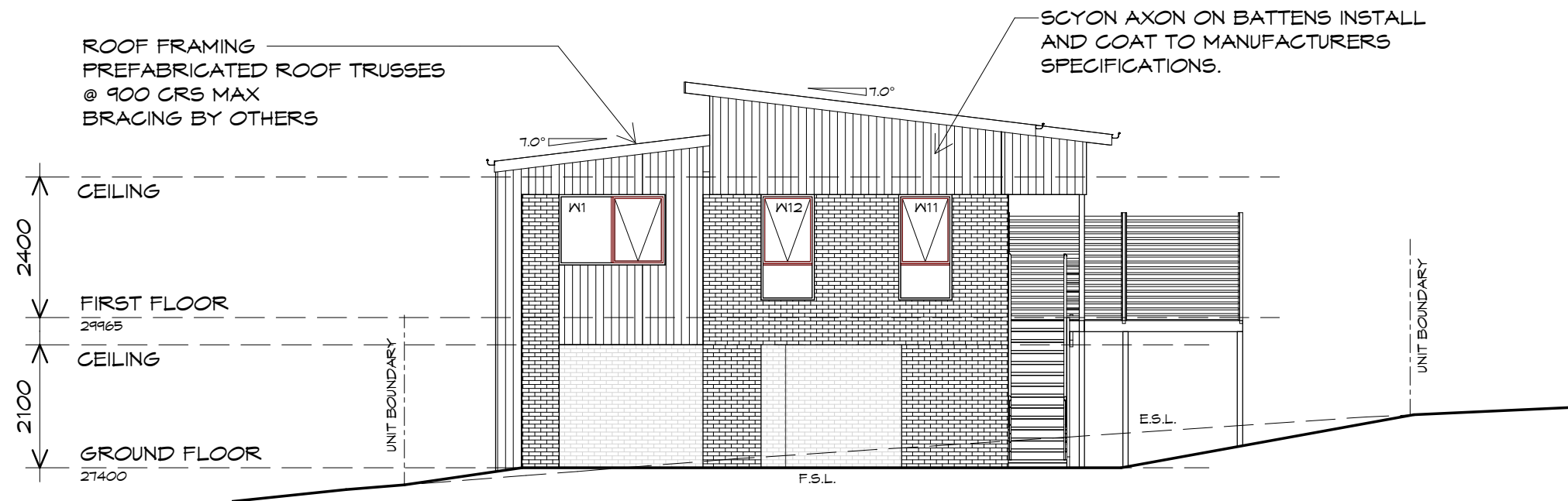
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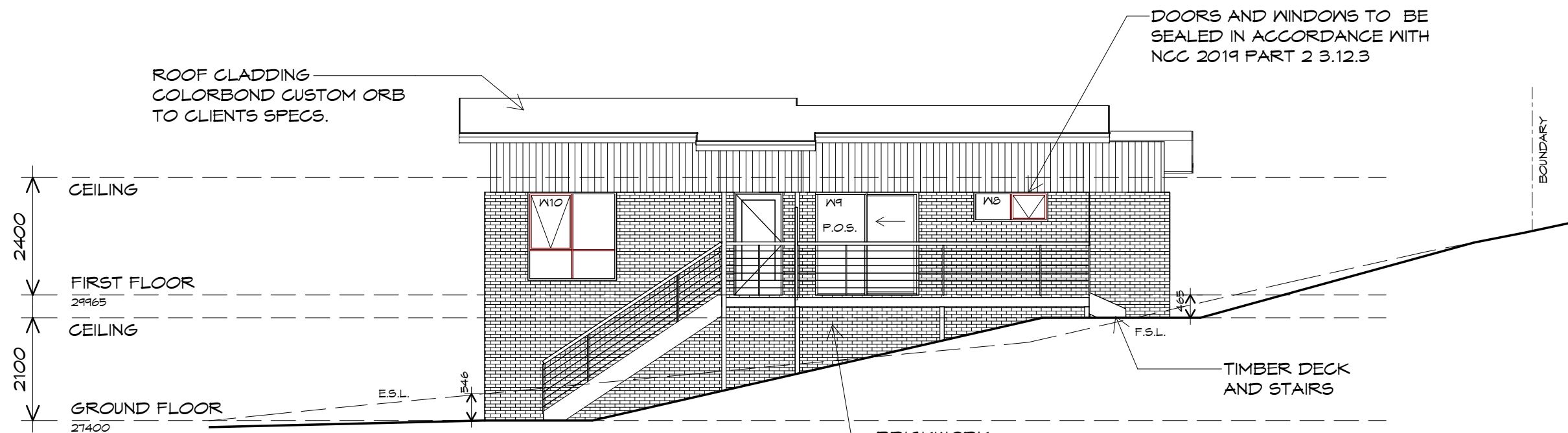
Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A



## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 37



**CENTACARE**  
**evolve**  
HOUSING



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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



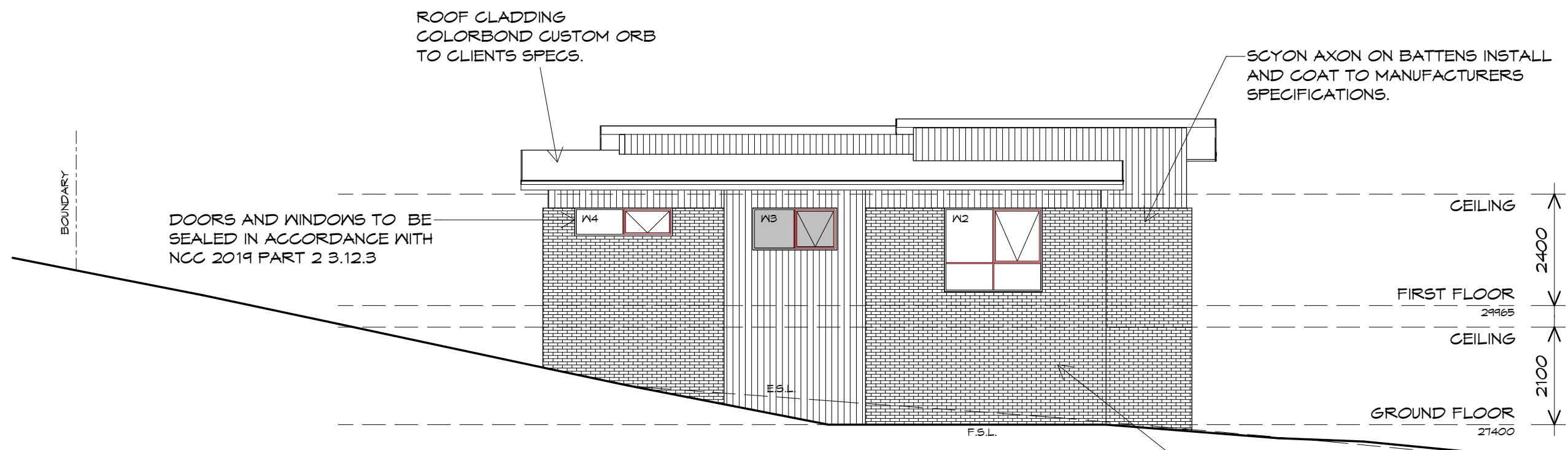
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ELEVATIONS

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Project/Drawing no: PD20174 -U37-04  
Revision: 05

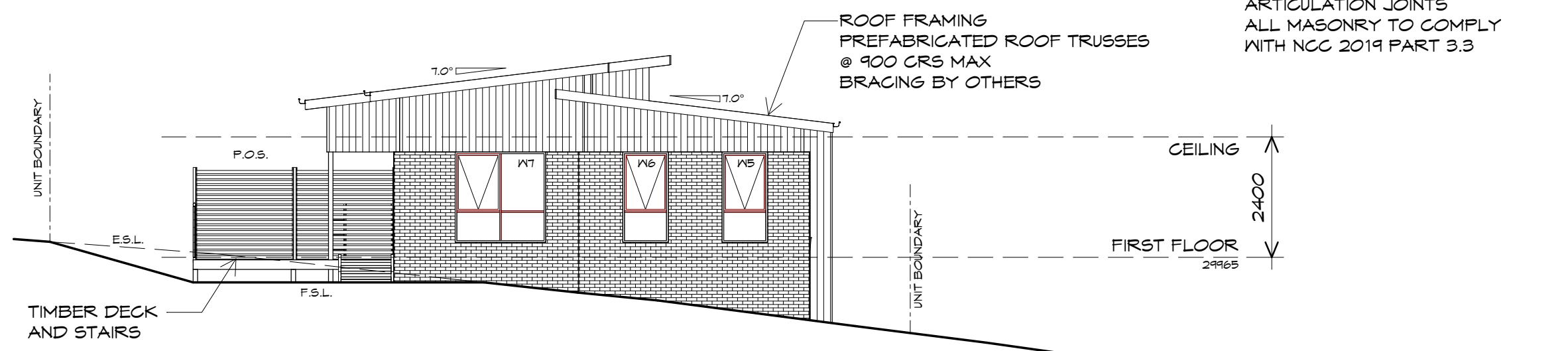
Accredited building practitioner: Frank Geskus -No CC246A





## SOUTH EASTERN ELEVATION

1 : 100



## SOUTH WESTERN ELEVATION

1 : 100

UNIT 37



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M. Approved by:  
F.G.G.

Drawing:  
ELEVATIONS

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U37-05 Revision: 05



Accredited building practitioner: Frank Geskus -No CC246A

## UNIT 37



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M. Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date:  
19/11/2021 Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U37-06 Revision:  
05

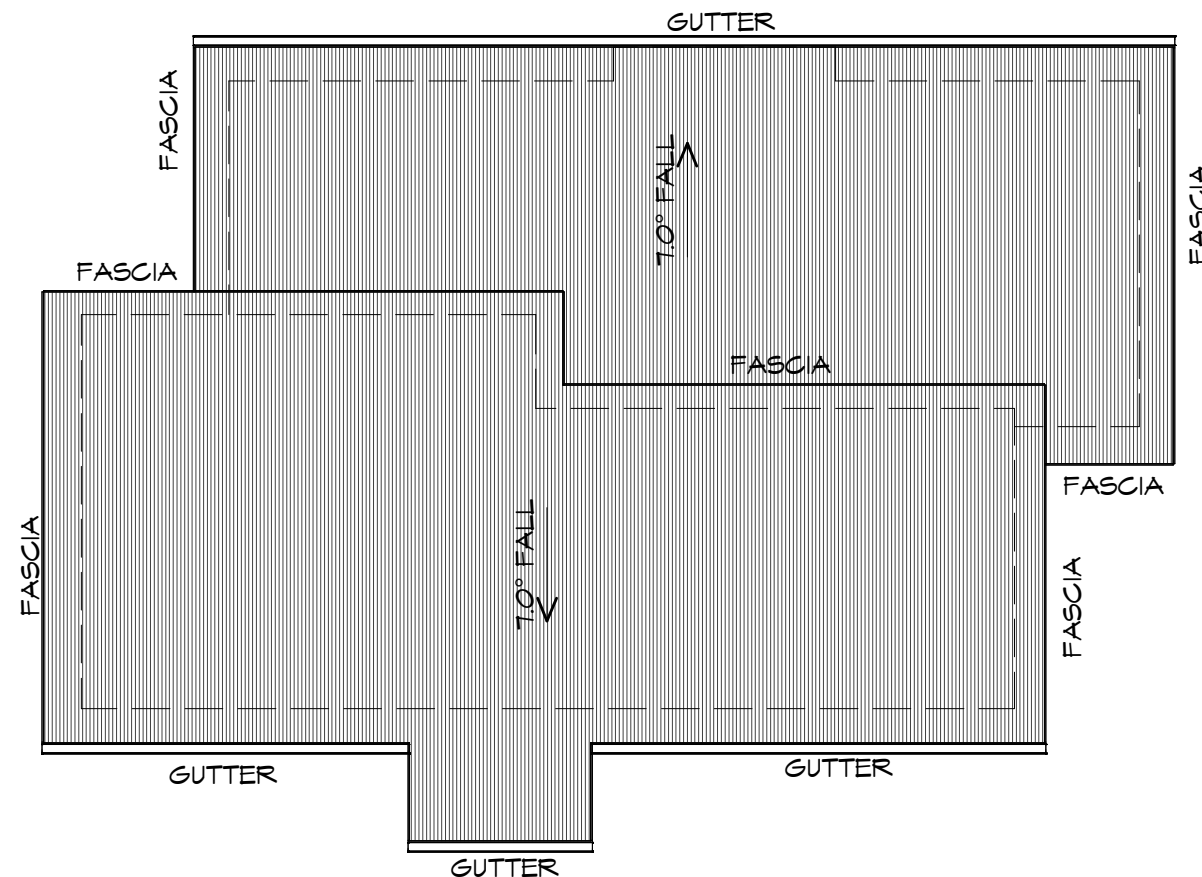
Accredited building practitioner: Frank Geskus -No CC246A

## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.

REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

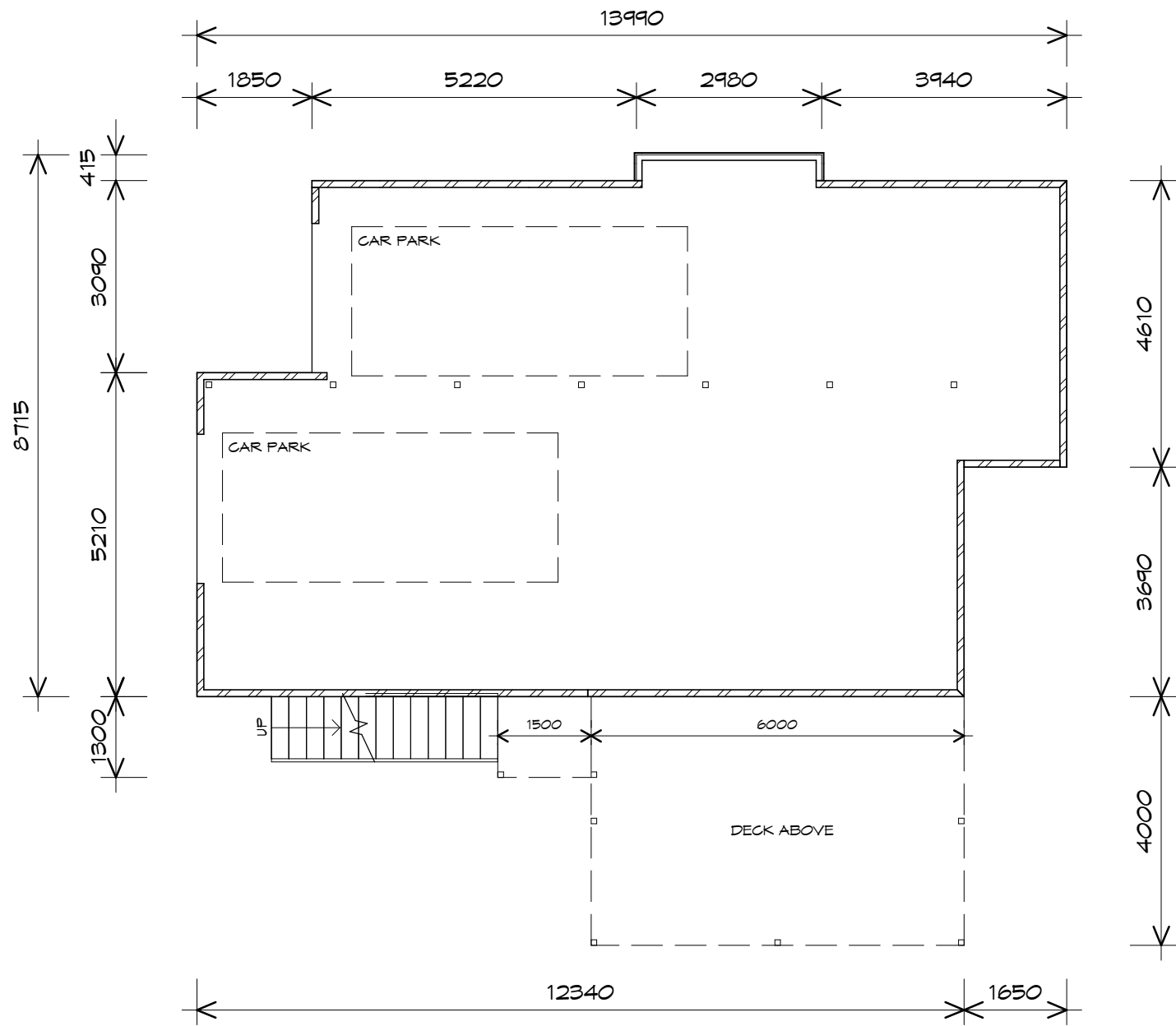
PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- ⊙ 240V SMOKE ALARM
- S/D SLIDING DOOR
- ⬢ FW FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NOTE:  
WHERE LIGHT WEIGHT CLADDING IS  
USED DIMENSIONS ARE TO FRAME ONLY  
AND DO NOT INCLUDE LIGHT WEIGHT  
CLADDING

FIRST FLOOR AREA	102.71 m2	( 11.04 SQUARES )
AL FRESCO AREA	24.00 m2	( 2.58 SQUARES )
TOTAL AREA	126.71	13.63

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.

GROUND FLOOR PLAN

1 : 100

UNIT 38



**CENTACARE**  
**evolve**  
HOUSING



10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
160 New Town Road, New Town, Hobart 7008  
p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.  
Approved by:  
F.G.G.



Drawing:  
GROUND FLOOR PLAN

Date:  
19/11/2021  
Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U38-01  
Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

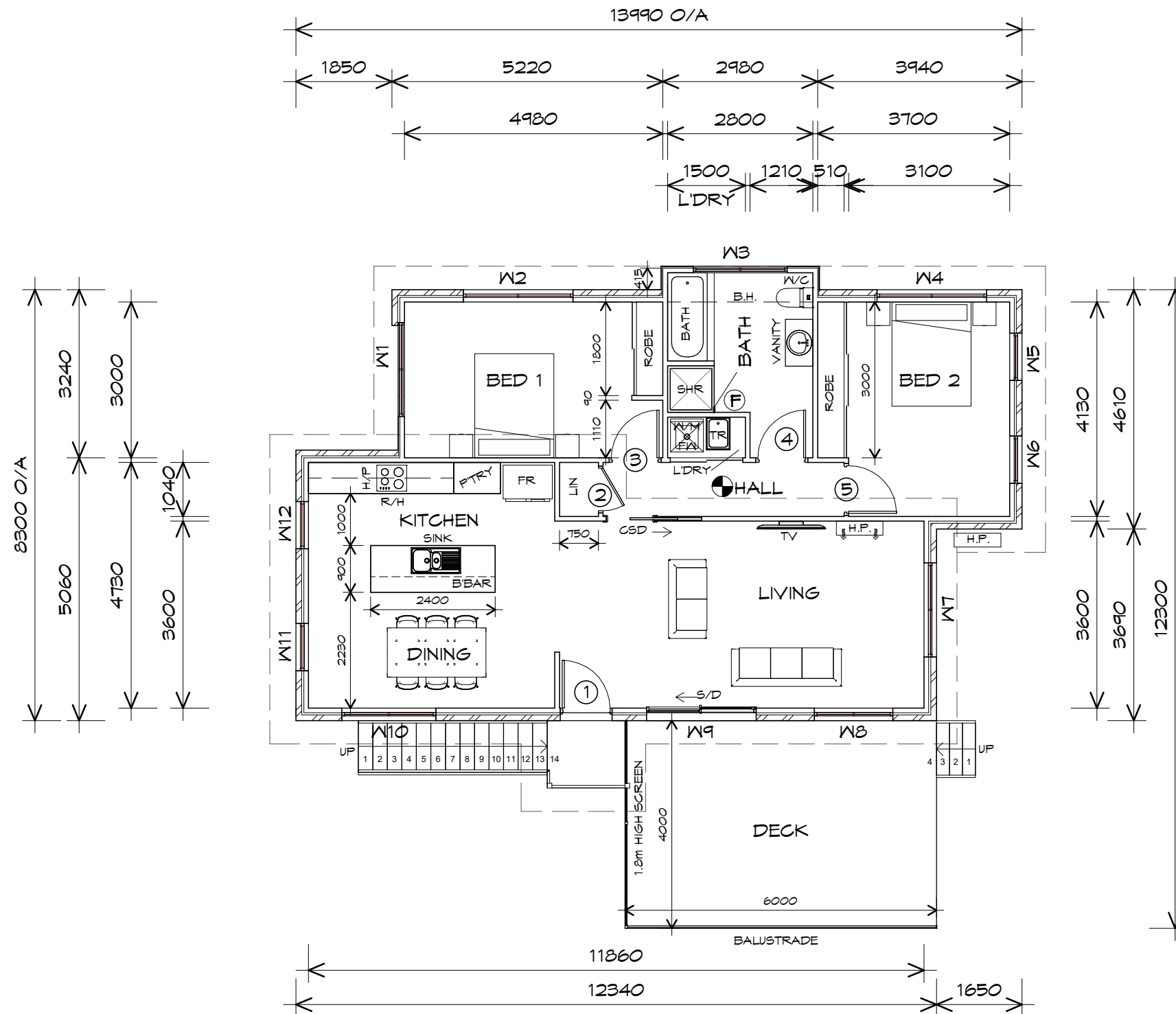


## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

FIRST FLOOR AREA	102.71 m <sup>2</sup>	( 11.04 SQUARES )
AL FRESCO AREA	24.00 m <sup>2</sup>	( 2.58 SQUARES )
TOTAL AREA	126.71	13.63

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## FIRST FLOOR PLAN

1 : 100

UNIT 38



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FIRST FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U38-02

Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	
2	920	CAVITY SLIDING DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	1810	AWNING WINDOW	
W2	1800	2110	AWNING WINDOW	
W3	900	1810	AWNING WINDOW	OPAQUE
W4	600	2110	AWNING WINDOW	
W5	1800	910	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	600	1510	AWNING WINDOW	
W9	2100	2110	SLIDING DOOR	
W10	1800	1810	AWNING WINDOW	
W11	1800	910	AWNING WINDOW	
W12	1800	910	AWNING WINDOW	

UNIT 38



CENTACARE  
evolve  
HOUSING



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p(l)+ 03 6332 3790  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRIILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
DOOR AND WINDOW  
SCHEDULES

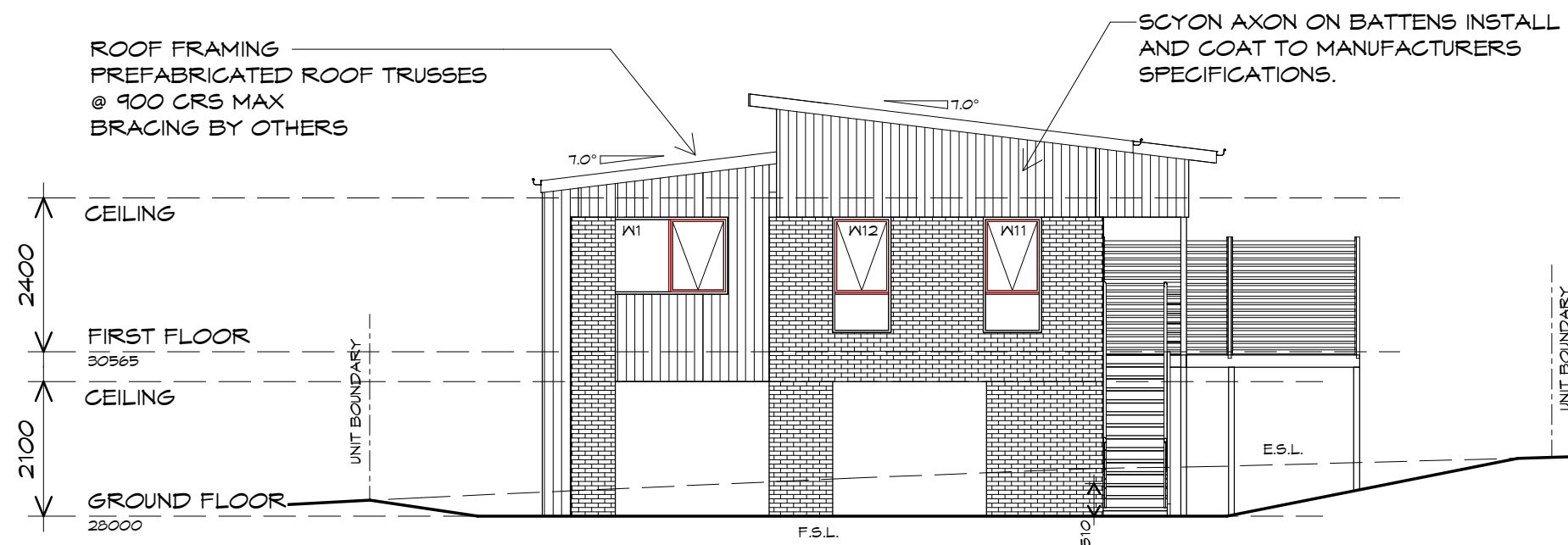
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Project/Drawing no: PD20174 -U38-03

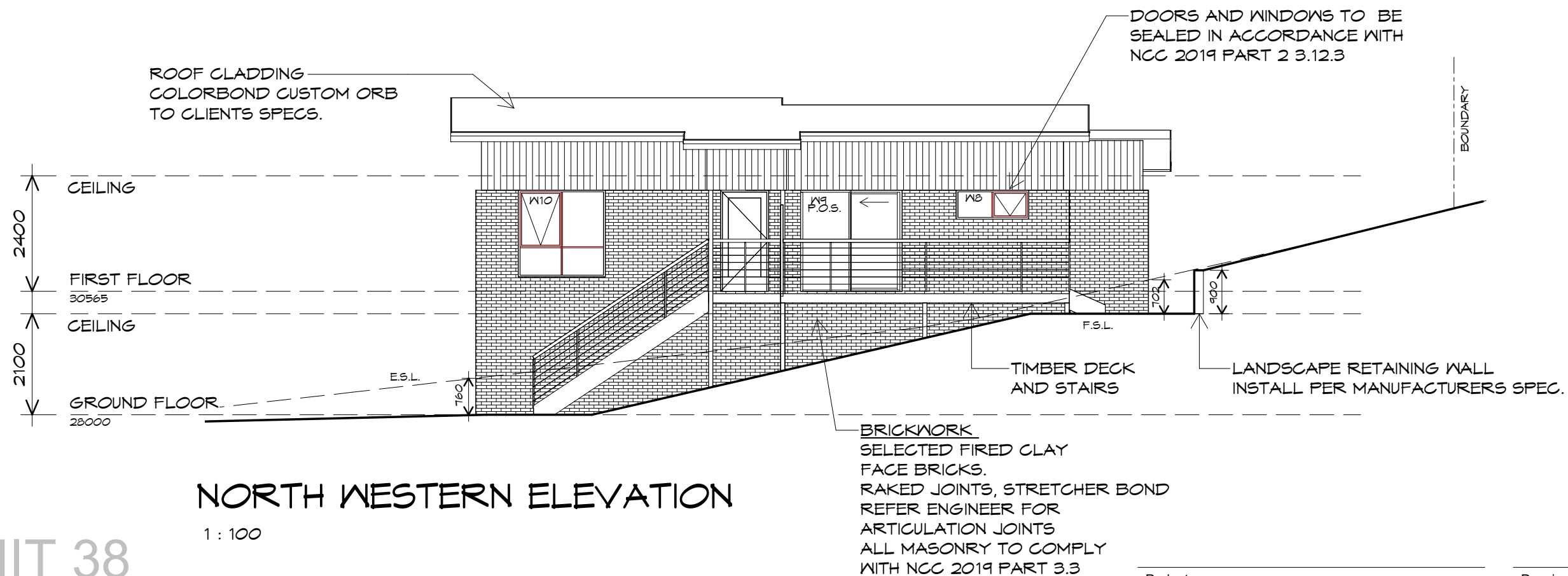
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 38



**CENTACARE**  
**evolve**  
**HOUSING**



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p(l)+ 03 6332 3790  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U38-04

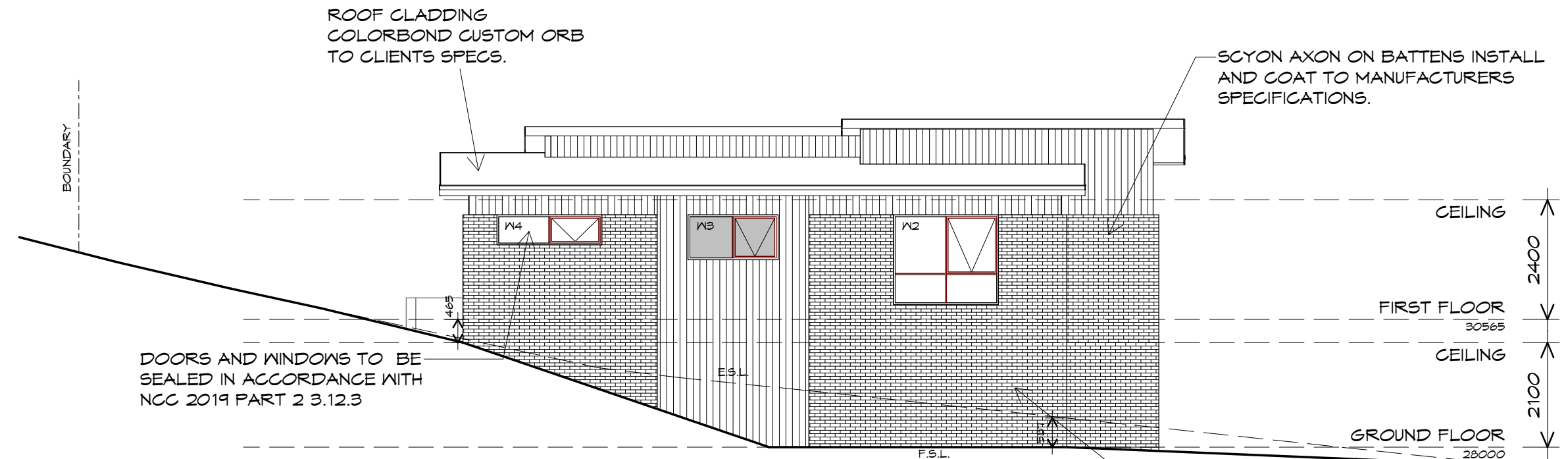
Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

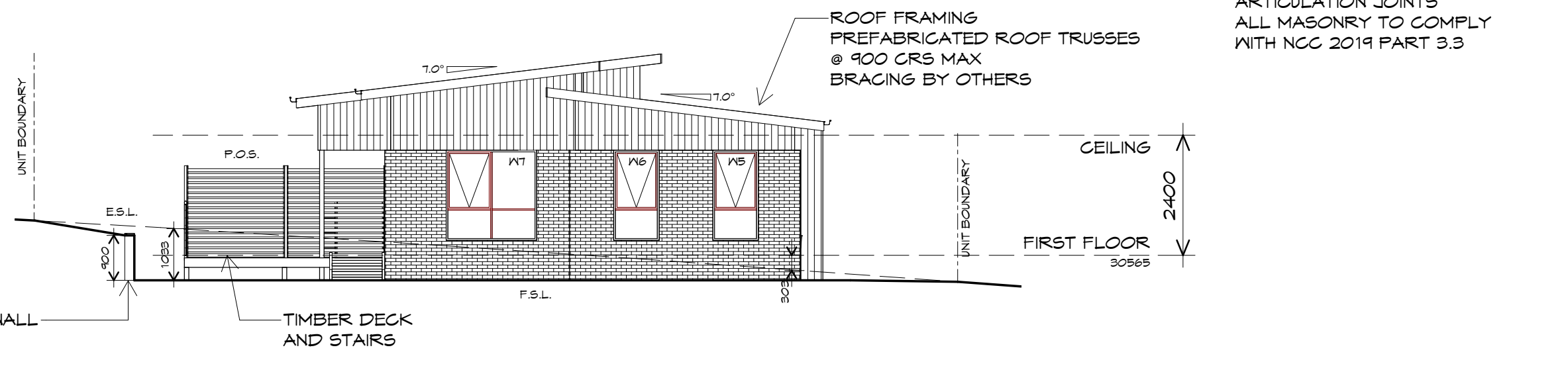
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





**SOUTH EASTERN ELEVATION**  
1 : 100



**SOUTH WESTERN ELEVATION**  
1 : 100

UNIT 38



**CENTACARE**  
**evolve**  
HOUSING



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p(l)+ 03 6332 3790  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U38-05

Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

# UNIT 38



**CENTACARE**  
**evolve**  
 HOUSING



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 p(l)+ 03 6332 3790  
 160 New Town Road, New Town, Hobart 7008  
 p(h)+ 03 6228 4575  
 info@primedesigntas.com.au primedesigntas.com.au

Project:  
 PROPOSED RESIDENTIAL  
 DEVELOPMENT  
 LOT 1 LAMPRILL CIRCLE,  
 HERDSMAN COVE  
 Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M. Approved by:  
 F.G.G.



Drawing:  
 ROOF PLAN

Date:  
 19/11/2021 Scale:  
 1 : 100

Project/Drawing no:  
 PD20174 -U38-06 Revision:  
 03

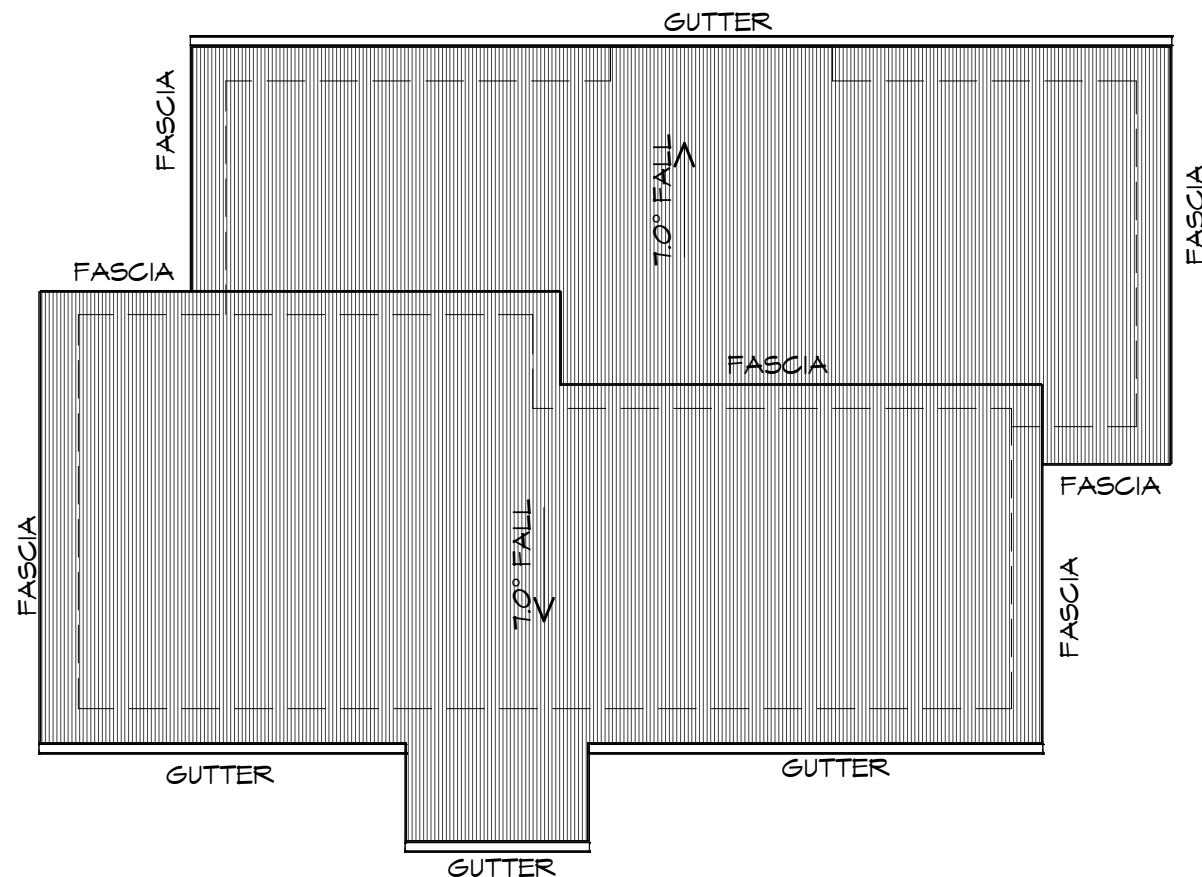
Accredited building practitioner: Frank Geskus -No CC246A

## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
 TO BE IN ACCORDANCE WITH  
 NCC 2019 PART 3.5.2.4.  
 WITH FALL NO LESS THAN  
 1:100 FOR BOX GUTTERS  
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
 HAVE A WIDTH OF NOT LESS THAN  
 400mm AND ROOF OVERHANG OF NOT  
 LESS THAN 150mm EACH SIDE OF VALLEY  
 GUTTER.  
 B) LESS THAN 12.5° DEGREES, MUST BE  
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
 OF FLOW, RIVET & SEAL WITH AN  
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
 PLAN ARE NOMINAL ONLY.  
 EXACT LOCATION & NUMBER OF D.P.'S  
 REQUIRED ARE TO BE IN ACCORDANCE  
 WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
 SPACING BETWEEN DOWNPIPES MUST NOT  
 BE MORE THAN 12m & WITHIN 1.2m FROM A  
 VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
 ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
 REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
 CORROSION PROTECTION FOR SHEET ROOFING,  
 REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
 CONTACT BETWEEN DIFFERENT ROOFING  
 MATERIALS.  
 FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
 FREQUENCY FOR TRANSVERSE FLASHINGS AND  
 CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
 DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF PENETRATION FLASHING DETAILS.  
 REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
 ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
 NCC 2019 PART 3.5.1.8

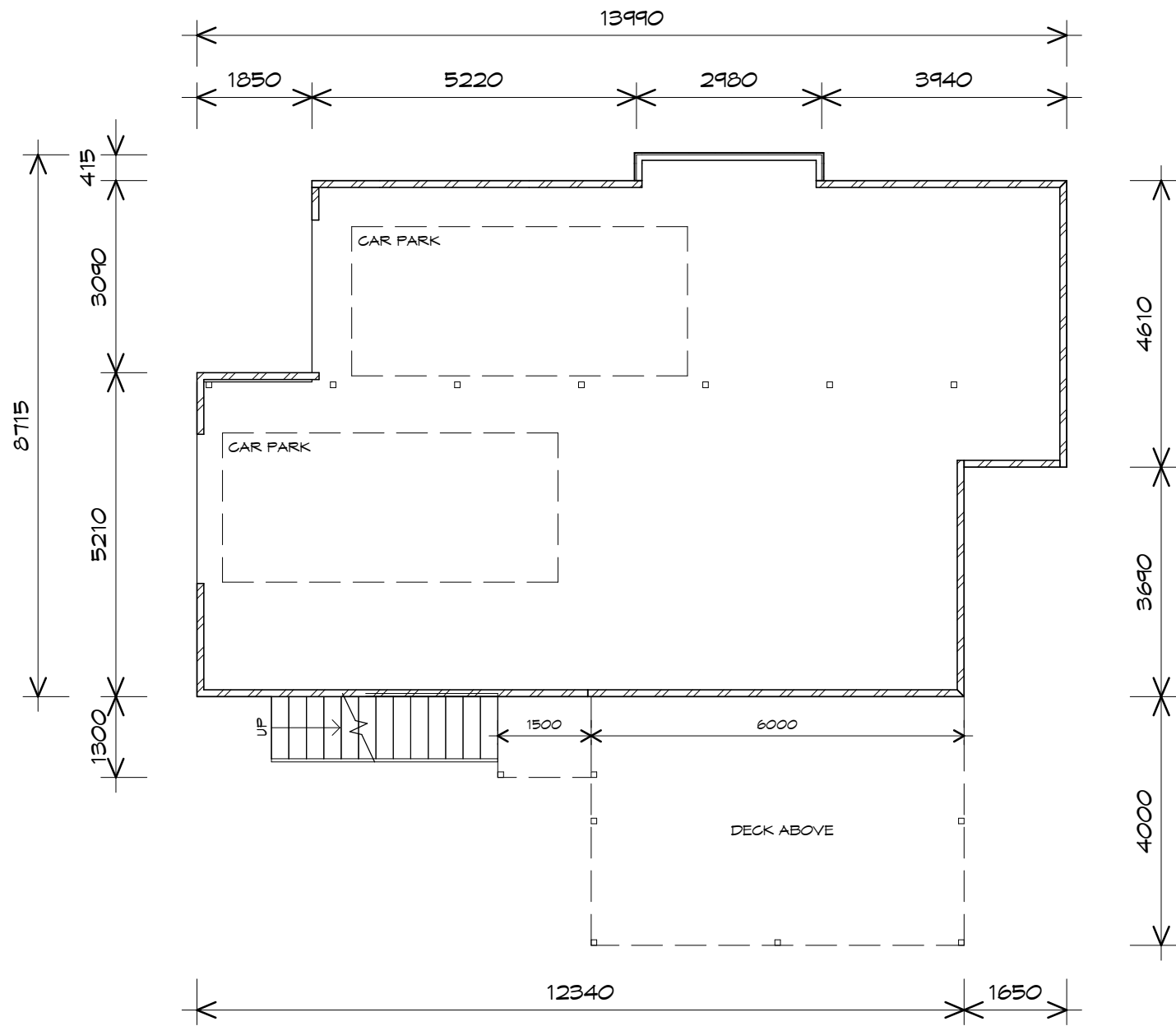
PLANNING  
 NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- ⊙ 240V SMOKE ALARM
- S/D SLIDING DOOR
- ⬢ FW FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NOTE:  
WHERE LIGHT WEIGHT CLADDING IS  
USED DIMENSIONS ARE TO FRAME ONLY  
AND DO NOT INCLUDE LIGHT WEIGHT  
CLADDING

FIRST FLOOR AREA	102.71 m2	( 11.04 SQUARES )
AL FRESCO AREA	24.00 m2	( 2.58 SQUARES )
TOTAL AREA	126.71	13.63

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.

GROUND FLOOR PLAN

1 : 100

UNIT 39



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
GROUND FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U39-01

Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

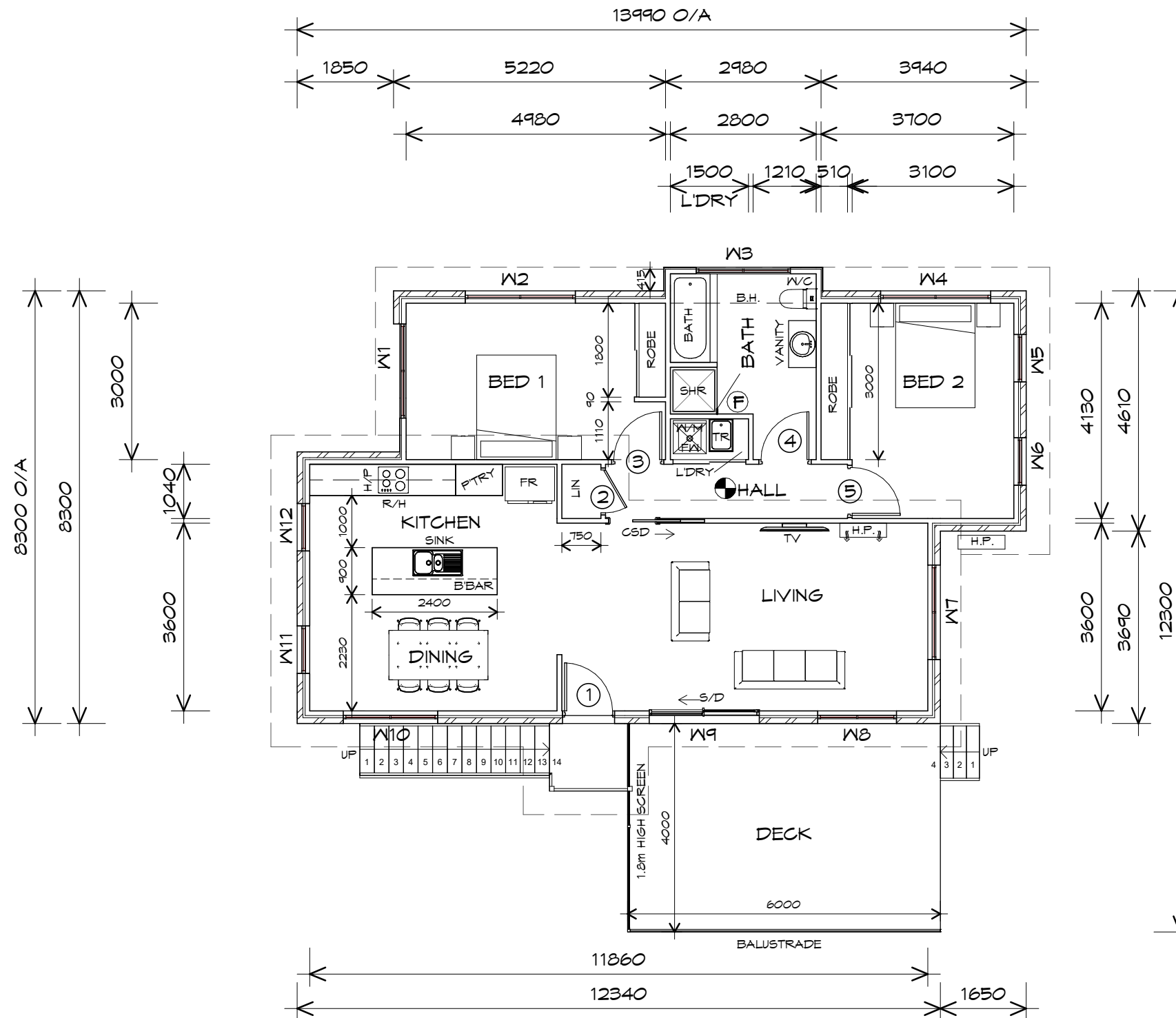


## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

FIRST FLOOR AREA	102.71 m <sup>2</sup>	( 11.04 SQUARES )
AL FRESCO AREA	24.00 m <sup>2</sup>	( 2.58 SQUARES )
TOTAL AREA	126.71	13.63

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## FIRST FLOOR PLAN

1 : 100

UNIT 39



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FIRST FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U39-02

Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	
2	920	CAVITY SLIDING DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	1810	AWNING WINDOW	
W2	1800	2110	AWNING WINDOW	
W3	900	1810	AWNING WINDOW	OPAQUE
W4	600	2110	AWNING WINDOW	
W5	1800	910	AWNING WINDOW	
W6	1800	910	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	600	1510	AWNING WINDOW	
W9	2100	2110	SLIDING DOOR	
W10	1800	1810	AWNING WINDOW	
W11	1800	910	AWNING WINDOW	
W12	1800	910	AWNING WINDOW	

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

UNIT 39



CENTACARE  
evolve  
HOUSING



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info@primedesign.com.au primedesign.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRIILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



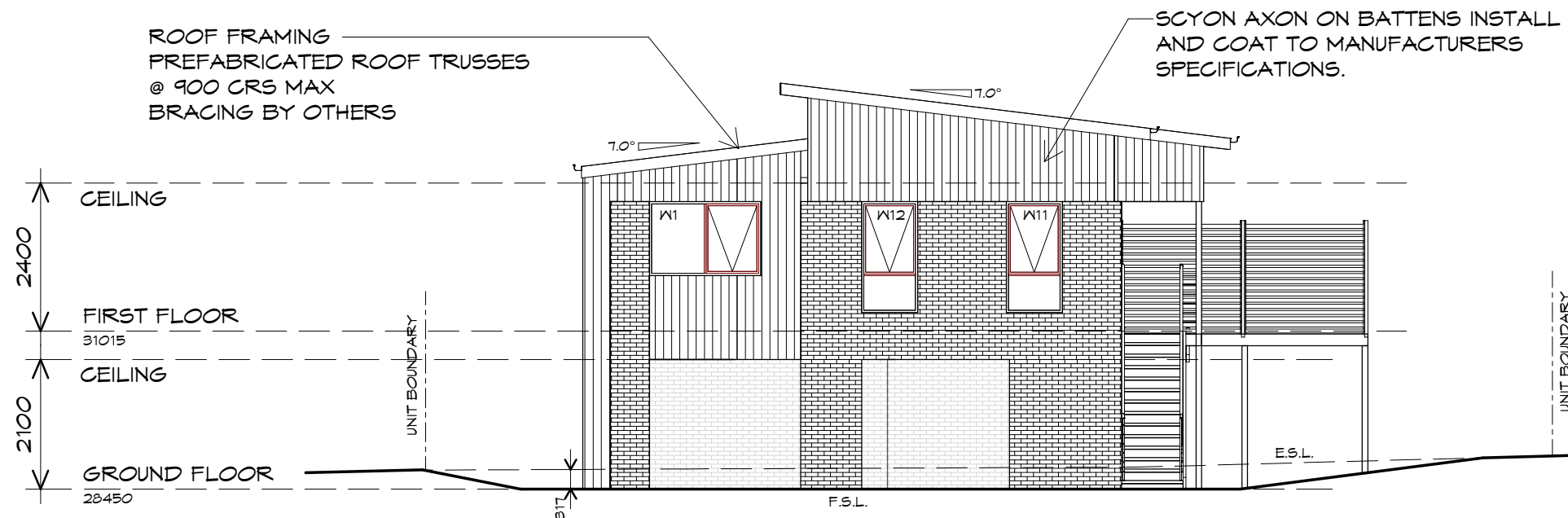
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DOOR AND WINDOW  
SCHEDULES

Date:  
19/11/2021

Project/Drawing no:  
PD20174 -U39-03

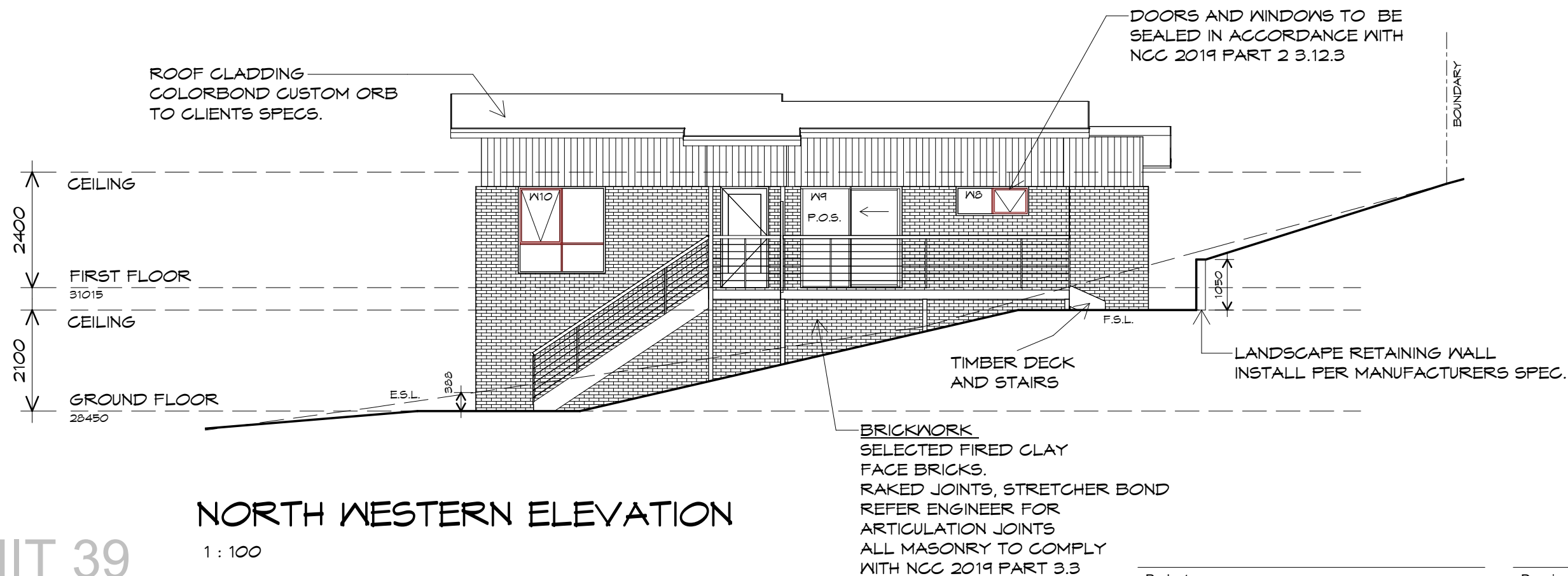
Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A



## NORTH EASTERN ELEVATION

1 : 100



## NORTH WESTERN ELEVATION

1 : 100

UNIT 39



**CENTACARE**  
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**HOUSING**



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date: 19/11/2021  
Scale: 1 : 100

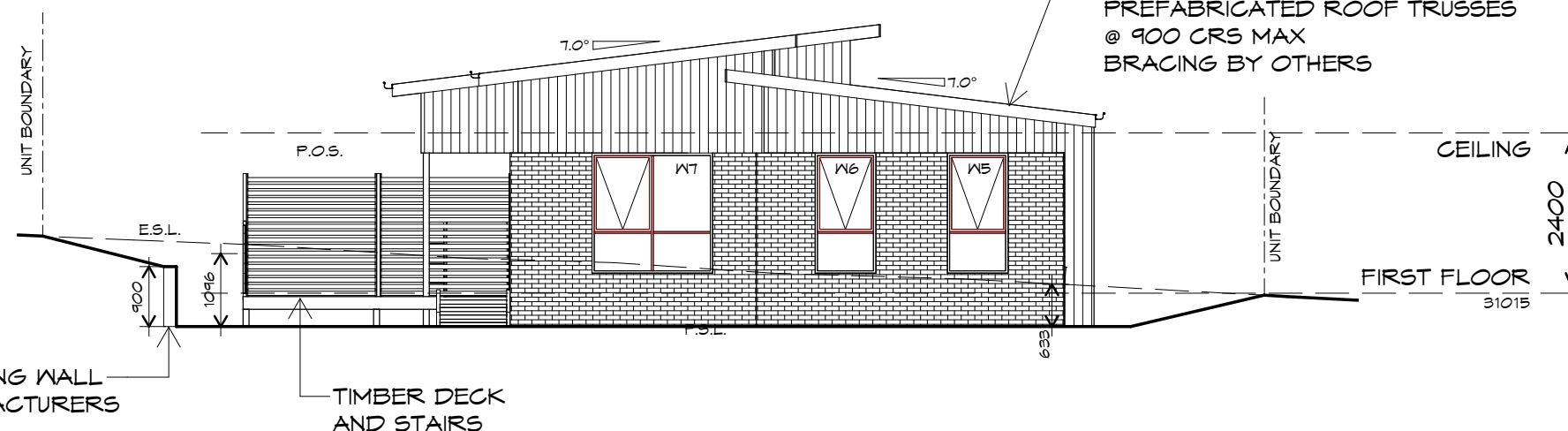
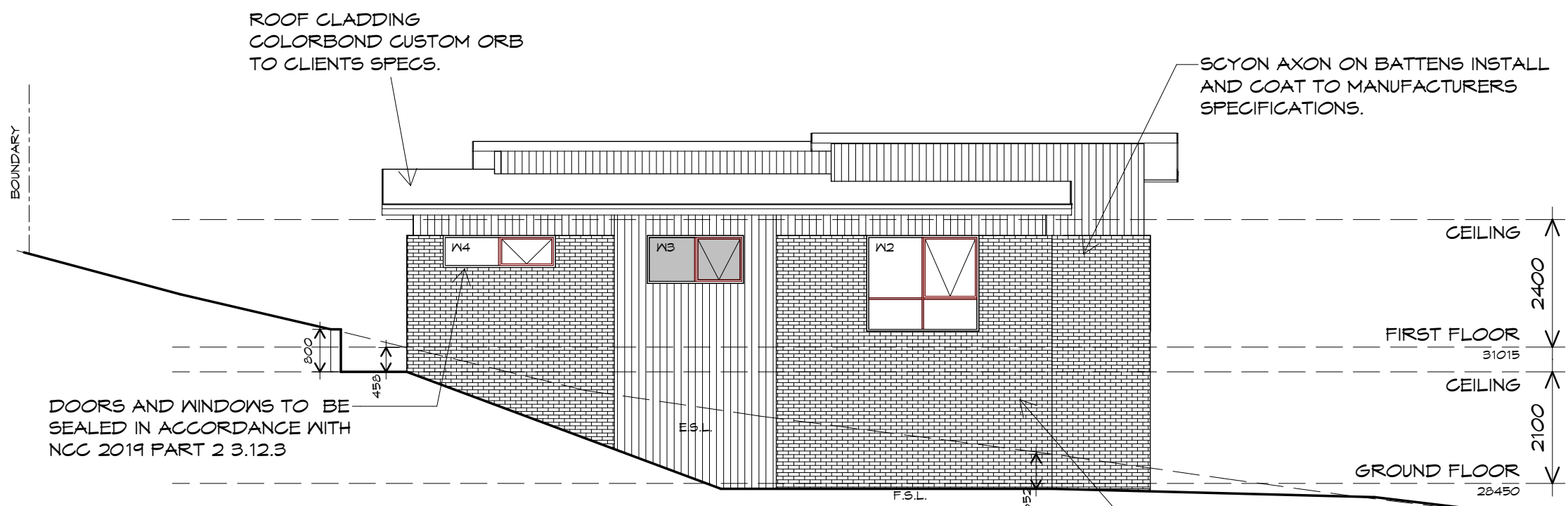
Project/Drawing no: PD20174 -U39-04  
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



## SOUTH EASTERN ELEVATION

1 : 100



## SOUTH WESTERN ELEVATION

1 : 100

UNIT 39



**CENTACARE**  
**evolve**  
HOUSING



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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M. Approved by:  
F.G.G.

Drawing:  
ELEVATIONS

Date:  
19/11/2021 Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U39-05 Revision:  
03



Accredited building practitioner: Frank Geskus -No CC246A

## UNIT 39



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M. Approved by:  
F.G.G.



Drawing:  
ROOF PLAN

Date: 19/11/2021 Scale: 1 : 100

Project/Drawing no: PD20174 -U39-06 Revision: 03

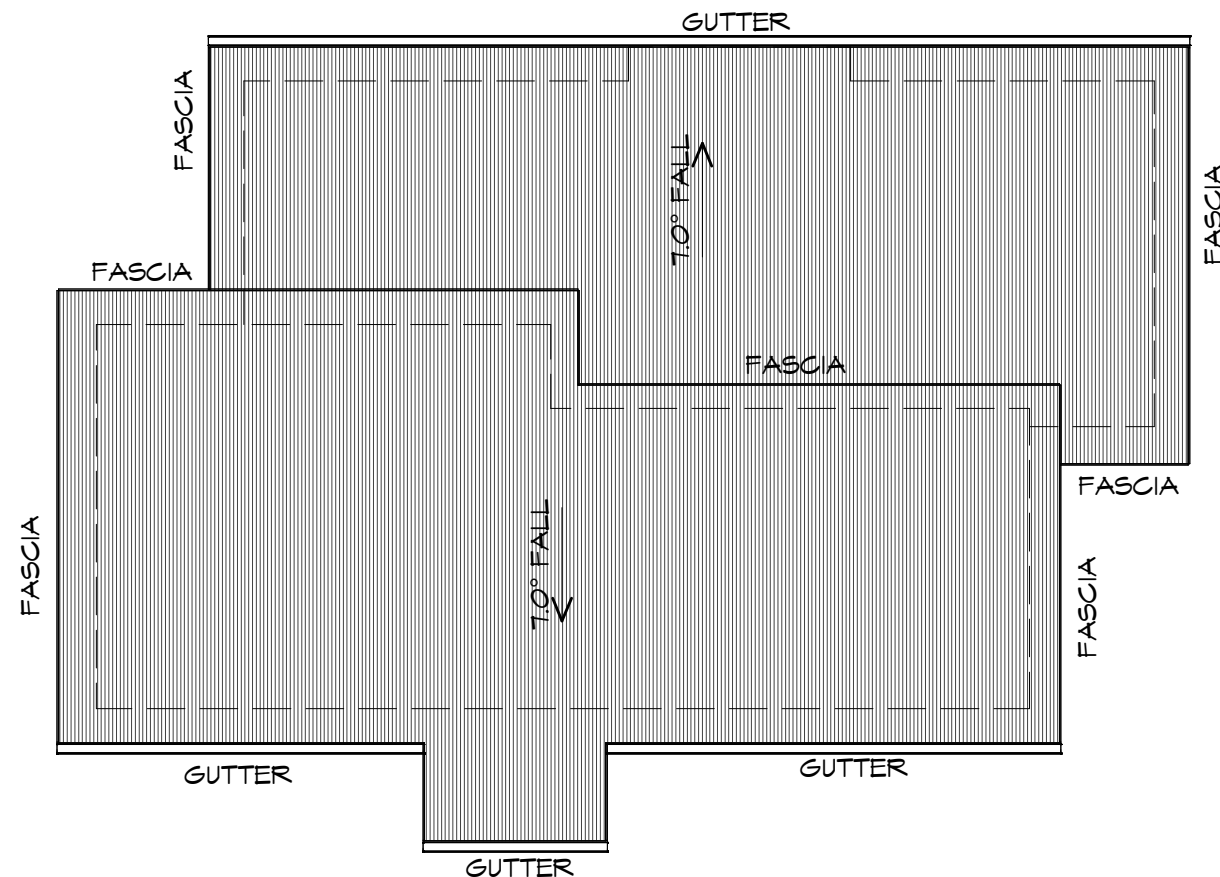
Accredited building practitioner: Frank Geskus -No CC246A

## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



### ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

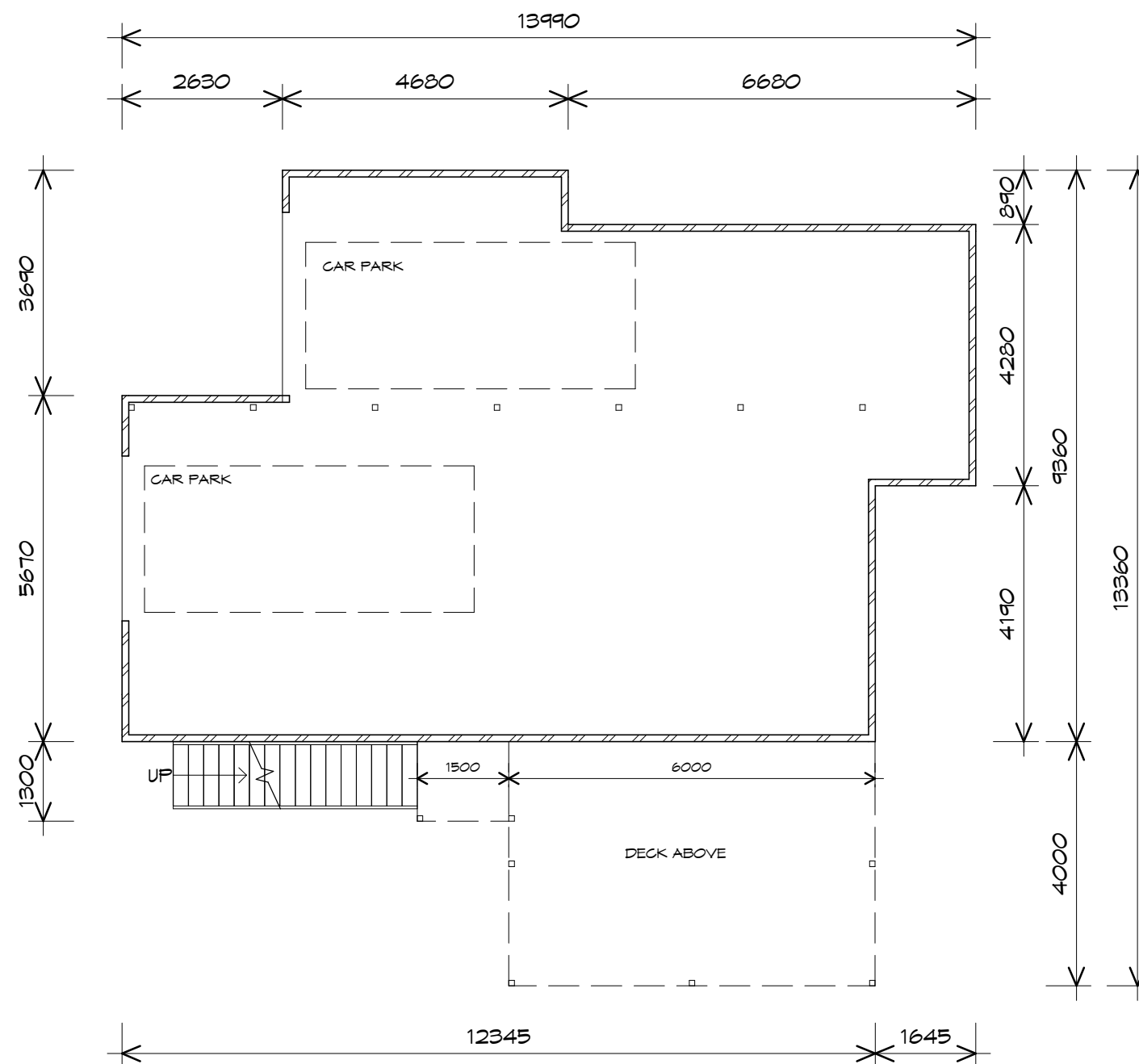
### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.

REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING  
NOTE: DO NOT SCALE OFF DRAWINGS



## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- ⊙ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

FLOOR AREA	97.92	m2	( 10.53 SQUARES )
AL FRESCO AREA	13.96	m2	( 1.50 SQUARES )
GARAGE AREA	24.45	m2	( 2.63 SQUARES )
LOWER FLOOR AREA	8.08	m2	( 0.87 SQUARES )
TOTAL AREA	144.41		15.53

### NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## GROUND FLOOR PLAN

1 : 100

UNIT 40



**CENTACARE**  
evolve  
HOUSING

**Prime Design**

10 Goodman Court, Invermay Tasmania 7248,  
p(l)+ 03 6332 3790  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
GROUND FLOOR PLAN

Date:  
19/11/2021

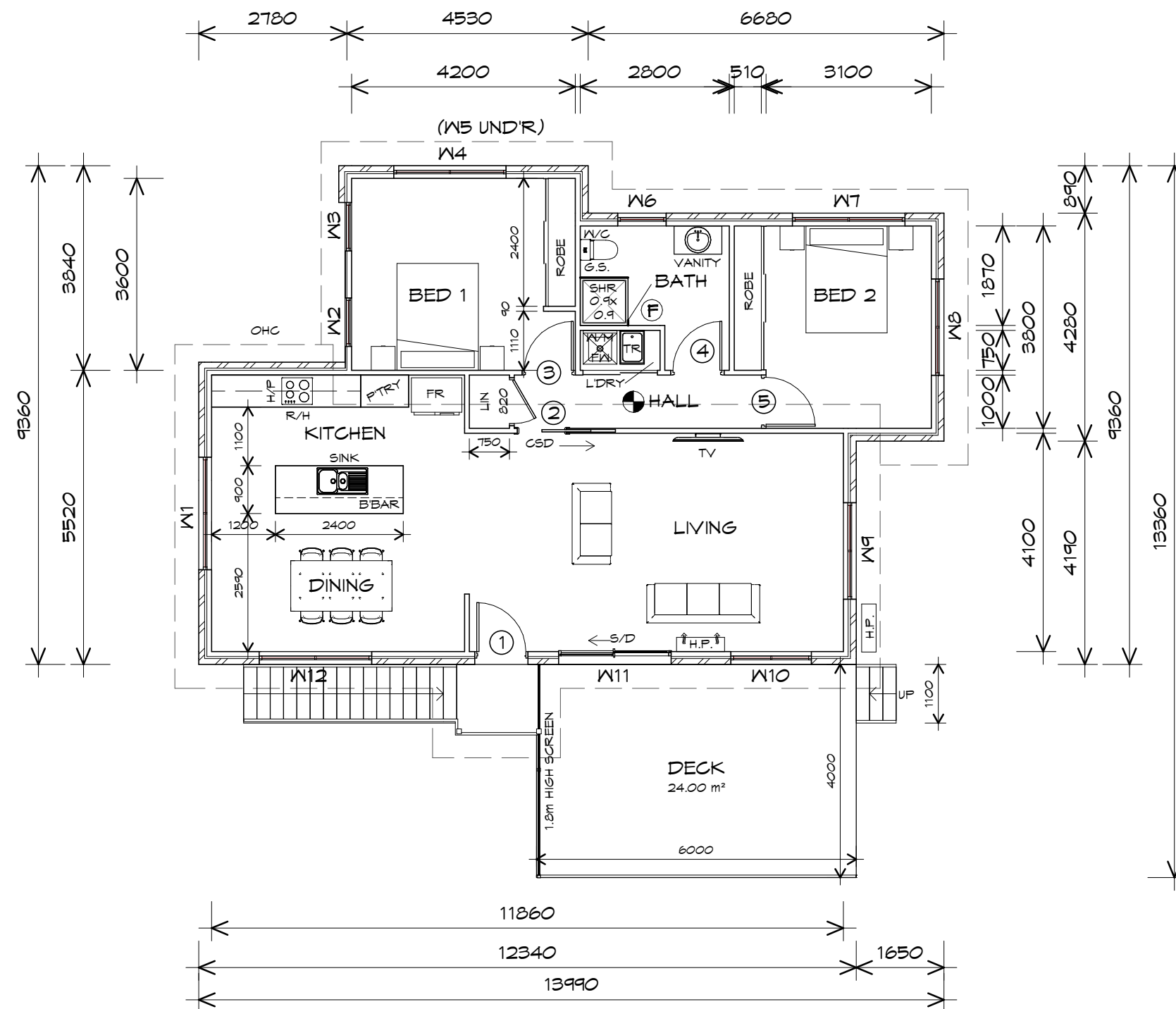
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Project/Drawing no:  
PD20174 -U40-01

Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A





## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- R/H RANGE HOOD-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- S/D SLIDING DOOR
- Ⓢ FLOOR WASTE
- G.S. GLASS SCREEN
- H.W.C. HOT WATER CYLINDER
- B.H. BULK HEAD

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

FLOOR AREA	97.92	m <sup>2</sup>	( 10.53	SQUARES )
AL FRESCO AREA	13.96	m <sup>2</sup>	( 1.50	SQUARES )
GARAGE AREA	24.45	m <sup>2</sup>	( 2.63	SQUARES )
LOWER FLOOR AREA	8.08	m <sup>2</sup>	( 0.87	SQUARES )
TOTAL AREA	144.41		15.53	

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## FIRST FLOOR PLAN

1 : 100

UNIT 40



**CENTACARE**  
**evolve**  
HOUSING

**Prime Design**

10 Goodman Court, Invermay Tasmania 7248,  
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p(h)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
FIRST FLOOR PLAN

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U40-02

Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	CAVITY SLIDING DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	2110	AWNING WINDOW	
W2	1200	910	AWNING WINDOW	
W3	1200	910	AWNING WINDOW	
W4	600	2110	AWNING WINDOW	
W5	600	2110	AWNING WINDOW	
W6	1000	910	AWNING WINDOW	OPAQUE
W7	600	2110	AWNING WINDOW	
W8	1800	1810	AWNING WINDOW	
W9	1800	1810	AWNING WINDOW	
W10	600	1510	AWNING WINDOW	
W11	2100	2110	SLIDING DOOR	
W12	1200	2110	AWNING WINDOW	

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

# UNIT 40



**CENTACARE**  
 evolve  
 HOUSING



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 160 New Town Road, New Town, Hobart 7008  
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 info@primedesigntas.com.au primedesigntas.com.au

Project:  
 PROPOSED RESIDENTIAL  
 DEVELOPMENT  
 LOT 1 LAMPRILL CIRCLE,  
 HERDSMAN COVE  
 Client name:  
 CENTACARE EVOLVE HOUSING

Drafted by:  
 A.G.M.      Approved by:  
 F.G.G.



Drawing:  
 DOOR AND WINDOW  
 SCHEDULES

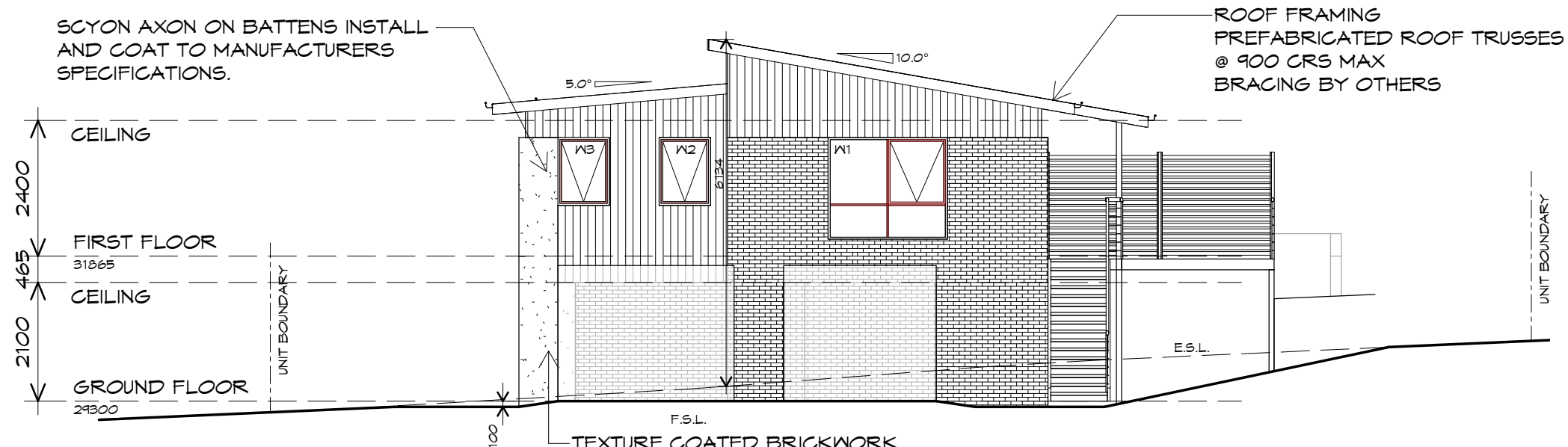
Date:  
 19/11/2021

Project/Drawing no:  
 PD20174 -U40-03      Revision:  
 03

Accredited building practitioner: Frank Geskus -No CC246A

# NORTH EASTERN ELEVATION

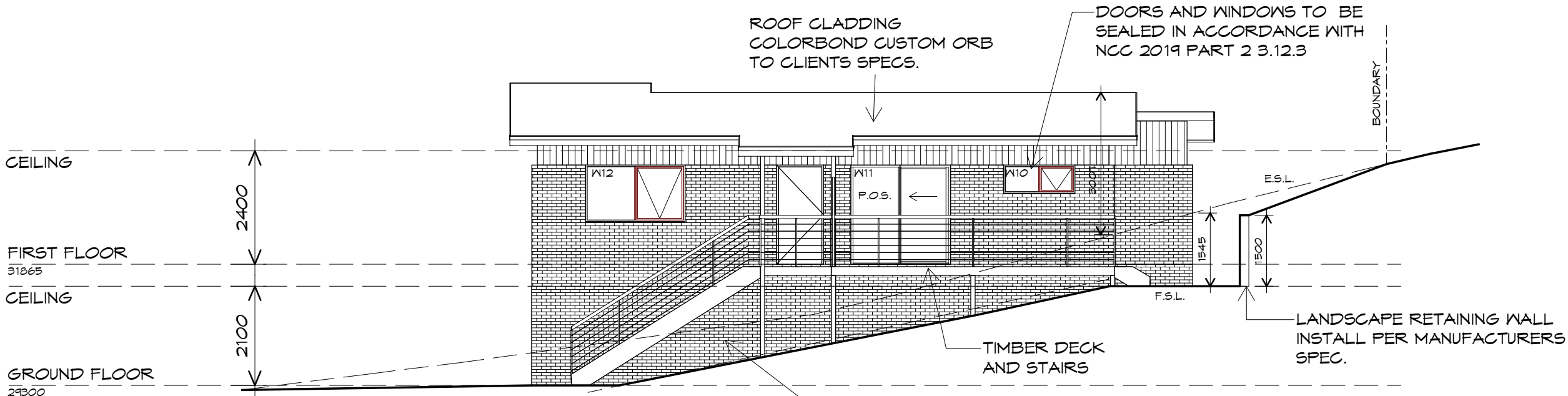
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SCYON AXON ON BATTENS INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

TEXTURE COATED BRICKWORK  
SELECTED FIRED CLAY BRICKS  
FLUSH JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH NCC 2019 PART 3.3

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS



ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
NCC 2019 PART 2 3.12.3

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH NCC 2019 PART 3.3

LANDSCAPE RETAINING WALL  
INSTALL PER MANUFACTURERS  
SPEC.

UNIT 40

## NORTH WESTERN ELEVATION

1 : 100



**CENTACARE**  
**evolve**  
HOUSING



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Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Drawing:  
ELEVATIONS

Date:  
19/11/2021

Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U40-04

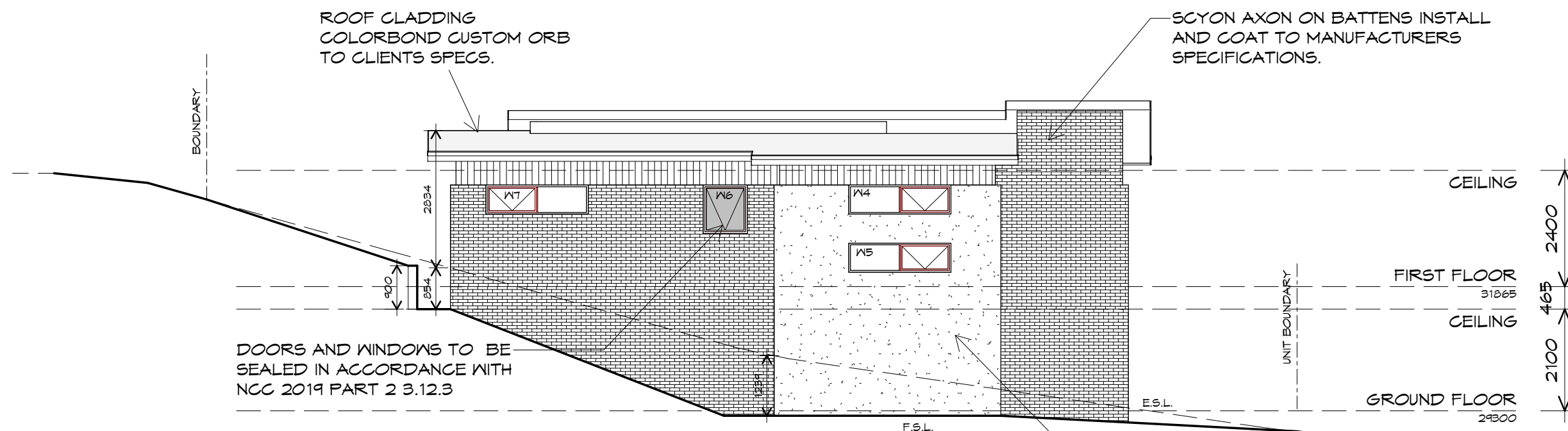
Revision:  
03

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

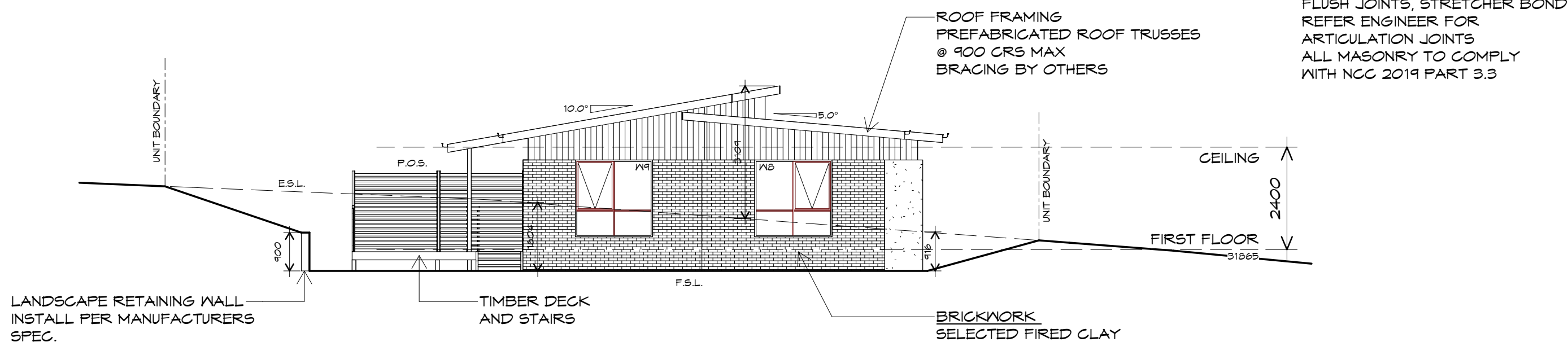
NOTE: DO NOT SCALE OFF DRAWINGS





## SOUTH EASTERN ELEVATION

1 : 100



## SOUTH WESTERN ELEVATION

1 : 100

UNIT 40



**CENTACARE**  
**evolve**  
HOUSING



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PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE  
Client name:  
CENTACARE EVOLVE HOUSING

Drafted by:  
A.G.M.

Approved by:  
F.G.G.

Drawing:  
ELEVATIONS

Date:  
19/11/2021

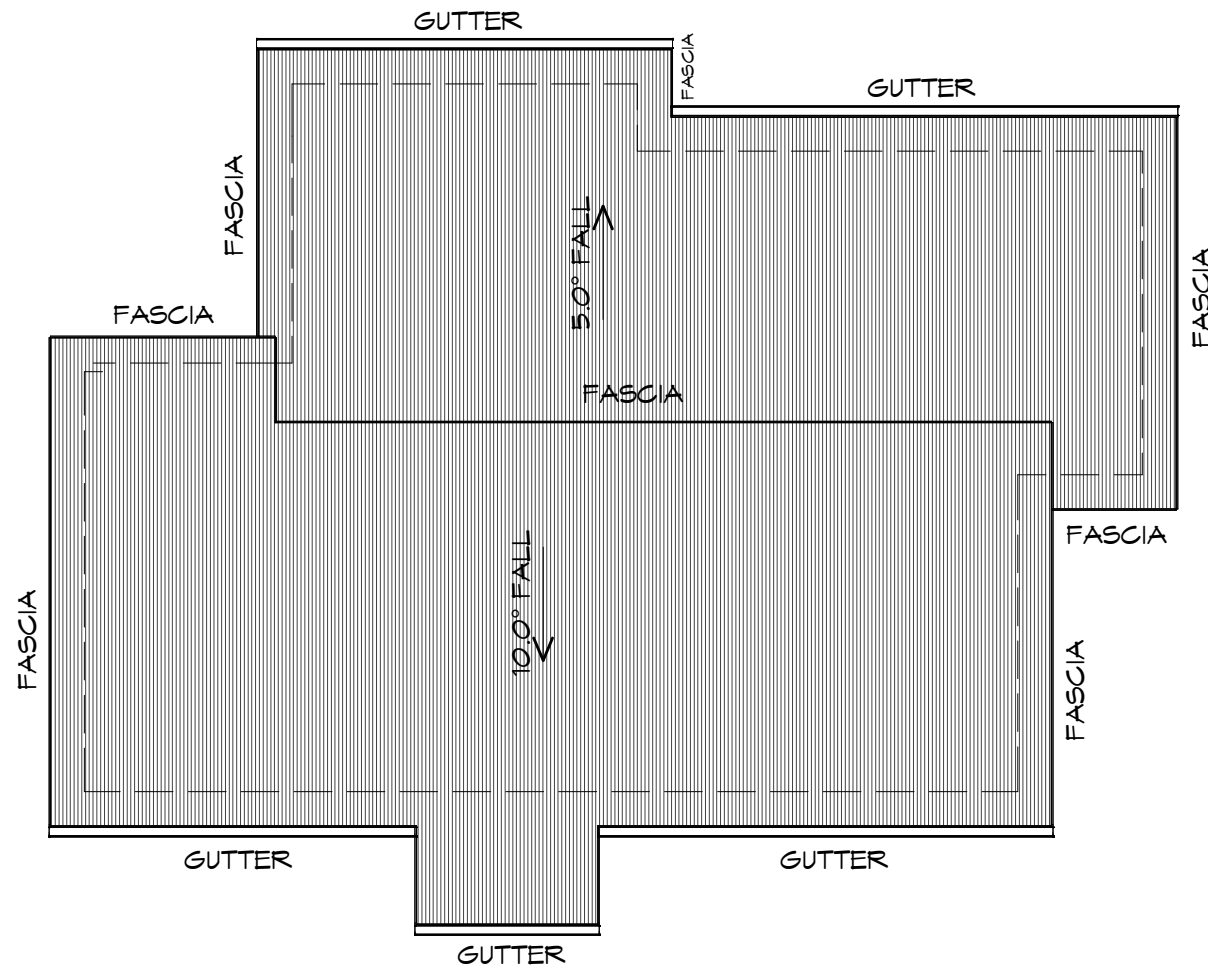
Scale:  
1 : 100

Project/Drawing no:  
PD20174 -U40-05

Revision:  
03



Accredited building practitioner: Frank Geskus -No CC246A



## ROOF PLAN

1 : 100

### ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 40



**CENTACARE**  
**evolve**  
HOUSING



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info@primedesign.com.au primedesign.com.au

### ROOF PLUMBING NOTES:

**GUTTER INSTALLATION**  
TO BE IN ACCORDANCE WITH  
NCC 2019 PART 3.5.2.4.  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

### VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

**LAP GUTTERS** 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

**DOWNPIPE POSITIONS** SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & WITHIN 1.2m FROM A  
VALLEY GUTTER.

### METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.  
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF  
CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER  
FREQUENCY FOR TRANSVERSE FLASHINGS AND  
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF PENETRATION FLASHING DETAILS.  
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER  
NCC 2019 PART 3.5.1.8

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE,  
HERDSMAN COVE

Client name:  
CENTACARE EVOLVE HOUSING

Drawing:  
ROOF PLAN

Date: 19/11/2021  
Scale: 1 : 100

Project/Drawing no:  
PD20174 -U40-06

Revision:  
03

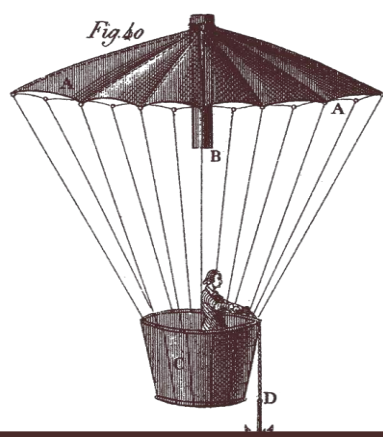
Drafted by:  
A.G.M.

Approved by:  
F.G.G.



Accredited building practitioner: Frank Geskus -No CC246A





# Lot 1 Lamprill Circle

## Stormwater Management and Concept Services Report

Lamprill Circle, Herdsman's Cove  
for Catholic Care Tasmania

15 November 2021



## Version control

Revision	Description	Issue date	Issued by
A	Planning Approval	16/04/2021	Joshua Farner
B	Planning Approval	15/11/2021	Joshua Farner

PROJECT NUMBER **20.0273**  
 REPORT AUTHOR **Joshua Farner**  
 CHECKED BY **Simon Palmer**

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## Contents

Figures.....	3
Background.....	5
1 Planning Scheme Requirements .....	5
2 Stormwater Management .....	7
2.1 Water Sensitive Urban Design.....	7
2.1.1 Performance Criteria.....	7
2.1.2 Stormwater System Concept.....	7
2.1.3 MUSIC Modelling .....	7
2.2 Rainfall Runoff Quantity .....	8
2.2.1 Existing Infrastructure System Summary .....	8
2.2.2 Site Analysis Using XP Storm .....	10
2.2.3 Runoff Mitigation Proposal .....	12
2.2.4 Conclusion .....	13
Appendix A: Pre-development peak runoff - box and whisker plots.....	14
Northern Catchment.....	14
Eastern Catchment .....	15
Southern Catchment.....	16
Appendix B: Existing Council Stormwater Network Assessment to North of Development Site .....	17

## Figures

Figure 1: Tasmanian Interim Planning Scheme Zoning.....	6
Figure 2: MUSIC analysis treatment schematic.....	8
Figure 3: Pre-development existing site stormwater infrastructure.....	9
Figure 4: Proposed post-development site catchments draining to each lot connection.....	9
Figure 5: Pre-development box and whisker plot comparison of storm ensembles for 5% AEP from the existing northern catchment. Design flow rate for critical storm duration median pattern = 86.7 L/s (20-minute duration, storm pattern 1). .....	11
Figure 6: Pre-development box and whisker plot comparison of storm ensembles for 5% AEP from the existing eastern catchment. Design flow rate for critical storm duration median pattern = 53.8 L/s (20-minute duration, storm pattern 2). .....	11
Figure 7: 5% and 2% AEP northern catchment site discharge pre-development, post development and post development with detention.....	12
Figure 8: 5% and 2% AEP eastern catchment site discharge pre-development, post development and post development with detention.....	13

Figure 9: 5% and 2% AEP northern catchment site discharge pre-development, post development and post development with detention.....	13
Figure 10: Existing Council stormwater network.....	17



## Background

A 40-unit residential development is proposed by Catholic Care Tasmania at Lot 1 Lamprill Circle, Herdsmans Cove. The proposal includes a central access driveway some 260 metres long, as well as other internal driveways. The site has a total area of 2.4 ha and is currently a greenfield site.

This report presents a concept stormwater management design for the development, including both stormwater treatment and detention in order to mitigate the effects of the proposed development on stormwater runoff in the local area.

It is understood that Brighton Council adopted the Tasmanian Planning Scheme on 14 April 2021. Given that stormwater detention and treatment is not addressed by this planning scheme for Dwellings or Buildings and Works, this stormwater management assessment has been undertaken in compliance with the requirements of the old Brighton Interim Planning Scheme 2015. The final stormwater management design for the site for Building Approval will be undertaken in compliance with the Tasmanian Planning Scheme – Brighton, or as required by Council under the Planning Permit for the development.

## 1 Planning Scheme Requirements

The Brighton Interim Planning Scheme 2015 required that this development manages stormwater in compliance with the Stormwater Management Code. Code requirements for this development are:

Acceptable Solution A1 of Clause E7.7.1 Stormwater Drainage and Disposal states:

*Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.*

Stormwater from new impervious surfaces within the development are proposed to be reticulated via internal drainage and connect via gravity to existing public stormwater infrastructure within the site. Refer C010 for concept layout. On-site detention will be provided to limit flows to the pre-development scenario, or, as appropriate, to flow rates acceptable for the existing infrastructure, to ensure that the development has no adverse effects on the downstream receiving infrastructure.

Acceptable Solution A2 of Clause E7.7.1 Stormwater Drainage and Disposal states:

*A stormwater system for a new development must incorporate water sensitive urban design principles<sup>R1</sup> for the treatment and disposal of stormwater if any of the following apply:*

- (a) the size of new impervious area is more than 600 m<sup>2</sup>;*
- (b) new car parking is provided for more than 6 cars;*
- (c) a subdivision is for more than 5 lots.*

This development meets criteria (a) and (b) of the clause, therefore water sensitive urban design principles must be incorporated into the design of stormwater management for the site.

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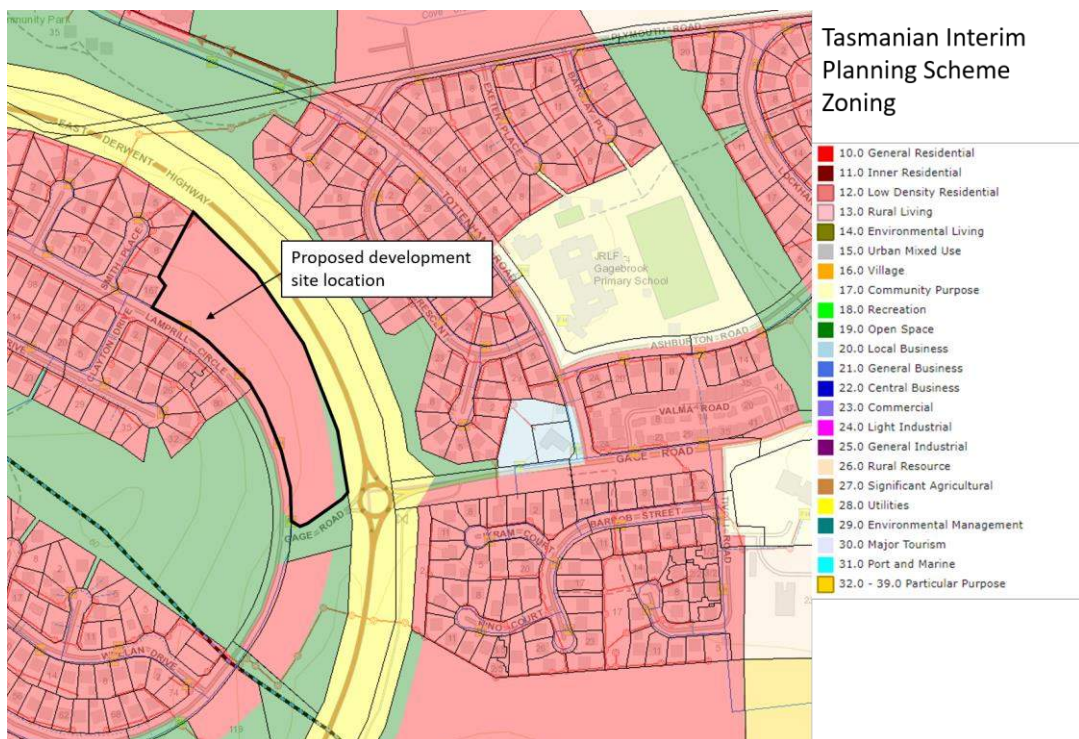
<sup>R1</sup> *Water Sensitive Urban Design Engineering Procedures for Stormwater Management in Southern Tasmania or the Model for Urban Stormwater Improvement Conceptualisation (MUSIC), a nationally recognised stormwater modelling software package used to assess land development proposals based on local conditions including rainfall, land use and topography, is recognised as current best practice.*

Acceptable Solution A3 of Clause E7.7.1 Stormwater Drainage and Disposal states:

*A minor stormwater drainage system must be designed to comply with all of the following:*

- (a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed;*
- (b) stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure.*

This development incorporates a minor stormwater drainage system, therefore the design must satisfy both criterion (a) and criterion (b) of Acceptable Solution A3. The development is proposed within General Residential zoned land.



**Figure 1:** Tasmanian Interim Planning Scheme Zoning.

Acceptable Solution A4 of Clause E7.7.1 Stormwater Drainage and Disposal states:

*A major stormwater drainage system must be designed to accommodate a storm with an ARI of 100 years.*

The safe conveyance of stormwater runoff for the 1% AEP rainfall event shall be provided via the combination of overland flow paths and the underground reticulation system.

## 2 Stormwater Management

### 2.1 Water Sensitive Urban Design

#### 2.1.1 Performance Criteria

Performance Criteria P2 of Clause E7.7.1 requires:

*A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010, as detailed in Table E7.1 unless it is not feasible to do so.*

The acceptable stormwater quality and quantity targets are:

*80% reduction in the average annual load of total suspended solids (TSS) based on typical urban stormwater TSS concentrations.*

*45% reduction in the average annual load of total phosphorus (TP) based on typical urban stormwater TP concentrations.*

*45% reduction in the average annual load of total nitrogen (TN) based on typical urban stormwater TN concentrations.*

*Stormwater quantity requirements must always comply with requirements of the local authority including catchment-specific standards. All stormwater flow management estimates should be prepared according to methodologies described in Australian Rainfall and Runoff (Engineering Australia 2004) or through catchment modelling completed by a suitably qualified person.*

#### 2.1.2 Stormwater System Concept

The proposed stormwater management system for the development incorporates water sensitive urban design principles, including above ground detention basins, as well as proprietary treatment systems. The following design elements are proposed for the development:

- Three Enviro Australis GV30 in-line stormwater quality improvement devices each treating approximately one-third of the total hardstand runoff for the site.
- Above ground detention basins and one below ground detention tank providing stormwater flow attenuation and some minor treatment.

#### 2.1.3 MUSIC Modelling

MUSIC V6.2.1 was used to model the performance of the above stormwater system for the proposed development. The model predicted the following performance outcomes:

- Total Suspended Solids reduction of 93.7%
- Total Phosphorus reduction of 82.9%
- Total Nitrogen reduction of 72.9%

These reduction percentages satisfy Performance Criteria P2 of Clause E7.7.1. Many different stormwater treatment systems may be utilised to achieve the treatment targets for the site, and the final system adopted to best suit the site shall be selected during detailed design.





**Figure 2:** MUSIC analysis treatment schematic.

## 2.2 Rainfall Runoff Quantity

### 2.2.1 Existing Infrastructure System Summary

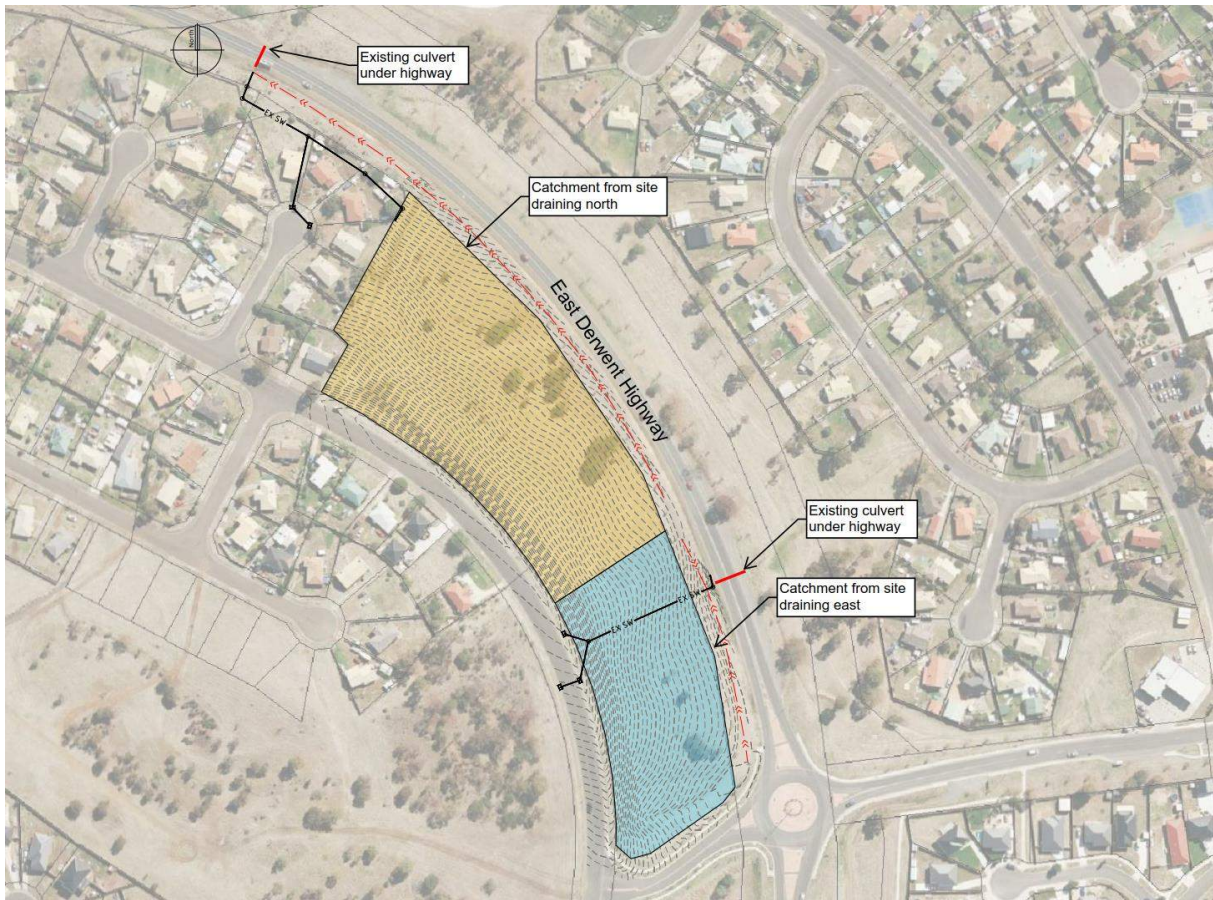
Under existing conditions, stormwater runoff from the site is captured by table drains along the East Derwent Highway, and is reticulated via culverts underneath the road. Due to the natural topography of the site, stormwater runoff is distributed in two directions to two different culverts, and the runoff from the site is divided by a small ridge running through the site. The existing stormwater networks and catchments within the site are shown in Figure 3 below.

Under the post-development scenario, it is proposed that both existing culverts are utilised, and on-site detention is provided to limit site discharge to pre-development levels for the design rainfall event. To achieve this goal, as well as due to the site layout constraints, some stormwater runoff is also proposed to discharge to the south of the site via a new lot connection to the existing public infrastructure within Gage Road. Refer C010 for the concept servicing layout.

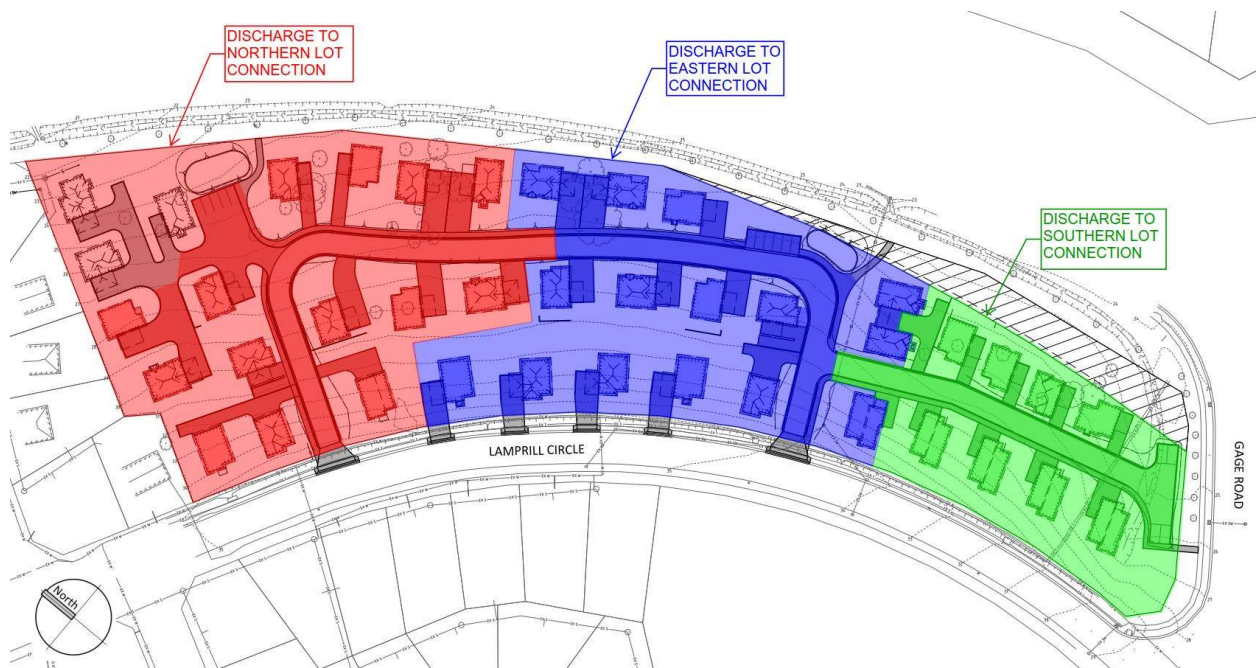
While the northern catchment on the site is currently captured by the roadside table drain, some capacity improvement would be required to safely discharge site runoff into the existing open drain. Instead, it is proposed that a new lot connection be provided into the existing underground reticulation network in this location, limiting the design discharge from the site to not exceed the available capacity within the network.

Discharge to the east of the site will also be connected directly to the existing stormwater infrastructure running through the site, via a new lot connection. From discussion with Brighton City Council, it is understood that the Council network has some capacity issues further downstream from this location. On-site detention shall be provided to ensure that the stormwater discharge to the Council network shall not exceed pre-development levels, and hence will not adversely impact existing capacity issues downstream in the network. In order to achieve this, an additional lot connection is

also proposed to the south of the site, with an underground detention tank limiting site runoff to pre-existing runoff flow rates.



**Figure 3:** Pre-development existing site stormwater infrastructure.



**Figure 4:** Proposed post-development site catchments draining to each lot connection.



## 2.2.2 Site Analysis Using XP Storm

The pre and post-development rainfall runoff scenarios for the site were analysed in XP Storm 2019, using hydrological analysis methods in accordance with Australian Rainfall and Runoff (ARR) 2019. Under existing conditions, the site drains towards two points of discharge, with catchments delineated in Figure 3. Due to the site runoff discharging to a Category 3 road, it has been stipulated that the stormwater system must be designed for up to the 2% AEP rainfall event. This analysis presents results for both the 5% and 2% AEP rainfall events.

Pre-development peak flow rates for the existing site catchments are shown in Table 1 below for the 5% AEP, with box and whisker plots of storm ensemble results shown in Figures 5 and 6.

**Table 1:** 5% AEP pre-development runoff (existing site catchments)

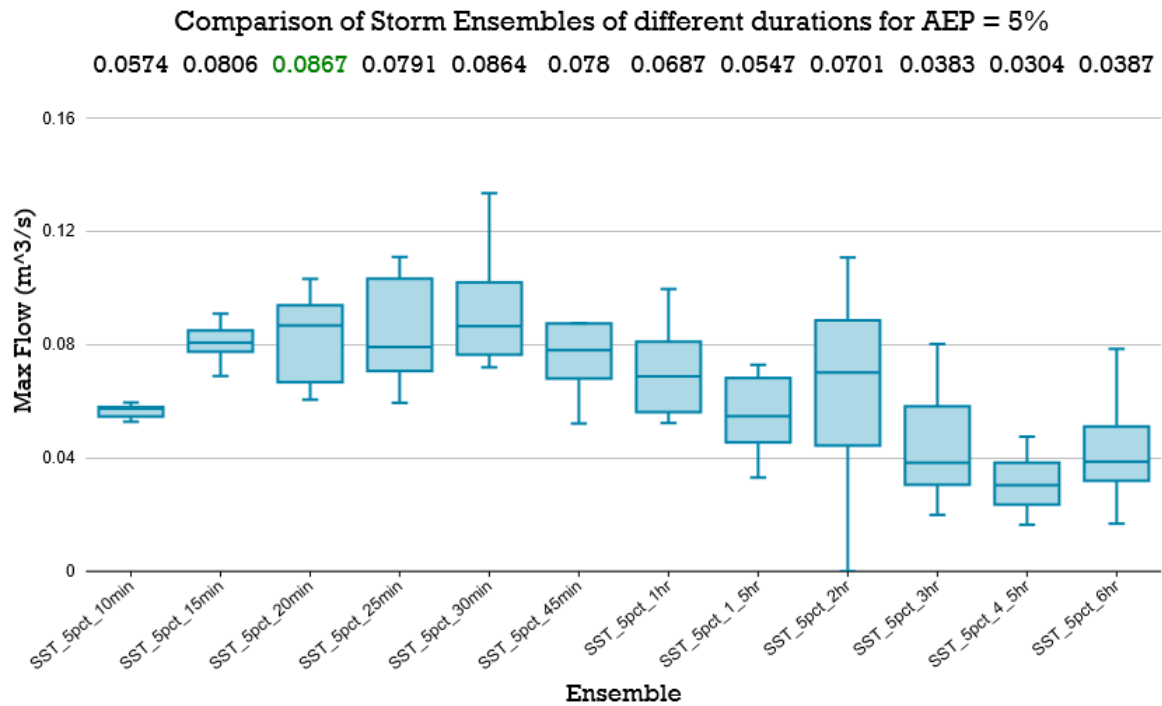
<b>Pre-Development Runoff</b>		
<b>5% AEP</b>		
<u>Catchment</u>	<u>Critical storm duration</u>	<u>Peak flow rate</u>
Runoff to North	20 min	87 L/s
Runoff to East	20 min	54 L/s

These peak runoff flow rates quantify the existing site conditions. Further analyses on the catchment areas for each proposed lot connection (pre and post-development) were undertaken for both the 5% and 2% AEP rainfall events. These results are presented in Section 2.2.3, with box and whisker result summaries for the pre-development runoff provided in Appendix A.

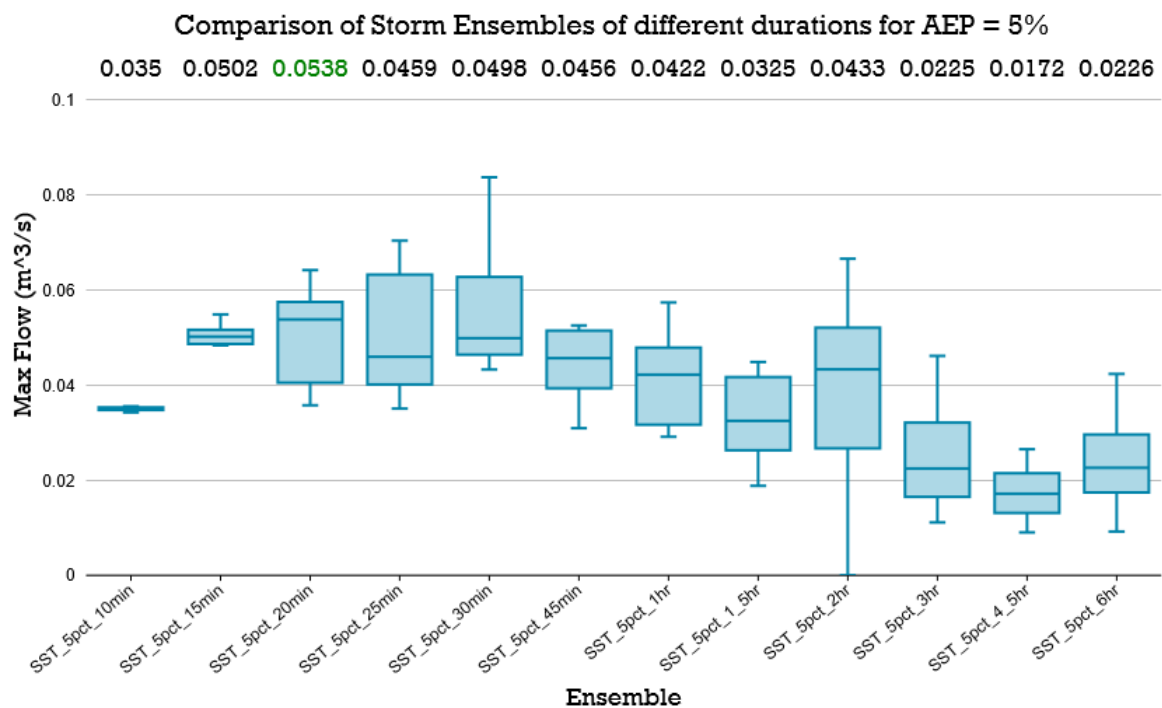
To limit the post development runoff to the pre-development condition, the flow rates for the eastern and southern catchments may be taken as the Permissible Site Discharge (PSD) for each lot connections. For the northern catchment, the permissible discharge directly to the lot connection is dictated by the available capacity within the Council stormwater network, while total PSD to the existing table drain can be taken as the pre-development runoff modelled above.

An analysis of the existing Council stormwater system to the north of the site has been undertaken, and the PSD to the new proposed lot connection was found to be 50 L/s into the existing underground network for the 5% AEP, as shown in Appendix B. This is less than the existing runoff generated from the pre-developed site and reporting to the East Derwent Highway table drain, hence this has been taken as the northern catchment lot connection PSD.





**Figure 5:** Pre-development box and whisker plot comparison of storm ensembles for 5% AEP from the existing northern catchment. Design flow rate for critical storm duration median pattern = 86.7 L/s (20-minute duration, storm pattern 1).



**Figure 6:** Pre-development box and whisker plot comparison of storm ensembles for 5% AEP from the existing eastern catchment. Design flow rate for critical storm duration median pattern = 53.8 L/s (20-minute duration, storm pattern 2).

### 2.2.3 Runoff Mitigation Proposal

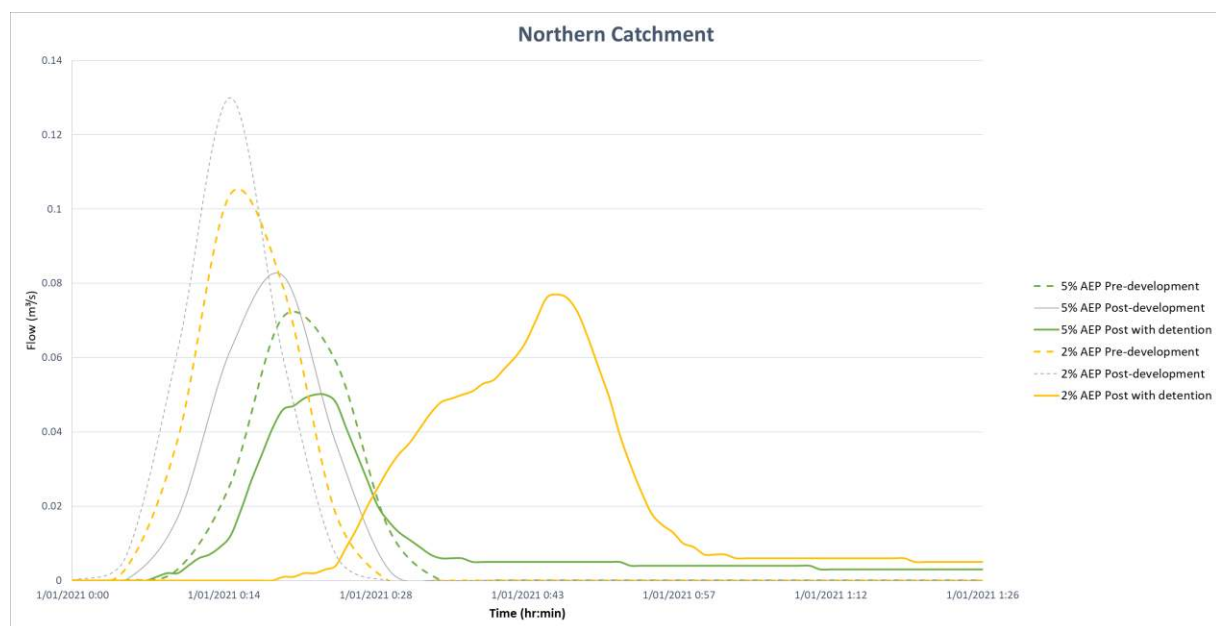
In order to limit site runoff post development to the PDS for the northern and eastern catchments, shallow above-ground on site detention (OSD) is proposed, with orifice-controlled discharge limiting the site runoff for all storm durations up to the 2% AEP event. For the southern catchment, a below ground detention tank is proposed, limiting flows to pre-development runoff volumes for this catchment up to the 2% AEP event.

Detention requirements were analysed in XP Storm 2019. The analysis results are summarised in Table 2 below, and discharge hydrographs for each storm event are presented in Figures 6, 7 and 8 for each catchment. Site discharge for each catchment is shown to be limited to pre-development runoff volumes for up to the 2% AEP.

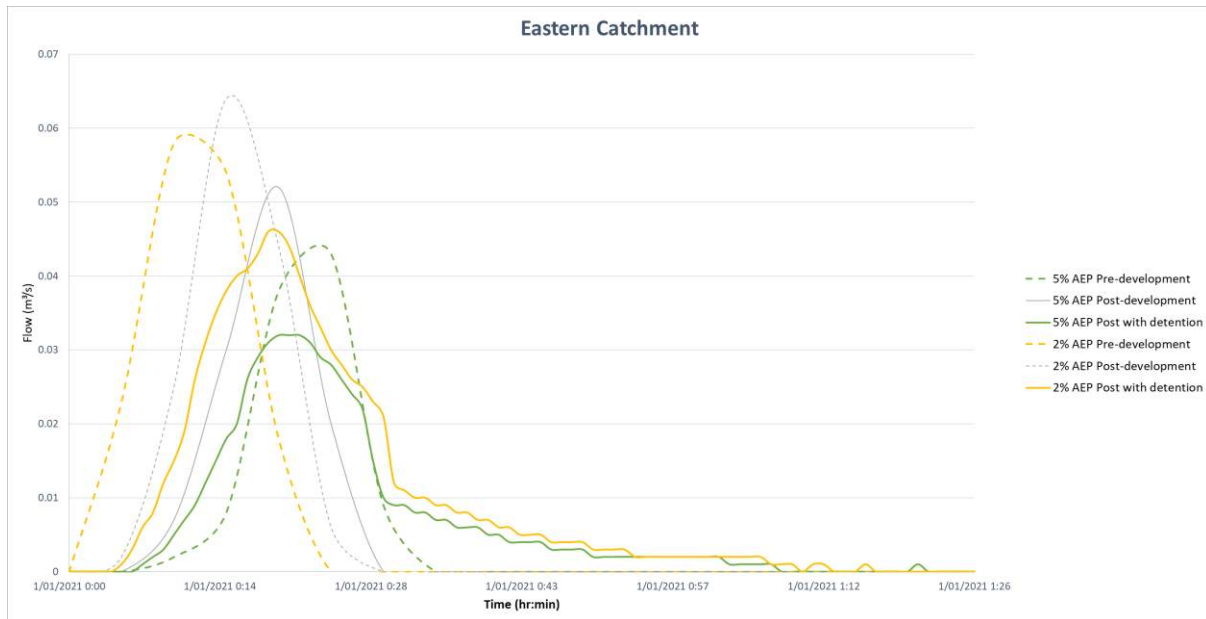
This analysis has been undertaken for planning purposes. A more detailed and comprehensive analysis will be undertaken during detailed design, which may result in an amended or alternate design solution.

**Table 2:** Proposed OSD design summary

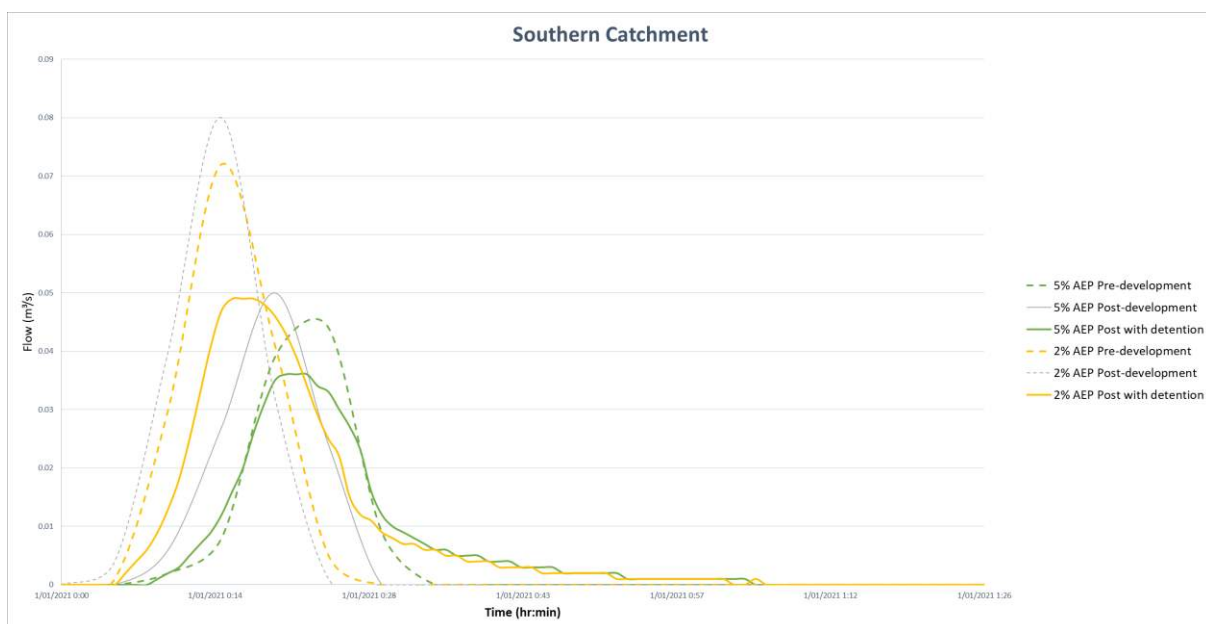
	Catchment	Max Flow Rate (L/s)			Detention Requirement	
		Pre-development	Post-development	Post-development with detention	Detention volume (m3)	Max detention depth (m)
5% AEP	Runoff to North	67	82	49	31.3	0.26
	Runoff to East	41	52	32	14.4	0.21
	Runoff to South	42	50	36	6.0	0.48
2% AEP	Runoff to North	104	130	77	44.2	0.35
	Runoff to East	64	64	46	22.4	0.33
	Runoff to South	66	80	49	11.4	0.91



**Figure 7:** 5% and 2% AEP northern catchment site discharge pre-development, post development and post development with detention.



**Figure 8:** 5% and 2% AEP eastern catchment site discharge pre-development, post development and post development with detention.



**Figure 9:** 5% and 2% AEP northern catchment site discharge pre-development, post development and post development with detention.

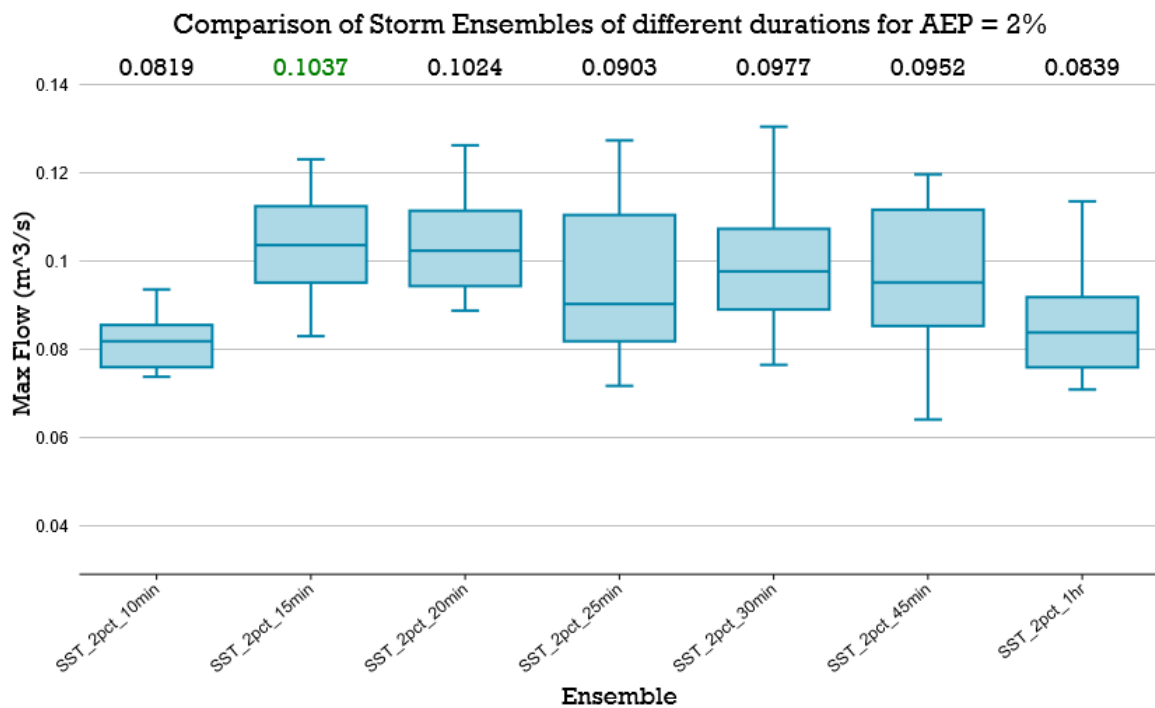
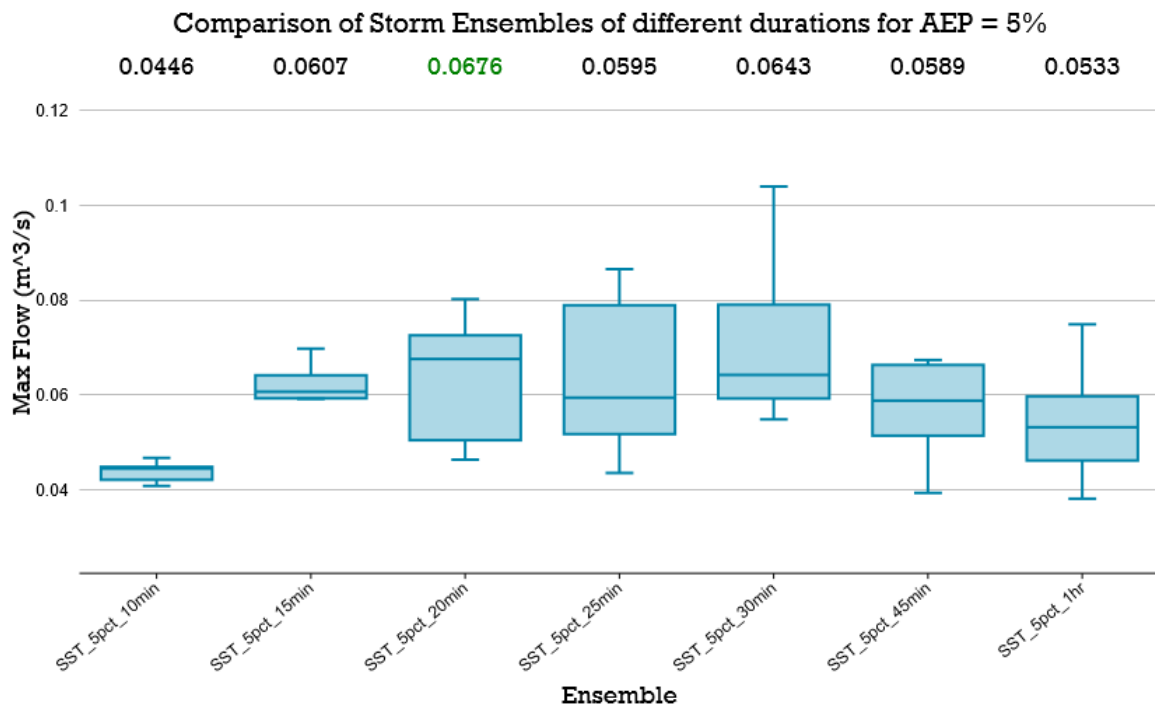
## 2.2.4 Conclusion

The development can be designed to satisfy all Objectives of Clause E7.7.1 of the Brighton Interim Planning Scheme 2015.

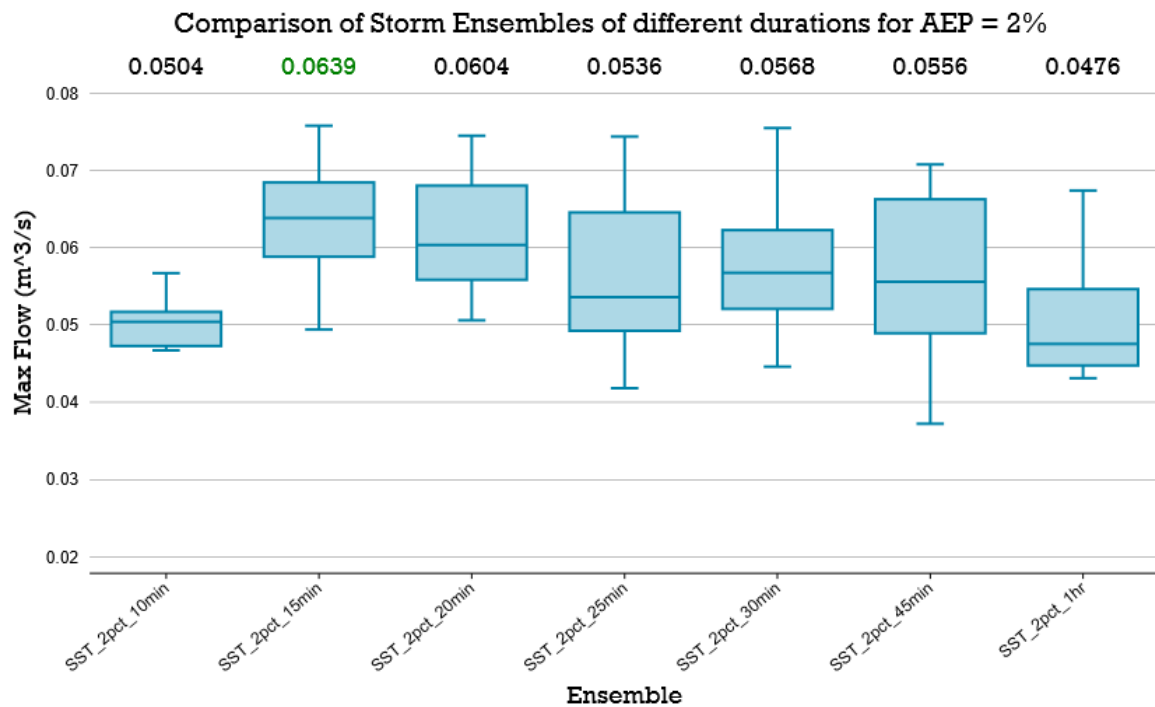
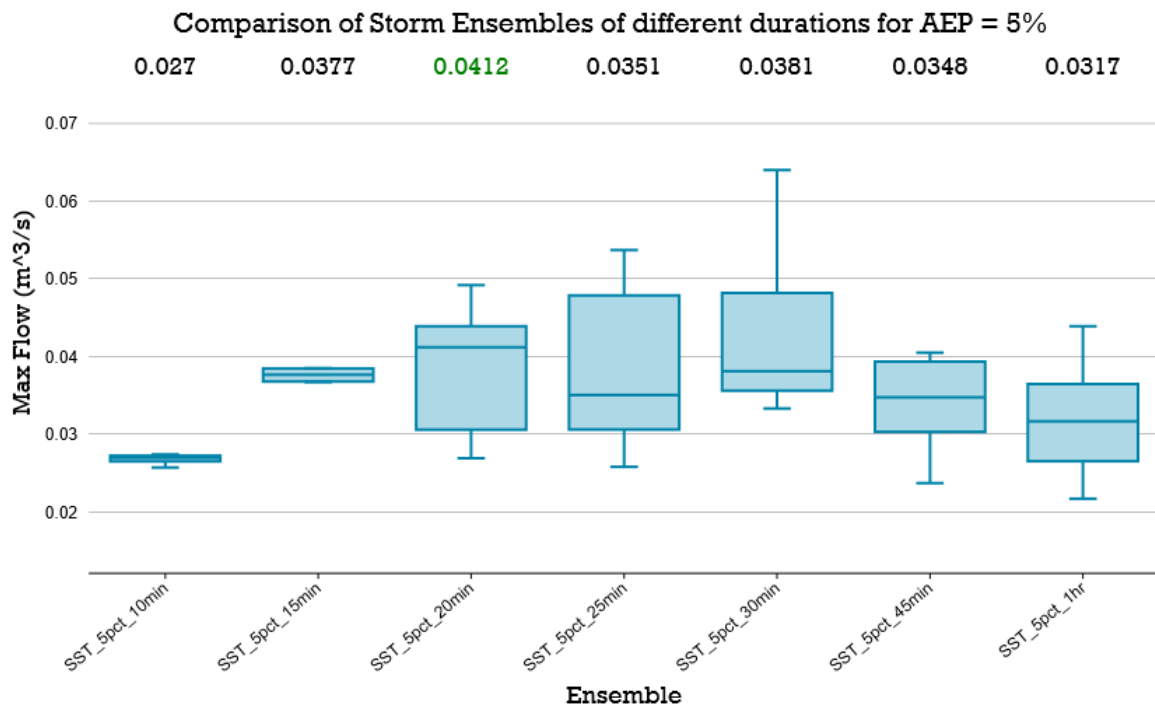


## Appendix A: Pre-development peak runoff - box and whisker plots

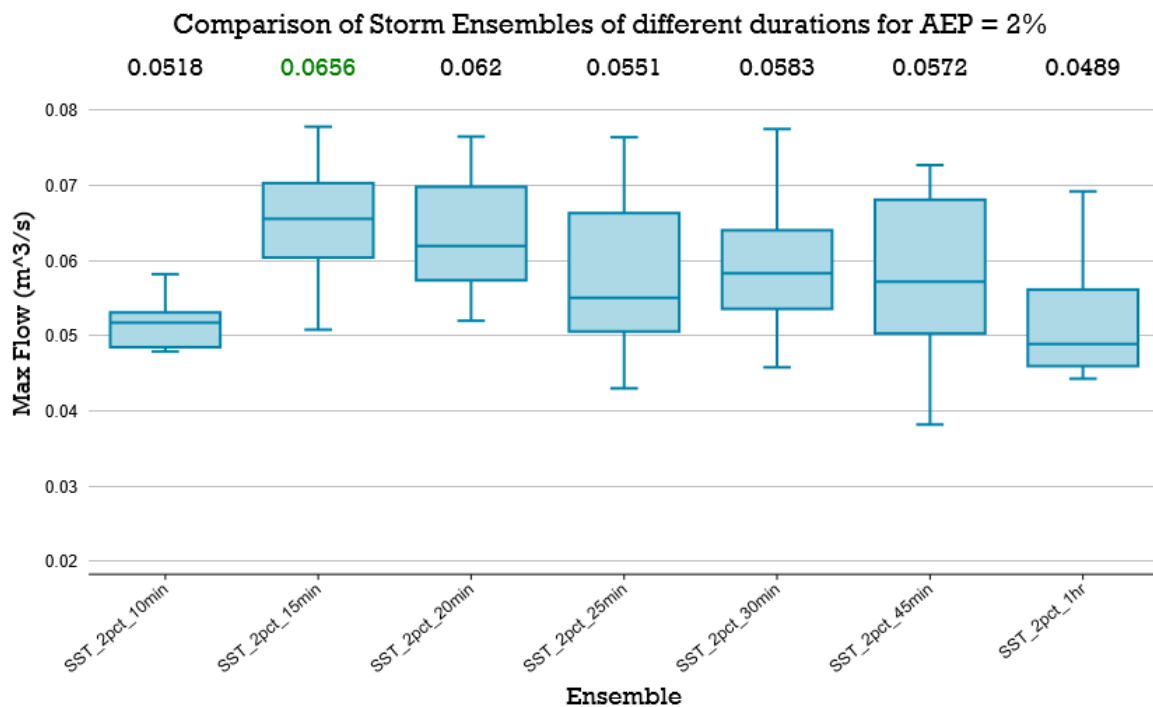
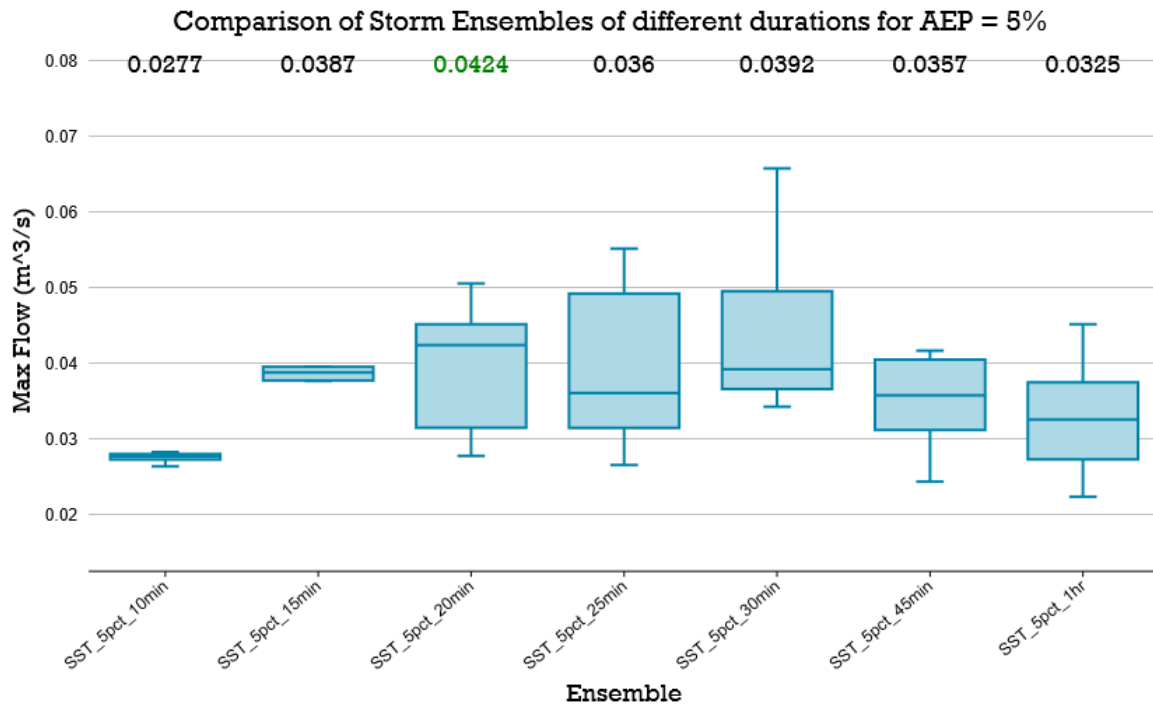
### Northern Catchment



## Eastern Catchment



## Southern Catchment

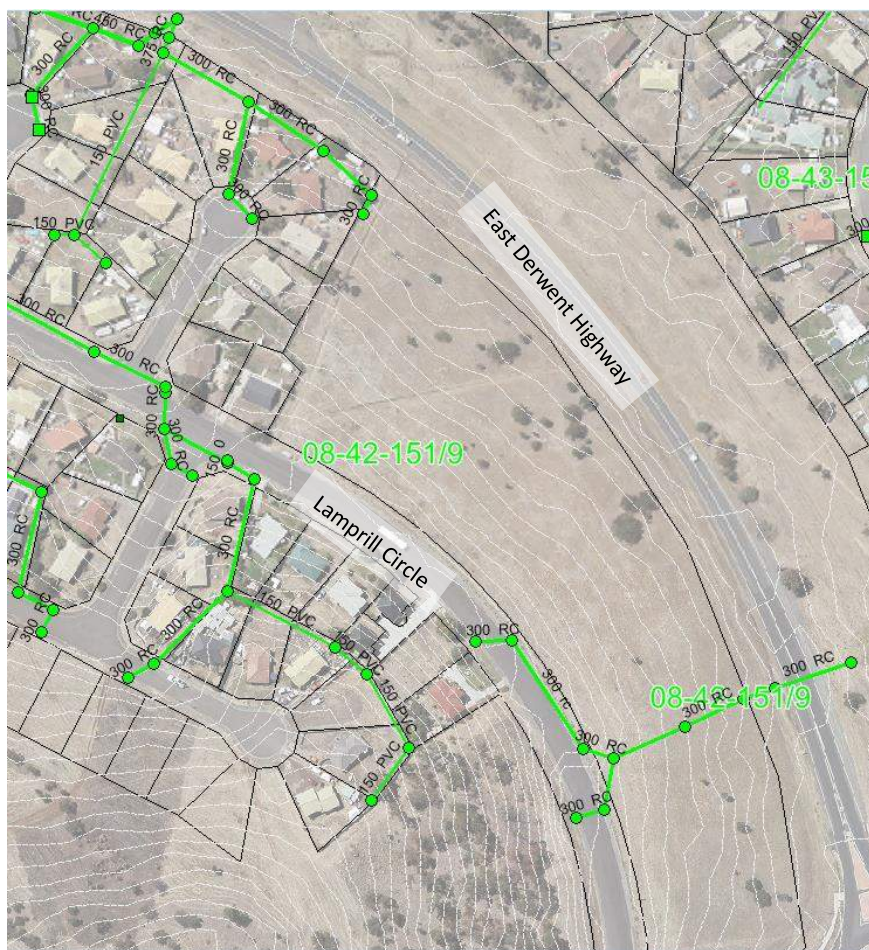




## Appendix B: Existing Council Stormwater Network Assessment to North of Development Site

An assessment was undertaken investigating the capacity of the existing Council stormwater network to the North of the proposed development site, to assess the available capacity within the Council Network.

From consultation with Brighton City Council, it was found that reasonably accurate location information and pipe diameters were available from Council records for the existing stormwater network, however, invert depths were not available for the network. In order to undertake a preliminary assessment of the network, known invert levels were used where available, and invert levels from the Council system were utilised where considered realistic. For unknown inverts levels, 600 mm standard cover was adopted to the top of the pipe.



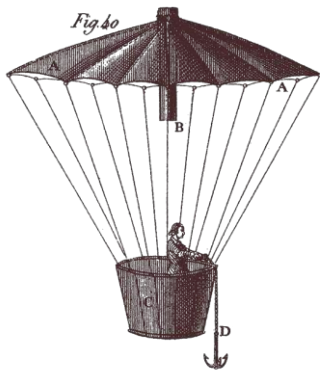
**Figure 10:** Existing Council stormwater network

An analysis of the network was undertaken in 12d model 14.0C2h. It was found that the existing network has capacity for an additional 50 L/s discharging into the proposed lot connection. Network capacity results, inclusive of the proposed additional 50 L/s site discharge flow rate, are shown below plotted on the existing network longitudinal section. This proposed permissible site discharge is less than the existing modelled runoff reporting to the East Derwent Highway in this location, hence this discharge will have no adverse effect on the East Derwent Highway culvert or downstream receiving infrastructure.













**Prime Design**

**Residential Development, Lamprill  
Circle, Herdsmans Cove  
Traffic Impact Assessment**

**July 2021**



# Contents

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1.	Introduction	4
1.1	Background	4
1.2	Traffic Impact Assessment (TIA)	4
1.3	Statement of Qualification and Experience	4
1.4	Project Scope	5
1.5	Subject Site	5
1.6	Reference Resources	6
2.	Existing Conditions	7
2.1	Transport Network	7
2.2	Road Safety Performance	7
3.	Proposed Development	10
3.1	Development Proposal	10
4.	Traffic Impacts	11
4.1	Trip Generation	11
4.2	Trip Assignment	11
4.3	Traffic Capacity Analysis	11
4.4	Access Impacts	11
4.5	Sight Distance	13
4.6	Pedestrian Impacts	13
4.7	Road Safety Impacts	13
5.	Parking Assessment	14
5.1	Parking Provision	14
5.2	Car Parking Demand	14
5.3	Planning Scheme Requirements	14
5.4	Car Parking Layout	17
6.	Conclusions	19

## Figure Index

Figure 1	Subject Site & Surrounding Road Network	6
Figure 2	Lamprill Circle	7
Figure 3	Crash Locations	9
Figure 4	Proposed Development Plans	10



# 1. Introduction

## 1.1 Background

Midson Traffic were engaged by Prime Design to prepare a traffic impact assessment for a proposed residential development at Lamprill Circle, Herdsmans Cove.

## 1.2 Traffic Impact Assessment (TIA)

A traffic impact assessment (TIA) is a process of compiling and analysing information on the impacts that a specific development proposal is likely to have on the operation of roads and transport networks. A TIA should not only include general impacts relating to traffic management, but should also consider specific impacts on all road users, including on-road public transport, pedestrians, cyclists and heavy vehicles.

This TIA has been prepared in accordance with the Department of State Growth (DSG) publication, *Traffic Impact Assessment Guidelines*, August 2020. This TIA has also been prepared with reference to the Austroads publication, *Guide to Traffic Management*, Part 12: *Traffic Impacts of Developments*, 2019.

Land use developments generate traffic movements as people move to, from and within a development. Without a clear understanding of the type of traffic movements (including cars, pedestrians, trucks, etc), the scale of their movements, timing, duration and location, there is a risk that this traffic movement may contribute to safety issues, unforeseen congestion or other problems where the development connects to the road system or elsewhere on the road network. A TIA attempts to forecast these movements and their impact on the surrounding transport network.

A TIA is not a promotional exercise undertaken on behalf of a developer; a TIA must provide an impartial and objective description of the impacts and traffic effects of a proposed development. A full and detailed assessment of how vehicle and person movements to and from a development site might affect existing road and pedestrian networks is required. An objective consideration of the traffic impact of a proposal is vital to enable planning decisions to be based upon the principles of sustainable development.

This TIA also addresses the relevant clauses in C2.0, *Parking and Sustainable Transport Code*, and C3.0, *Road and Railway Assets Code*, of the Tasmanian Planning Scheme – Brighton, 2021.

## 1.3 Statement of Qualification and Experience

This TIA has been prepared by an experienced and qualified traffic engineer in accordance with the requirements of Council's Planning Scheme and The Department of State Growth's, *Traffic Impact Assessment Guidelines*, August 2020, as well as Council's requirements.

The TIA was prepared by Keith Midson. Keith's experience and qualifications are briefly outlined as follows:

- 25 years professional experience in traffic engineering and transport planning.
- Master of Transport, Monash University, 2006
- Master of Traffic, Monash University, 2004

- Bachelor of Civil Engineering, University of Tasmania, 1995
- Engineers Australia: Fellow (FIEAust); Chartered Professional Engineer (CPEng); Engineering Executive (EngExec); National Engineers Register (NER)

## **1.4 Project Scope**

The project scope of this TIA is outlined as follows:

- Review of the existing road environment in the vicinity of the site and the traffic conditions on the road network.
- Provision of information on the proposed development with regards to traffic movements and activity.
- Identification of the traffic generation potential of the proposal with respect to the surrounding road network in terms of road network capacity.
- Review of the parking requirements of the proposed development. Assessment of this parking supply with Planning Scheme requirements.
- Traffic implications of the proposal with respect to the external road network in terms of traffic efficiency and road safety.

## **1.5 Subject Site**

The subject site is located at Lot 6, Lamprill Circle, Herdsmans Cove. The site is a large vacant lot situated on the corner of Lamprill Avenue and the access road to East Derwent Highway.

The subject site and surrounding road network is shown in Figure 1.

**Figure 1 Subject Site & Surrounding Road Network**

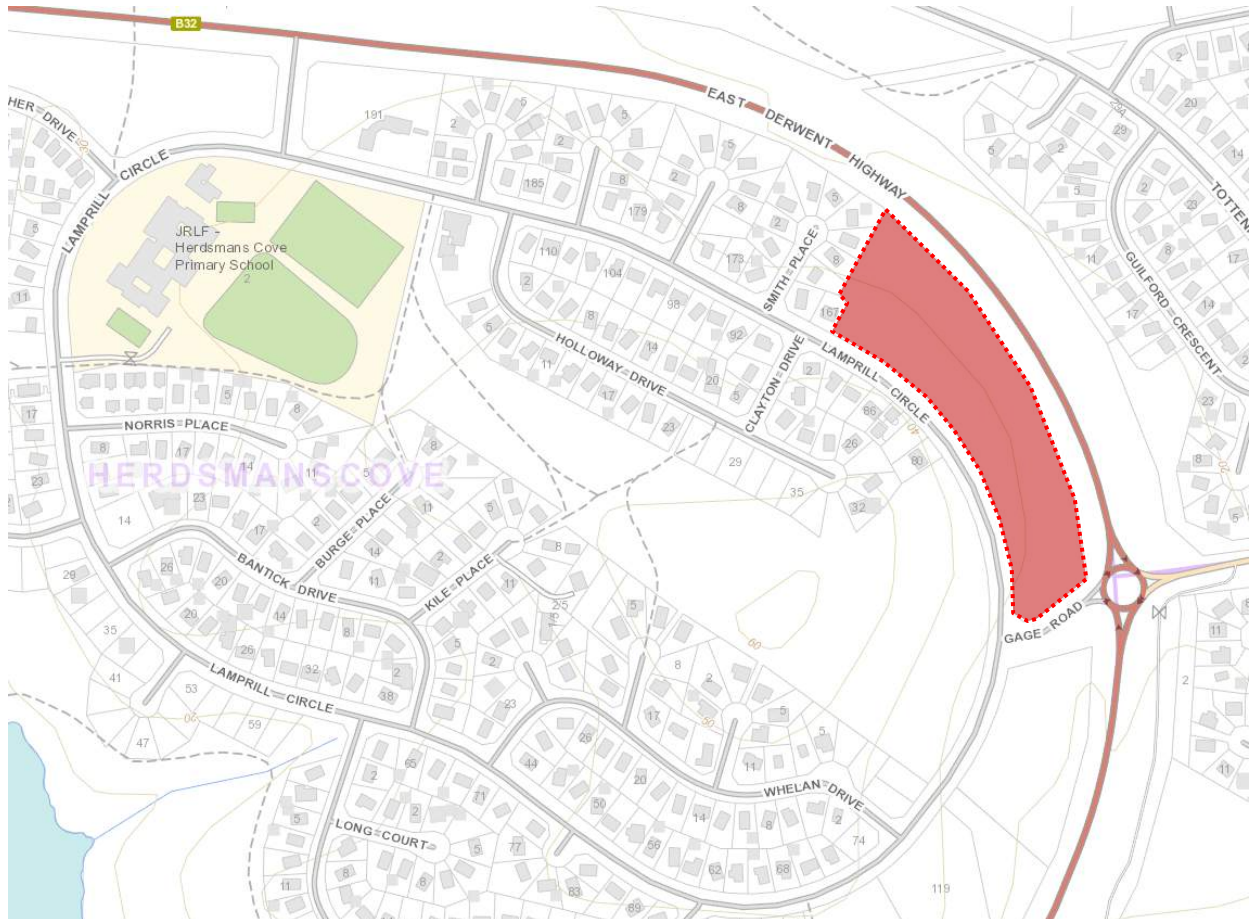


Image Source: LIST Map, DPIPWE

## 1.6 Reference Resources

The following references were used in the preparation of this TIA:

- Tasmanian Planning Scheme - Brighton, 2021 (Planning Scheme)
- Austroads, *Guide to Traffic Management*, Part 12: *Traffic Impacts of Developments*, 2019
- Austroads, *Guide to Road Design*, Part 4A: Unsignalised and Signalised Intersections, 2021
- Department of State Growth, *Traffic Impact Assessment Guidelines*, 2020
- Roads and Maritime Services NSW, *Guide to Traffic Generating Developments*, 2002 (RMS Guide)
- Roads and Maritime Services NSW, *Updated Traffic Surveys*, 2013 (Updated RMS Guide)
- Australian Standards, AS2890.1, *Off-Street Parking*, 2004 (AS2890.1:2004)



## 2. Existing Conditions

### 2.1 Transport Network

For the purpose of this report, the transport network consists of Lamprill Circle and East Derwent Highway.

Lamprill Circle is a residential collector road that forms a continuous loop within Herdsmans Cove. It connects to East Derwent Highway at two locations:

- A link road that connects between a roundabout at East Derwent Highway. The subject site is located adjacent to the link road.
- A link road that connects to East Derwent Highway at a T-junction.

The general urban speed limit of 50-km/h applies to Lamprill Circle. Traffic volumes are estimated to be in the order of 1,500 vehicles per day near the subject site.

Lamprill Circle near the subject site is shown in Figure 2.

**Figure 2 Lamprill Circle**



### 2.2 Road Safety Performance

Crash data can provide valuable information on the road safety performance of a road network. Existing road safety deficiencies can be highlighted through the examination of crash data, which can assist in determining whether traffic generation from the proposed development may exacerbate any identified issues.

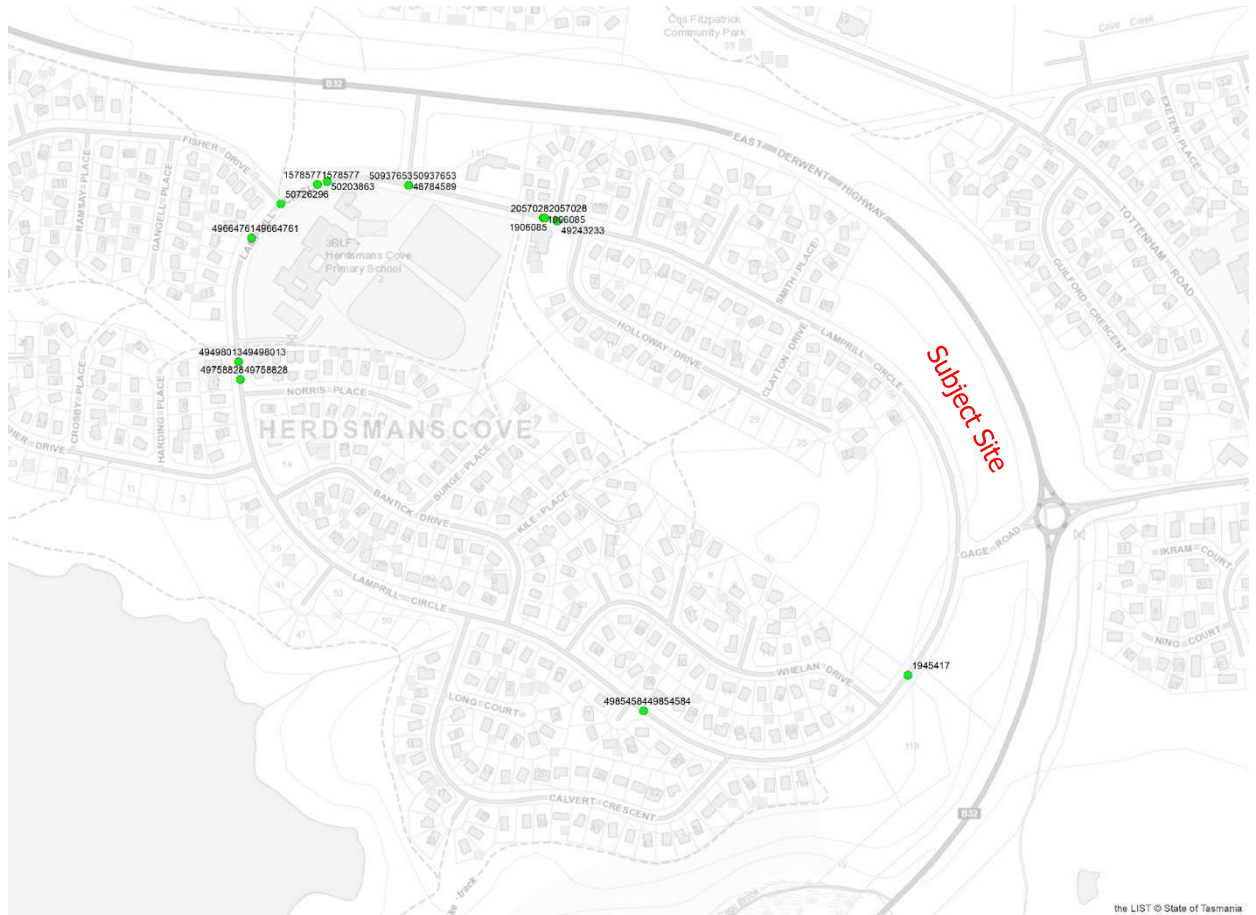
Crash data was obtained from the Department of State Growth for a 5+ year period between 1<sup>st</sup> January 2016 and 30<sup>th</sup> June 2021 for the full length of Lamprill Circle.

The findings of the crash data is summarised as follows:

- A total of 13 crashes were reported during this time.
- Severity. 1 crash involved serious injury; 3 crashes involved minor injury; 2 crashes involved first aid at the scene; 7 crashes involved property damage only.
- Time of day. The majority of crashes were reported between 8:00am and 6:00pm (9 crashes). 4 crashes were reported after 8:00pm (1 involving serious injury; 2 involving minor injury and 1 involving first aid).
- Day of week. Crashes were relatively evenly distributed by day of week. 3 crashes were reported on Fridays; 2 crashes were reported on Mondays, Tuesdays, Wednesdays and Saturdays; 1 crash was reported on a Thursday and a Sunday.
- Crash types. No clear crash trends were noted by crash type. 2 crashes involved 'leaving-parking'; various other individual crash types were reported with no patterns.
- Crash locations. The majority of crashes were reported at the north-western edge of Lamprill Circle, predominantly near the school. No crashes were reported near the subject site. The crash locations are shown in Figure 3.
- Vulnerable road users. 1 crash involved a pedestrian; 2 crashes involved motorcycles (noting that one of these crashes involved a head-on collision between two motorcycles).

The crash data does not provide an indication that there are existing road safety deficiencies in the network that may be exacerbated by traffic generated by the development proposal.

**Figure 3 Crash Locations**



Source: Department of State Growth







- (a) *any increase in traffic caused by the use;*
- (b) *the nature of the traffic generated by the use;*
- (c) *the nature of the road;*
- (d) *the speed limit and traffic flow of the road;*
- (e) *any alternative access to a road;*
- (f) *the need for the use;*
- (g) *any traffic impact assessment; and*
- (h) *any advice received from the rail or road authority”.*

The following is relevant with respect to the development proposal:

- a. Increase in traffic. The site is currently a vacant block with effectively zero traffic generation. The development will generate 200 vehicles per day across 2 accesses and 4 individual driveways. The peak generation will be 9 vehicles per hour at the two accesses. As outlined in Section 4.3, the traffic generation will not have any significant adverse impacts in terms of traffic efficiency or safety.
- b. Nature of traffic. The traffic generation will be residential in nature, which is consistent with traffic generation from the surrounding area.
- c. Nature of road. Lamprill Circle is a residential collector road that carries predominantly residential traffic.
- d. Speed limit and traffic flow of road. Lamprill Circle has a posted speed limit of 50-km/h and carries approximately 1,500 vehicles per hour. The speed limit and traffic flow of Lamprill Circle is compatible with the traffic generation associated with the proposed development.
- e. Alternative access. No alternative access is considered necessary.
- f. Need for use. The accesses are required to provide vehicular access to the residential units associated with the development.
- g. Traffic impact assessment. This report details the findings of a traffic impact assessment.
- h. Road authority advice. Council (as road authority) have states that a TIA is required to be submitted with the development application.

Based on the above assessment, the proposed development meets the requirements of Performance Criteria P1 of Clause C3.5.1 of the Planning Scheme.



## **4.5 Sight Distance**

Austrroads Part 4A provides the requirements for sight distance at intersections. Austrroads states that Safe Intersection Sight Distance (SISD) is the minimum sight distance which should be provided on the major road at any intersection.

SISD is dependent on the 85<sup>th</sup> percentile speed of vehicles on the major road. In this case the 85<sup>th</sup> percentile speed on Lamprill Circle has been assumed to equate to the speed limit of 50-km/h.

For an 85<sup>th</sup> percentile speed of 50-km/h, the minimum SISD requirement is 90 metres. The available sight distance exceeds this amount in both directions from both proposed junctions on Lamprill Circle.

Australian Standards, AS2890.1, provide the sight distance requirements for the four driveways that service the individual units. Sight distance requirements are lower for residential driveways compared to road junctions. The sight distance requirements for a residential driveway in a 50-km/h frontage road is 40 metres. The available sight distance exceeds this requirement in both directions along Lamprill Circle for all driveways.

## **4.6 Pedestrian Impacts**

The proposed development is likely to attract a relatively small amount of pedestrian movements in the surrounding network. It is noted that there are several pedestrian generating land uses in the nearby surrounding network, including a school and a small supermarket.

Pedestrian infrastructure in the surrounding road network is generally of a high standard with footpaths provided on both sides of Lamprill Circle near the subject site.

## **4.7 Road Safety Impacts**

The proposed development generates a relatively small amount of additional traffic on the surrounding road network (in the order of a minimal 20 vehicles per hour during peak times).

No significant adverse road safety impacts are therefore foreseen for the following reasons:

- The existing crash history of Lamprill Circle near the subject site network does not indicate that there are any road safety deficiencies that would be exacerbated by the proposed development (specifically noting that there have not been any crashes near the subject site in the past five years).
- The traffic generation of the proposed development is considered to be very low (in the order of 20 vehicles per hour during peak periods, average of one vehicle every three minutes spread across 2 accesses and four separate driveways), and therefore will not alter the level of service of any part of the transport network. No significant road safety impacts are likely to result without a corresponding deterioration in the network's level of service.
- The site access is located in a residential low speed environment. All traffic movements into and out of the site are clear and obvious for other road users.

## 5. Parking Assessment

### 5.1 Parking Provision

The proposed development provides a total of 95 on-site car parking spaces.

### 5.2 Car Parking Demand

The RMS Guide provides guidance on parking demands associated with medium density residential developments. The RMS Guide recommends the following parking provision for the 55 proposed new units:

▪ 1 space per unit	40 spaces
▪ + 1 space for every 5 x 2 bedroom unit	8 spaces
▪ + 1 space for every 2 x 3 bedroom unit	0 spaces
▪ + 1 space for 5 units (visitor parking)	8 spaces
▪ <u>TOTAL</u>	<u>56 spaces</u>

The total parking requirement of 79 spaces is therefore recommended for the development. The provision of 111 spaces exceeds the RMS parking recommendation by 39 spaces.

### 5.3 Planning Scheme Requirements

The Acceptable Solution A1 of Clause C2.5.1 of the Planning Scheme states:

*"The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if:*

- (a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;*
- (b) the site is contained within a parking precinct plan and subject to Clause C2.7;*
- (c) the site is subject to Clause C2.5.5; or*
- (d) it relates to an intensification of an existing use or development or a change of use where:*
  - (i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or*
  - (ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table*

*C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:*

$$N = A + (C - B)$$

*N = Number of on-site car parking spaces required*

*A = Number of existing on site car parking spaces*

*B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1*

*C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1".*

In this case, sub-points (a), (b), (c), and (d) are not applicable. The car parking requirements in Table C2.1 for residential land use is:

- 2 spaces for dwelling; plus
- 1 dedicated space per 4 dwellings for visitor parking.

This equates to a parking requirement for 100 spaces. The provision of 95 spaces does not meet the requirements of Acceptable Solution A1 of Clause C2.5.1 of the Planning Scheme.

The Performance Criteria P1.1 of Clause C2.5.1 of the Planning Scheme states:

*"The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to:*

- (a) the availability of off-street public car parking spaces within reasonable walking distance of the site;*
- (b) the ability of multiple users to share spaces because of:*
  - (i) variations in car parking demand over time; or*
  - (ii) efficiencies gained by consolidation of car parking spaces;*
- (c) the availability and frequency of public transport within reasonable walking distance of the site;*
- (d) the availability and frequency of other transport alternatives;*
- (e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;*
- (f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;*
- (g) the effect on streetscape; and*



*(h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development”.*

Performance Criteria P1.2 of Clause C2.5.1 states:

*“The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:*

- (a) the nature and intensity of the use and car parking required;*
- (b) the size of the dwelling and the number of bedrooms; and*
- (c) the pattern of parking in the surrounding area”.*

The following is relevant with respect to the development proposal:

P1.1 –

- a. Off-street public car parking. There is no nearby off-street public car parking.
- b. Shared parking. Shared parking principles are not applicable.
- c. Public transport. Metro Tasmania operate frequent bus services along Lamprill Circle.
- d. Alternative transport. The site is located in walking distance to a school and small supermarket.
- e. Site constraints. Not applicable.
- f. On-street car parking. There is a large pool of available on-street car parking available in Lamprill Circle. The Lamprill Circle frontage of the site can cater for approximately 35 on-street parked cars.
- g. Streetscape. Not applicable.

P1.2 –

- a. Nature and intensity of use and car parking required. The development is medium density residential. The likely parking demands are set out in Section 5.2. The likely parking demands of 56 spaces is less than the provision of 95 spaces and therefore the parking will accommodate for the needs of the development.
- b. Size of dwelling and number of bedrooms. All units have relatively small floor areas with two bedrooms. The size of the units is consistent with medium density housing.
- c. Pattern of parking in surrounding area. Site observations indicate that there is little on-street car parking occurring in Lamprill Avenue near the site. The majority of nearby dwellings have sufficient available off-street parking to cater for the parking demands.

Based on the above assessment, the development meets the requirements of P1.1 and P1.2 of Clause C2.5.1 of the Planning Scheme. Specifically, the actual parking demands of the development will be lower than the Acceptable Solution parking requirements, and there is a large pool of on-street car parking available immediately adjacent to the site.

## 5.4 Car Parking Layout

The Acceptable Solution A1.1 of Clause C2.6.2 of the Planning Scheme states:

*"Parking, access ways, manoeuvring and circulation spaces must either:*

- (a) comply with the following:*
  - (i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;*
  - (ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces;*
  - (iii) have an access width not less than the requirements in Table C2.2;*
  - (iv) have car parking space dimensions which satisfy the requirements in Table C2.3;*
  - (v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces;*
  - (vi) have a vertical clearance of not less than 2.1m above the parking surface level; and*
  - (vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or*
- (b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6".*

The following is relevant with respect to the development proposal:

- a. Layout
  - i. The gradients comply with the relevant requirements of AS2890.
  - ii. All vehicles can enter and exit the site at Lamprill Circle in a forward direction.
  - iii. Table C2.2 requires a internal access width not less than 5.5m. In this case the access widths are greater than 5.5m at the two main access aisles that connect to Lamprill Circle.
  - iv. Table C2.3 requires parking dimensions of 5.4m length x 2.6m width with combined access and manoeuvring width of 6.4m for 90-degree parking. In this case all parking spaces comply with these requirements.
  - v. Refer to iv above.
  - vi. The vertical clearance exceeds 2.1m above the parking surface level.

- vii. Line marking is provided on all on-site visitor car parking spaces. Garage and car port car parking spaces do not require line marking.
- b. Australian Standards Assessment. The car parking layout meets the requirements of the relevant Australian Standards, AS2890.1.

Based on the above assessment the development meets the requirements of Acceptable Solution A1.1 of Clause C2.6.2 of the Planning Scheme.



## 6. Conclusions

This traffic impact assessment (TIA) investigated the traffic and parking impacts of a proposed development at Lot 6, Lamprill Circle, Herdsmans Cove.

The key findings of the TIA are summarised as follows:

- The traffic generation of the development is likely to be 200 vehicles per day with a peak generation of 20 vehicles per hour.
- Traffic generation is split between 2 main accesses and 4 driveways that service individual units. The traffic generation at the accesses will not have any significant adverse impacts on traffic efficiency or road safety. The development meets the requirements of Performance Criteria P1 of Clause C3.5.1 of the Planning Scheme.
- The car parking provision of 95 on-site parking spaces meets the requirements of Performance Criteria P1.1 and P1.2 of Clause C2.5.1 of the Planning Scheme. The parking demands of the development will be lower than the Acceptable Solution parking requirements, and there is a large pool of on-street car parking available immediately adjacent to the site.
- The car parking layout of the development meets the requirements of Acceptable Solution A1.1 of Clause C2.6.2 of the Planning Scheme.

Based on the findings of this report and subject to the recommendations above, the proposed development is supported on traffic grounds.

Midson Traffic Pty Ltd ABN: 26 133 583 025

28 Seaview Avenue

Taroona TAS 7053

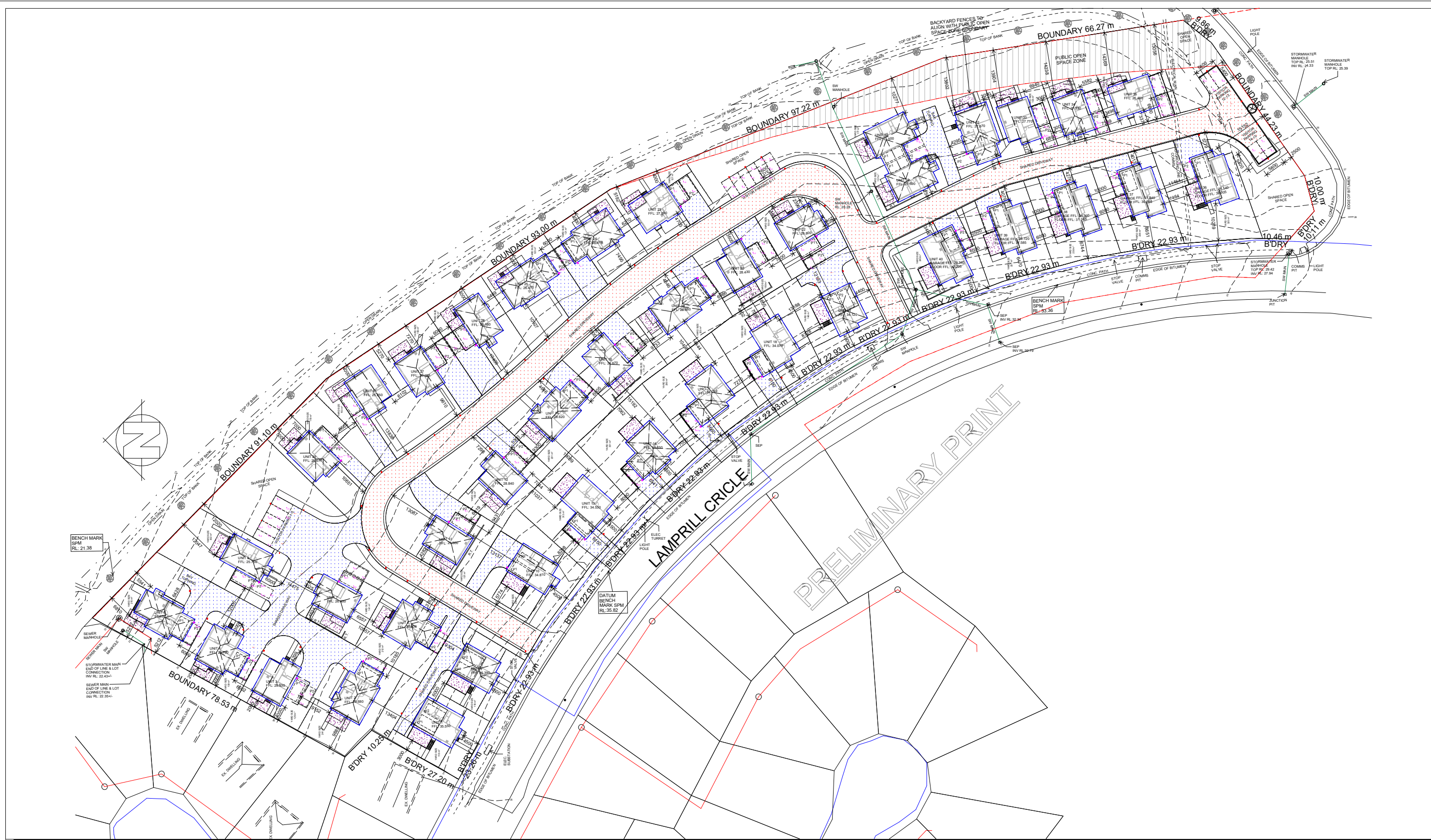
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**Document Status**

Revision	Author	Review	Date
0	Keith Midson	Zara Kacic-Midson	31 July 2021





Scale= 1: 1000



Project Number  
**DL-210782**  
Client  
Lot 1 Lamprill Circle,  
Herdsman Cove  
Title  
DL-210782-D01001-Org.AGI  
Description:  
Road Lighting

Designed  
**AK**  
Approved  
**JPG**  
Date  
09-07-21  
Page Size  
**A3**  
Sheet  
**1 of 1**  
Rev  
**Org**



Luminaire Schedule					
Symbol	Qty	Label	LLF	Lum. Watts	Lum. Lumens
	71	IES-LC1371-LYGON-LED-BOLLARD-	0.800	20.6	1162
	36	IES-LC4230-RAVEN-35W-Wall-300	0.800	36.09	2671

Notes and Assumptions:

- 1) The design has been done on the basis of the drawings given by the client, "2021\_05\_25 PD20174 (Rev06\_Planning\_Reduced File Size) Lot 1 Lamprill Circle, Herdsmans Cove.pdf",
- 2) No specific brief has been given by the client. Therefore the onus is on the client to check, verify and approve the design as the designer is not involved at the construction level of the project. The designs does not comply to Australian standards.
- 3) A Light Loss Factor (LLF) of 0.8 has been applied in accordance with AS 1680.4 and 1158
- 4) Direct only calculations have been done in this design.
- 5) No reflectances have been considered.
- 6) Mounting heights are shown on the design.

This Lighting Design is subject to the normal accuracies and tolerances of photometry and software as described within AS 3827.

Calculation Summary				
Label	Avg	Max	Min	Min/Avg
Car Park 1	22.05	61.3	2.6	0.12
Car Park 10	10.80	35.3	1.8	0.17
Car Park 11	9.44	49.8	1.4	0.15
Car Park 12	16.28	54.5	2.3	0.14
Car Park 13	10.38	34.4	1.6	0.15
Car Park 14	9.25	15.9	3.3	0.36
Car Park 15	26.50	74.0	2.8	0.11
Car Park 16	11.70	39.3	1.8	0.15
Car Park 17	21.55	46.5	3.1	0.14
Car Park 18	2.62	6.0	0.8	0.31
Car Park 19	10.14	42.0	1.5	0.15
Car Park 2	24.30	61.0	3.5	0.14
Car Park 20	23.25	54.7	3.0	0.13
Car Park 21	21.60	44.5	3.2	0.15
Car Park 22	21.63	39.9	3.6	0.17
Car Park 23	22.53	59.5	3.0	0.13
Car Park 24	16.25	103.1	0.8	0.05
Car Park 25	24.62	74.3	4.2	0.17
Car Park 26	34.95	58.0	11.9	0.34
Car Park 27	17.34	65.1	0.9	0.05
Car Park 28	17.66	66.2	0.6	0.03
Car Park 29	19.19	67.9	1.1	0.06
Car Park 3	11.74	37.3	2.0	0.17
Car Park 30	7.42	25.1	0.8	0.11
Car Park 31	6.72	22.0	0.7	0.10
Car Park 32	17.60	28.4	6.8	0.39
Car Park 33	20.53	50.1	3.3	0.16
Car Park 34	21.23	50.7	3.4	0.16
Car Park 35	18.35	29.4	7.3	0.40
Car Park 36	25.15	59.3	3.4	0.14
Car Park 37	19.04	60.8	1.8	0.09
Car Park 4	22.45	59.0	3.1	0.14
Car Park 5	12.04	36.7	2.4	0.20
Car Park 6	22.00	39.3	4.7	0.21
Car Park 7	6.33	21.7	0.8	0.13
Car Park 8	15.43	45.9	1.0	0.06
Car Park 9	19.39	43.4	0.8	0.04
Internal Road 1	7.11	156.0	0.3	0.04
Internal Road 10	16.94	97.5	0.3	0.02
Internal Road 11	11.40	76.0	0.8	0.07



Project Number	Designed	Date
DL-210782	AK	09-07-21
Client	Approved	Page Size
Lot 1 Lamprill Circle, Herdsmans Cove	JPG	A3
Title		Sheet
DL-210782-D01001-Org.AGI		1 of 1
Description:		Rev
Road Lighting		Org

Calculation Summary

Label	Avg	Max	Min	Min/Avg	Min/Max
Internal Road 12	19.32	87.0	0.3	0.02	0.00
Internal Road 13	12.97	80.8	0.5	0.04	0.01
Internal Road 14	5.45	72.1	0.3	0.06	0.00
Internal Road 15	7.60	35.9	1.4	0.18	0.04
Internal Road 16	3.17	12.6	1.3	0.41	0.10
Internal Road 17	7.82	102.1	0.3	0.04	0.00
Internal Road 18	13.13	76.6	0.5	0.04	0.01
Internal Road 19	12.57	75.8	0.8	0.06	0.01
Internal Road 2	8.93	104.5	0.3	0.03	0.00
Internal Road 20	5.70	49.1	0.8	0.14	0.02
Internal Road 21	21.00	110.0	1.1	0.05	0.01
Internal Road 22	24.70	107.1	1.5	0.06	0.01
Internal Road 23	23.38	117.6	1.1	0.05	0.01
Internal Road 24	21.10	101.8	1.3	0.06	0.01
Internal Road 25	14.46	94.9	0.4	0.03	0.00
Internal Road 3	7.60	76.0	0.5	0.07	0.01
Internal Road 4	20.30	115.6	1.5	0.07	0.01
Internal Road 5	23.93	94.4	1.1	0.05	0.01
Internal Road 6	22.36	88.4	0.9	0.04	0.01
Internal Road 7	21.14	116.1	2.1	0.10	0.02
Internal Road 8	10.61	128.1	0.6	0.06	0.00
Internal Road 9	18.83	77.1	1.8	0.10	0.02
Main Driveway	7.06	130.3	0.3	0.04	0.00

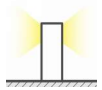


# LYGON 20W

## Exterior Bollard Light

Our design inspiration for the LYGON 20W Bollard was a lighthouse standing as a beacon of guidance and leading the way. We have incorporated the latest available technologies in a refreshingly sleek design. This spectacular LED bollard will incorporate itself beautifully into modern and classically designed projects while providing the perfect pathway lighting for navigating the space.

LYGON 20W Bollards are a great outside lighting design feature. Suitable for enhancing Outdoor space and Garden Design - in addition to providing illumination for after dark safety.



**IP65**



### SPECIFICATIONS

#### Material Specifications

<b>Material</b>	Die-Cast Aluminium & Tempered Glass
<b>Colour</b>	Charcoal
<b>Ingress Protection</b>	IP65
<b>Dimensions</b>	160mm (Dia) x 980mm (H)
<b>Warranty</b>	5 Year Replacement

#### Electrical Specifications

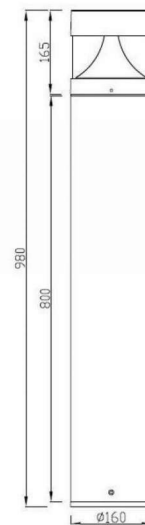
<b>Power Supply</b>	Integrated, Non-Dimmable
<b>Input Voltage</b>	240V
<b>Connection Method</b>	Hard Wired

#### Optic Specifications

<b>Light Source</b>	20W LED Everlight (40 pcs)
<b>Beam Angle</b>	Symmetrical
<b>ULOR</b>	0%
<b>CRI</b>	80Ra
<b>Nominal Lumens</b>	1800lm
<b>Delivered Lumens</b>	1007lm
<b>Colour Deviation</b>	SDCM $\leq 3$ (MacAdam)
<b>Rated Lifetime (L80B50)</b>	50,000 Hrs

### VARIATIONS

<b>LC1370</b>	LYGON 20W Bollard, 980mm, Charcoal, Non-Dim, 3000K
<b>LC1371</b>	LYGON 20W Bollard, 980mm, Charcoal, Non-Dim, 4000K





# RAVEN 35W

## Industrial Wall Light

The RAVEN 35W flood light series launches as the completely re-engineered LED version of our globally popular wall light. We are using an extrusion production method for the RAVEN series ensuring higher and more accurate heat dissipation. Die-cast aluminium frame with high corrosion resistance. Robust LED IP54 Wall Mount Floodlight for the toughest environments - with a touch of class.



**IP54**



### SPECIFICATIONS

#### Material Specifications

<b>Material</b>	Aluminium Triangle Extrusion, Polycarbonate
<b>Colour</b>	Charcoal Powdercoat
<b>Dimensions</b>	176mm x 134mm x 300mm(L)
<b>Ingress Protection</b>	IP54
<b>Impact Rating</b>	IK10
<b>Warranty</b>	5 Year Replacement

#### Electrical Specifications

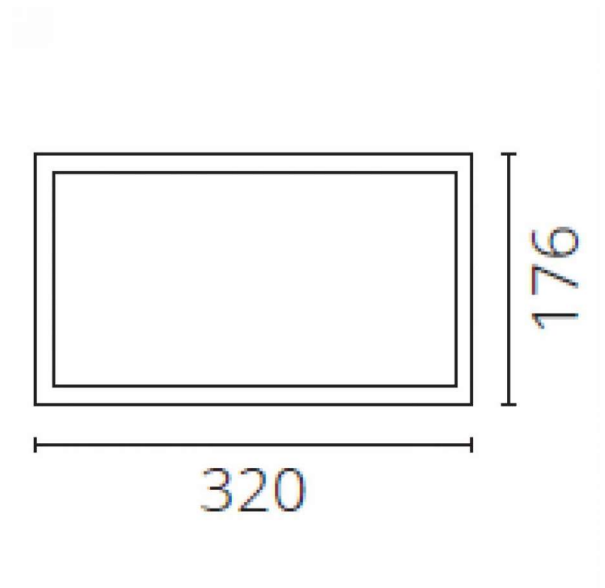
<b>Power Supply</b>	Tridonic Driver, Non-Dimmable
<b>Input Voltage</b>	220-240V
<b>Connection Method</b>	Hard Wiring, Large Internal Cavity

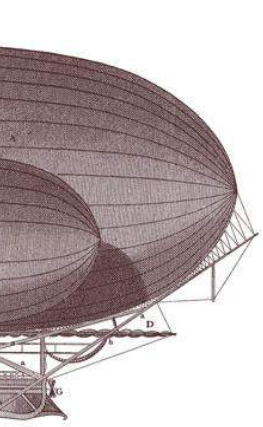
#### Optic Specifications

<b>Light Source</b>	35W LED Osram, Linear PCB
<b>Nominal Lumens</b>	3900lm
<b>Delivered Lumens</b>	2100lm
<b>CRI</b>	80Ra
<b>Colour Deviation</b>	SDCM $\leq 3$
<b>Rated Lifetime (L70B50)</b>	50,000 Hrs

### VARIATIONS

<b>LC4231</b>	RAVEN 35W Outdoor Surface Mount Floodlight 300mm, Charcoal, Non-Dim, 3000K
<b>LC4230</b>	RAVEN 35W Outdoor Surface Mount Floodlight, 300mm, Charcoal, Non-Dim, 4000K





# ENGINEERS ADVICE

TO	Brighton Council	DATE	15/11/2021
FROM	Josh Farner	TIME	
PROJECT	Lot 1 Lamprill Circle Unit Development	PROJECT N <sup>o</sup>	20.0273
SUBJECT	Response to RFI	REF N <sup>o</sup>	EA 01



SITE INSPECTION REPORT



RESPONSE TO RFI



ENGINEERS DIRECTION

**GANDY AND  
ROBERTS**

159 DAVEY ST  
HOBART TASMANIA  
AUSTRALIA 7000

**CONSULTING  
ENGINEERS**

This Engineers Advice details responses to the RFI received from Brighton Council dated 18 June 2021 for DA2021/149. All responses pertaining to engineering items are provided either below, or within the Engineering DA Plans Civil Rev B.

## Council RFI received 18 June:

### General

6. The proposal will need to describe in detail how any staging is to be undertaken, what lots and assets will be constructed in each stage, the anticipated timeframes, stormwater management to excavated areas and how construction access to site will be undertaken and managed during earlier stages.

— *Please refer DRG C009*

7. Sections through the site at strategic locations at right angles to Lamprill Circle are to be provided to show the interaction of retaining walls, bank batters and house cuts on road level transitions and the need for pavement support at footpaths and roads. These cross sections should also include several of the properties gaining access directly off Lamprill Circle.

— *Please refer DRGs C031 and C032. Concept landscaping earthworks are shown on C010*

8. Pedestrian access off roadways and through the public open space zone needs to be better considered and shown accordingly. If left unconsidered default undesirable access points will be created.

— *Please refer DRG C010*

### Proposed Private Roads

10. The assessment will need to better show in detail the extent of kerb & channel, vehicle crossovers, barrier kerbs, DDA compliant road crossings, footpath, with crossfalls shown.

— *Please refer DRG C010 for general layout and C070 for typical road sections*

12. The proposed location of rubbish/recycle bins on pick up day will need to be shown on plan. Any proposed bin locations for pick up should not impede pedestrian movement along footpaths or vehicles along roadways. Any areas proposed should be level and readily accessible by the property owner.

— *All bins are proposed to be placed on the internal footpaths for collection. Footpaths are proposed to be 1.5 m wide in accordance with TSD requirements and typical for shared pedestrian and garbage bin use. Most units will be able to place bins directly in front of each unit. Exceptions to this include:*

- Units 1 and 9, which will place bins on the main access driveway footpath (max. 35 m from unit to bin collection location)
- Units 3-7, which will place bins on the common footpath (refer C012 for exact location)
- Units 13, 14, 17 & 18, which will place bins on the Lamprill Circle Council footpath
- Units 21 & 22, and 30-35, which will place bins on the footpaths opposite these units

14. Crash barriers are to be better considered at areas where risk exists at the bottom of steep grades.

— Please refer DRG C010

16. Pedestrian aids such as tube handrail to footpaths greater than 20% located between the road and footpath should be considered to address grade implications.

— Please refer DRG C010

#### Stormwater

17. Proposed is to capture and treat some of the surface runoff with detention basins. Basins are in what is described as shared open space. The construction, fencing, nuisance suppression and landscaping need to be fully considered and shown.

— Shallow earthen detention basins are proposed within the landscaped garden area of the site. The basins shall be constructed so as to be easily accessible, with a maximum side slope of 1:4, and fencing and balustrades as appropriate adjacent to footpaths. In accordance with the 'Upper Parramatta River Catchment Trust On-Site Stormwater Detention Handbook'<sup>1</sup> the proposed detention depth is within recommended guidelines and perimeter fencing is not required. Information and warning signs similar to the example shown in Figure 1 shall be provided to forewarn of the potential stormwater ponding.

18. Drainage of the road to k&c, placement of pits, prevention of stormwater flowing onto neighbouring areas from new road and around access ramps needs showing.

— Please refer DRG C010

19. Water sensitive urban design needs to be incorporated into the design and landscaping plan.

— Please refer DRG C010 and 20.0273 Lot 1 Lamprill Circle Stormwater Management Report REV 02

20. The Department of State Growth have made the following comments: "Stormwater

- This section of the East Derwent Highway is a Category 3 road, with flood protection design criteria relating to a 2% AEP event. The application, details a 5% AEP event. The impact upon the State highway drainage system will need to be assessed for the 2% AEP event.

---

<sup>1</sup> Upper Parramatta River Catchment Trust (2005) 4<sup>th</sup> Edition. Available at [https://www.cityofparramatta.nsw.gov.au/sites/council/files/2021-04/UPRCT\\_OSD-handbook-fourth-edition.pdf](https://www.cityofparramatta.nsw.gov.au/sites/council/files/2021-04/UPRCT_OSD-handbook-fourth-edition.pdf)



- Stormwater drainage consent may be required to be obtained from the Department State Growth under Section 84 (1) (c) of the Local Government (Building and Miscellaneous Provisions) Act 1993 for drainage discharge to the Highway.”

— Please refer 20.0273 Lot 1 Lamprill Circle Stormwater Management Report REV 02

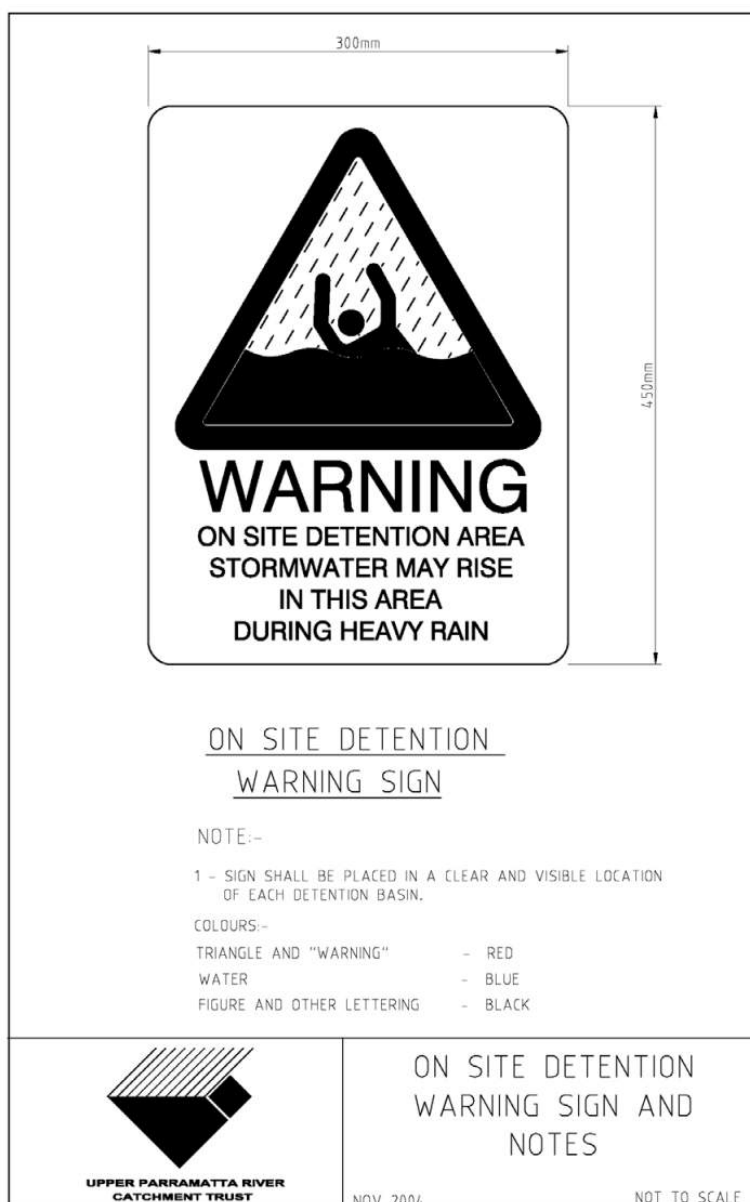


Figure 1: Example OSD information and warning sign



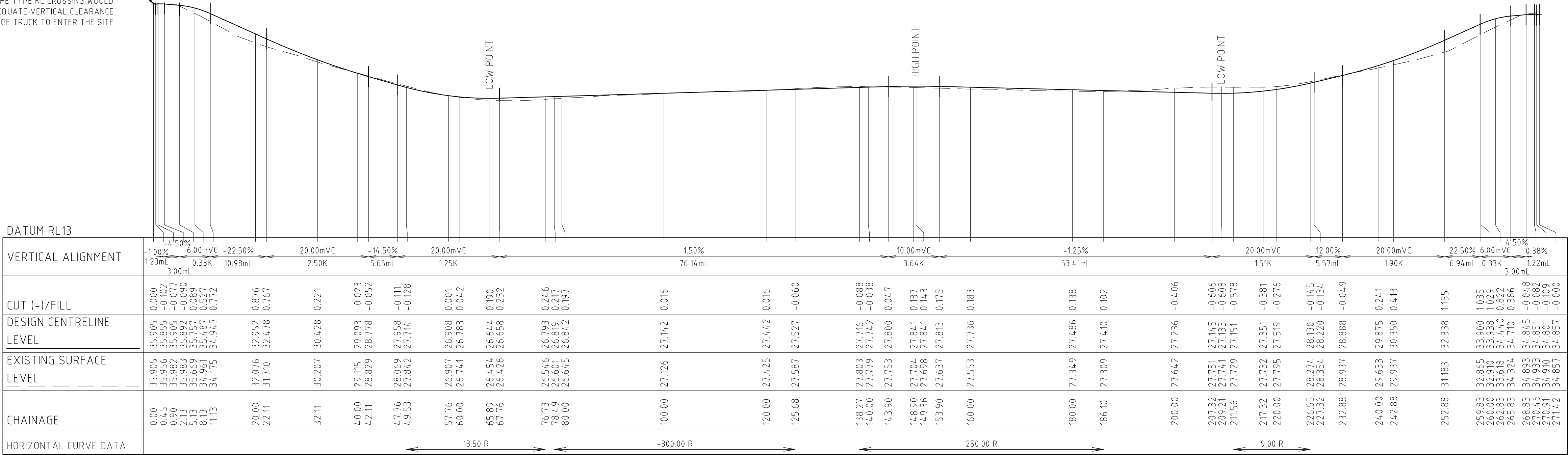








VEE CHANNEL VEHICULAR CROSSING IN ACCORDANCE WITH TSD-R14-v3 (TYP BOTH CROSSINGS). NOTE: DUE TO THE STEEP GRADE OF THE SITE THE TYPE KC CROSSING WOULD NOT PROVIDE ADEQUATE VERTICAL CLEARANCE FOR A GARBAGE TRUCK TO ENTER THE SITE



B	PLANNING APPROVAL	SP	15.11.2021
A	PLANNING APPROVAL	SP	16.04.2021
REV	DESCRIPTION	APP'D	DATE

REV	DESCRIPTION	APP'D	DATE

THIS DRAWING HAS NOT BEEN  
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CONSULTING  
ENGINEERS

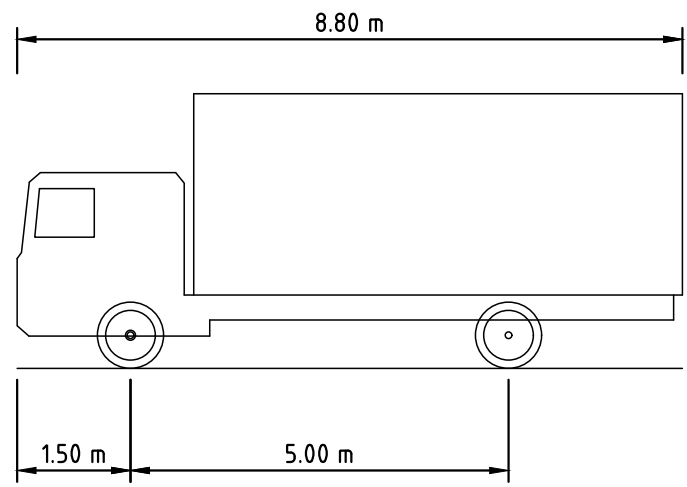
159 DAVEY ST, HOBART  
TASMANIA, AUSTRALIA 7000  
www.gandyandroberts.com.au  
mail@gandyandroberts.com.au  
ph 03 6223 8877 fx 03 6223 7183

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 1 LAMPRIILL CIRCLE HERDSMANS COVE  
TASMANIA 7030  
DRAWING TITLE  
DRIVEWAY 1 LONGITUDINAL SECTION

050mm		SCALE 1:????@A1
DESIGNED JF	DRAWN JF	CHECKED -
PROJECT 20.0273	DRAWING C011	REVISION A

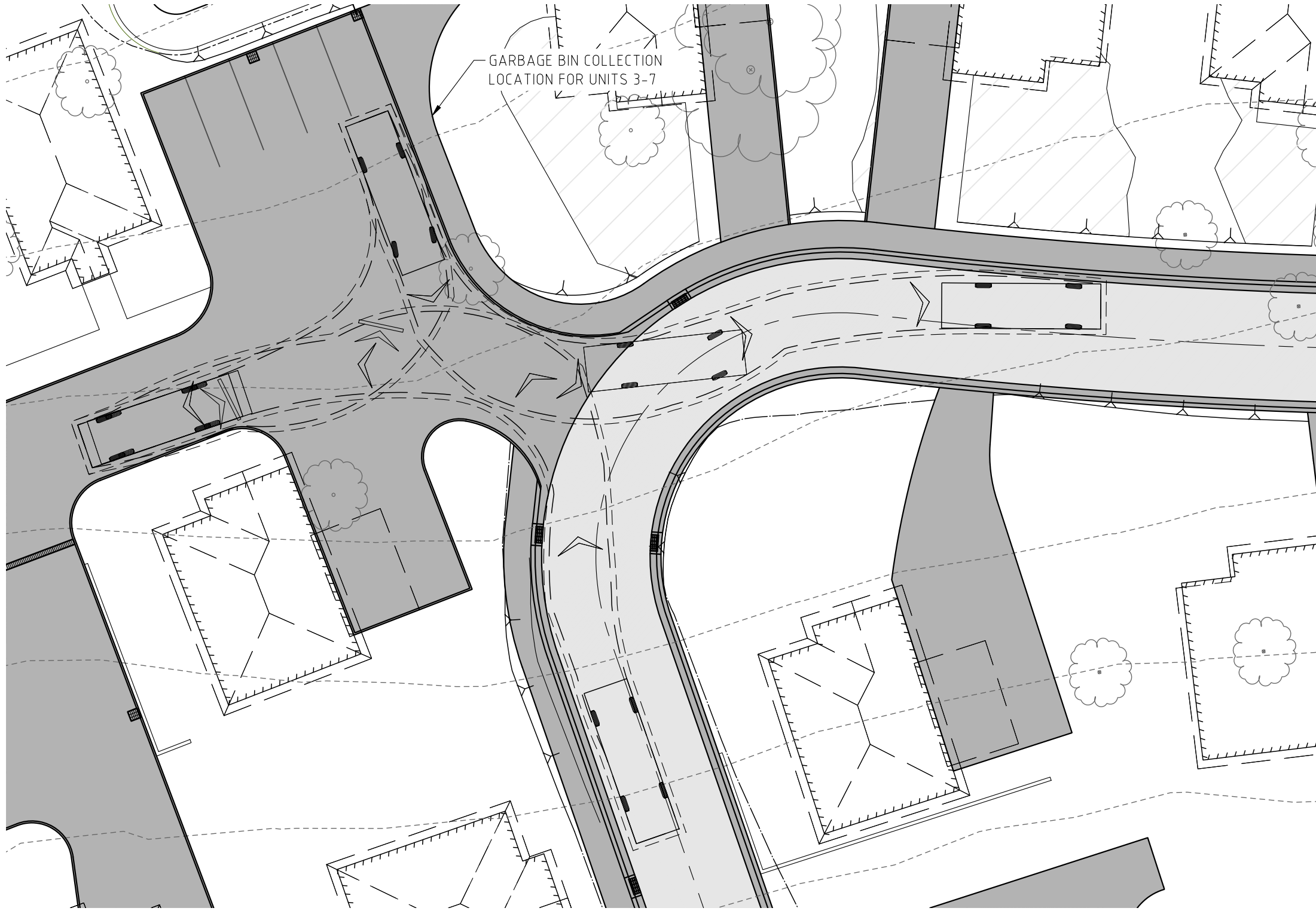
GANDY AND ROBERTS Consulting Engineers

11/10/2021 12:28:26 PM h:\working\1040\Drawings\2020\10273\Lot 1 Lampriill Circle\Lot Development\03 - Driveway\DW - Driveway Longitudinal Section.dwg, mxd0310273.dwg

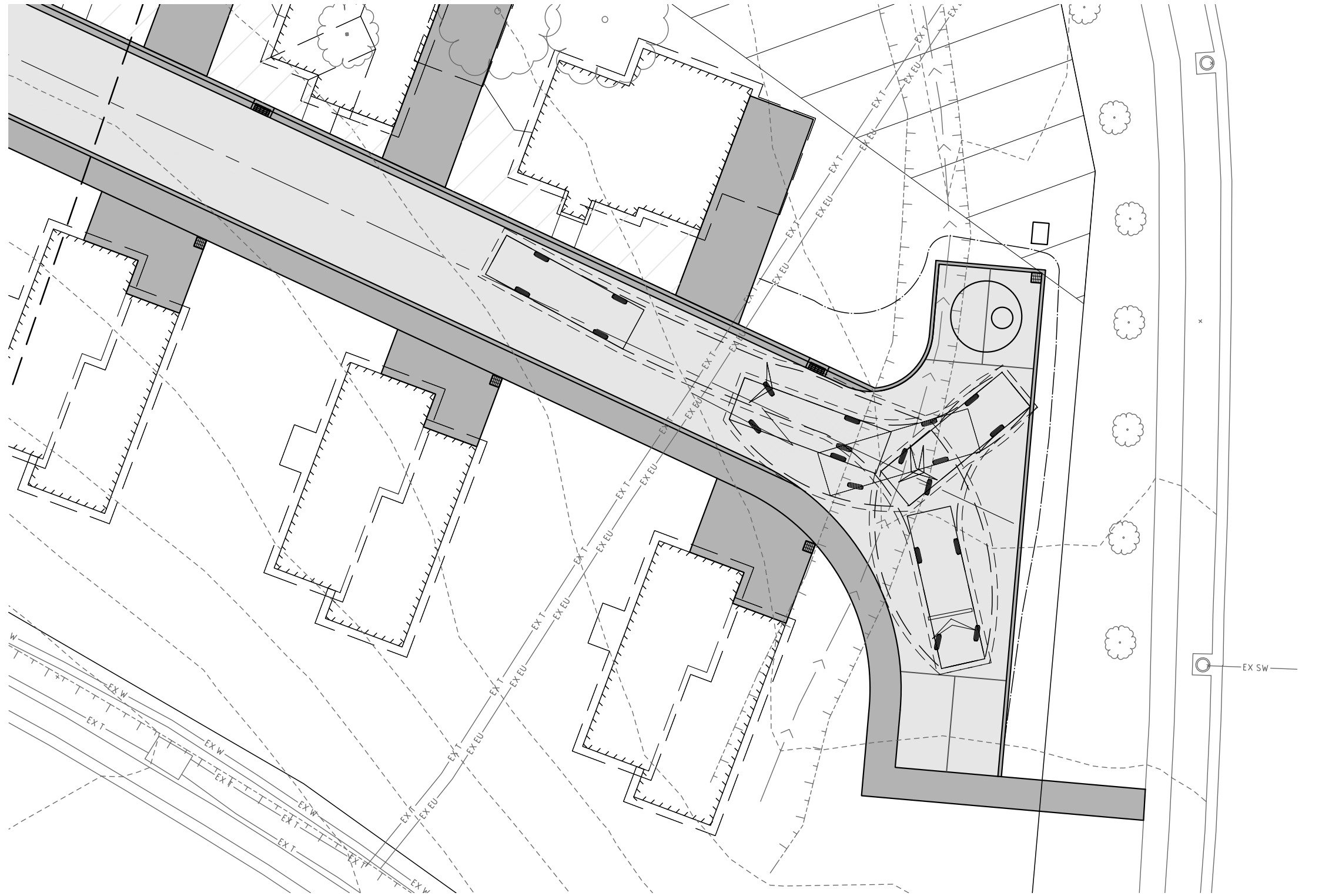


STANDARDS AUSTRALIA AS/NZS 2890.1:2004  
MRV - MEDIUM RIGID VEHICLE  
OVERALL LENGTH 8.80 m  
OVERALL WIDTH 2.50 m  
OVERALL BODY HEIGHT 3.66 m  
MIN BODY GROUND CLEARANCE 0.42 m  
TRACK WIDTH 2.50 m  
LOCK-TO-LOCK TIME 4.00 s  
KERB TO KERB TURNING RADIUS 10.00 m

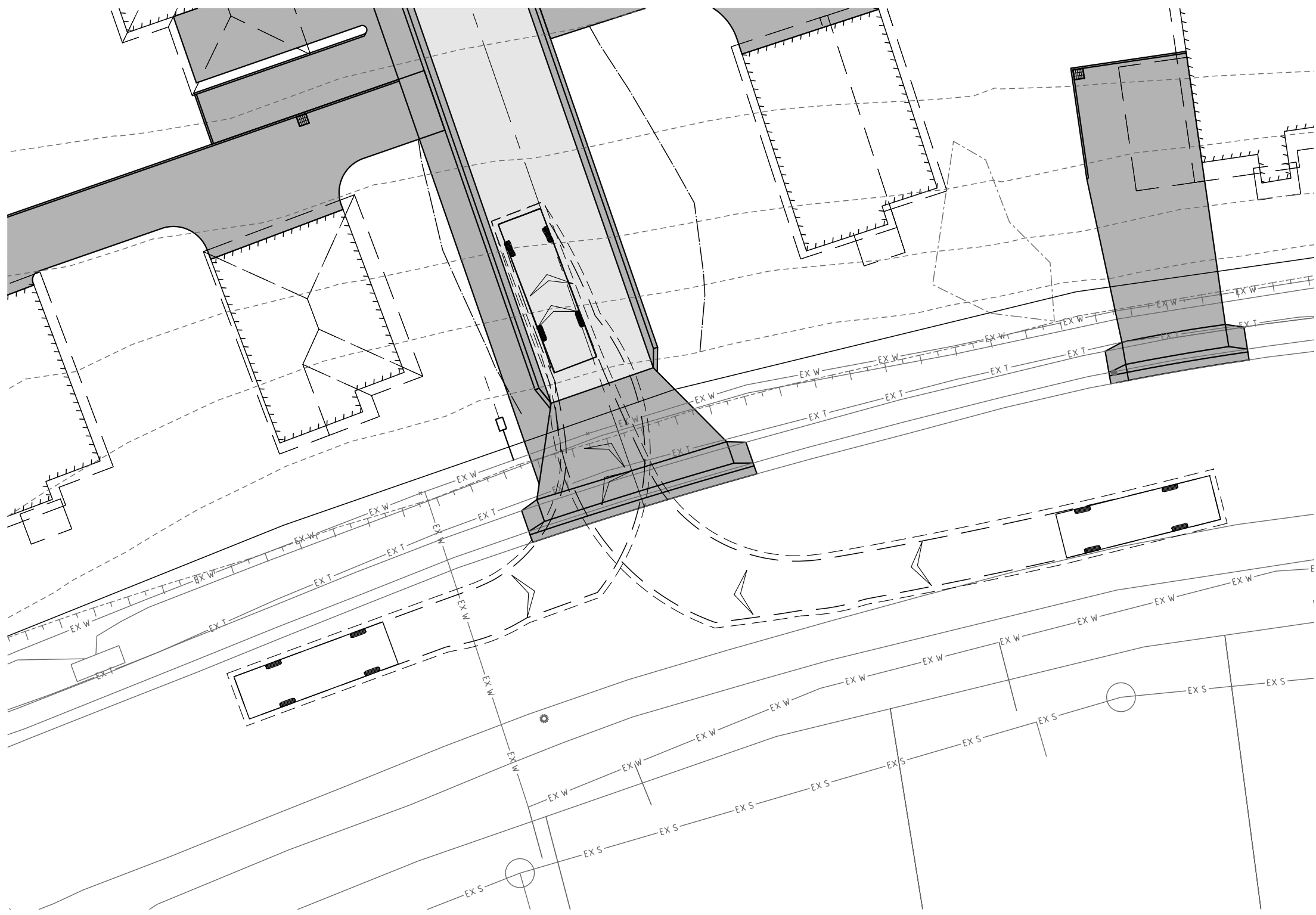
SWEPT PATHS GENERATED USING AUTODESK  
VEHICLE TRACKING 2018 SOFTWARE



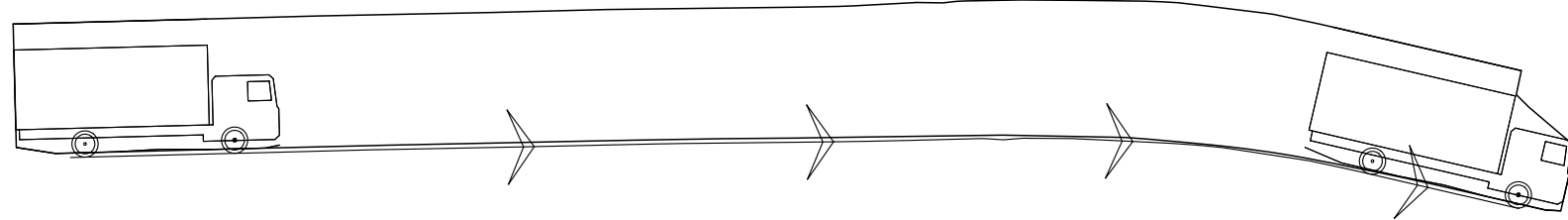
WASTE TRUCK MANOEUVRE - UNITS 3 - 7 BIN COLLECTION AND TURNING MANEUVER



WASTE TRUCK MANEUVER - DRIVEWAY 2 TURNING MANEUVER

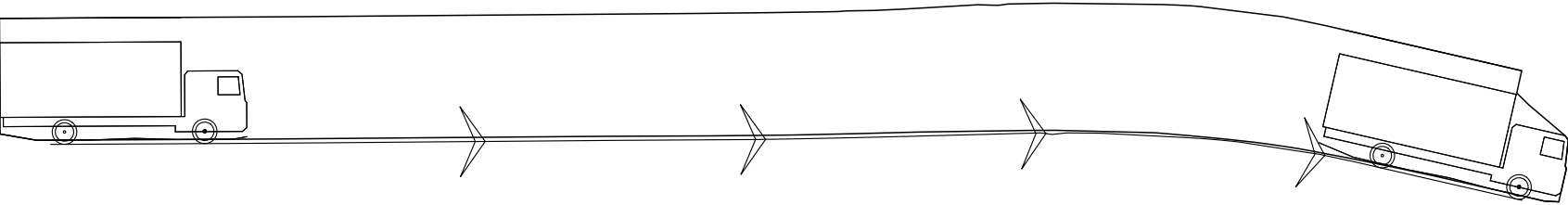


WASTE TRUCK MANEUVER - TYPICAL DRIVEWAY ACCESS ENTRY



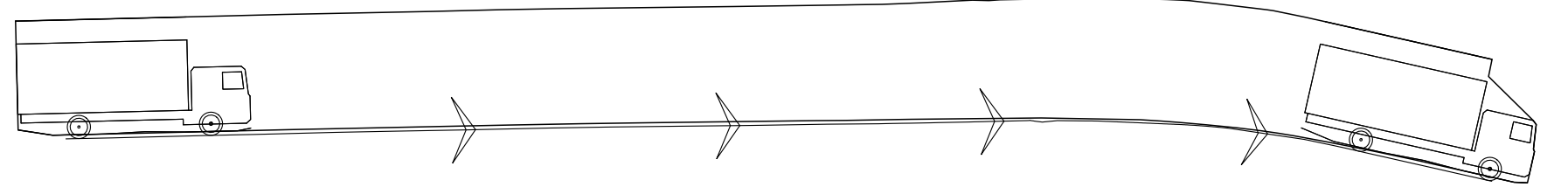
VERTICAL CLEARANCE CHECK - LHS WHEEL PATH  
ENTRY APPROACH FROM NW

NTS



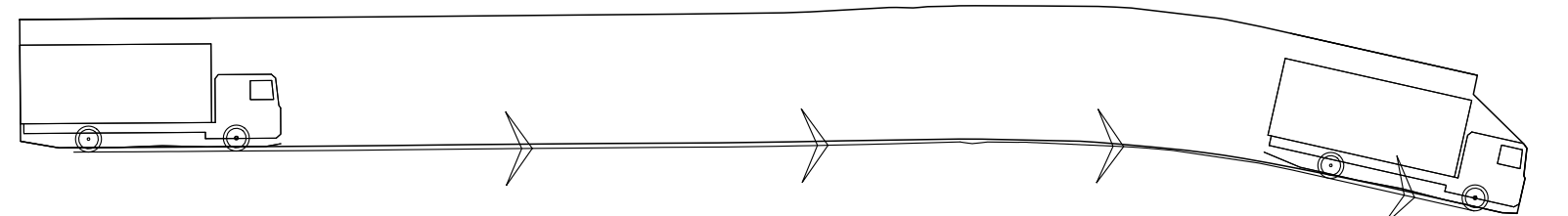
VERTICAL CLEARANCE CHECK - LHS WHEEL PATH  
ENTRY APPROACH FROM SE

NTS



VERTICAL CLEARANCE CHECK - RHS WHEEL PATH  
ENTRY APPROACH FROM NW

NTS



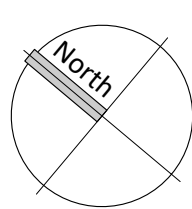
VERTICAL CLEARANCE CHECK - RHS WHEEL PATH  
ENTRY APPROACH FROM SE

NTS

REV	DESCRIPTION	APP'D	DATE
B	PLANNING APPROVAL	SP	15.11.2021
A	PLANNING APPROVAL	SP	16.04.2021

REV	DESCRIPTION	APP'D	DATE

THIS DRAWING HAS NOT BEEN  
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ROBERTS**  
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ENGINEERS

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ph 03 6223 8877 fx 03 6223 7183

PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 1 LAMPRIILL CIRCLE HERDSMANS COVE  
TASMANIA 7030  
DRAWING TITLE  
WASTE TRUCK MANOEUVRES

DESIGNED JF	DRAWN JF	CHECKED -
PROJECT 20.0273	DRAWING C012	REVISION A





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ph 03 6223 8877 fx 03 6223 7183

DESIGNED JF	DRAWN JF
PROJECT 20.0273	DRAWING C020

1:500@A1

GANDY AND ROBERTS Consulting Engineers







AS2870 SITE SOIL CLASSIFICATION: CLASS M

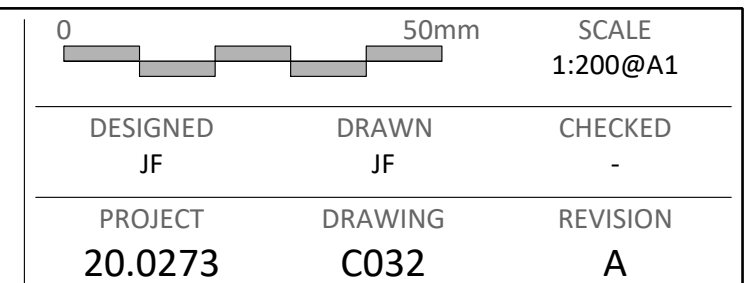
B	PLANNING APPROVAL	SP	15.11.2021				
-	-	-	-				
REV	DESCRIPTION	APP'D	DATE	REV	DESCRIPTION	APP'D	DATE

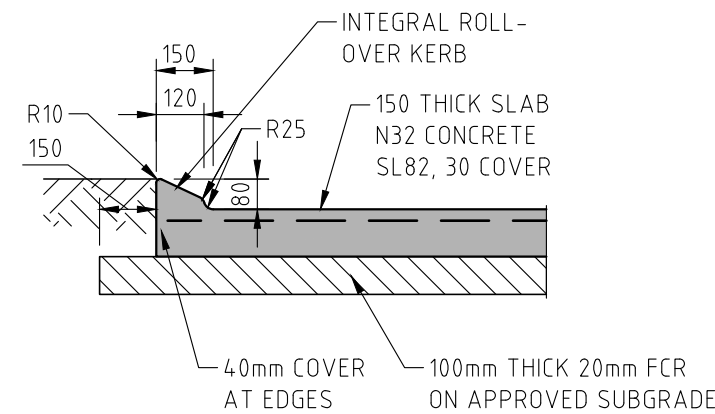
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ENGINEERS**

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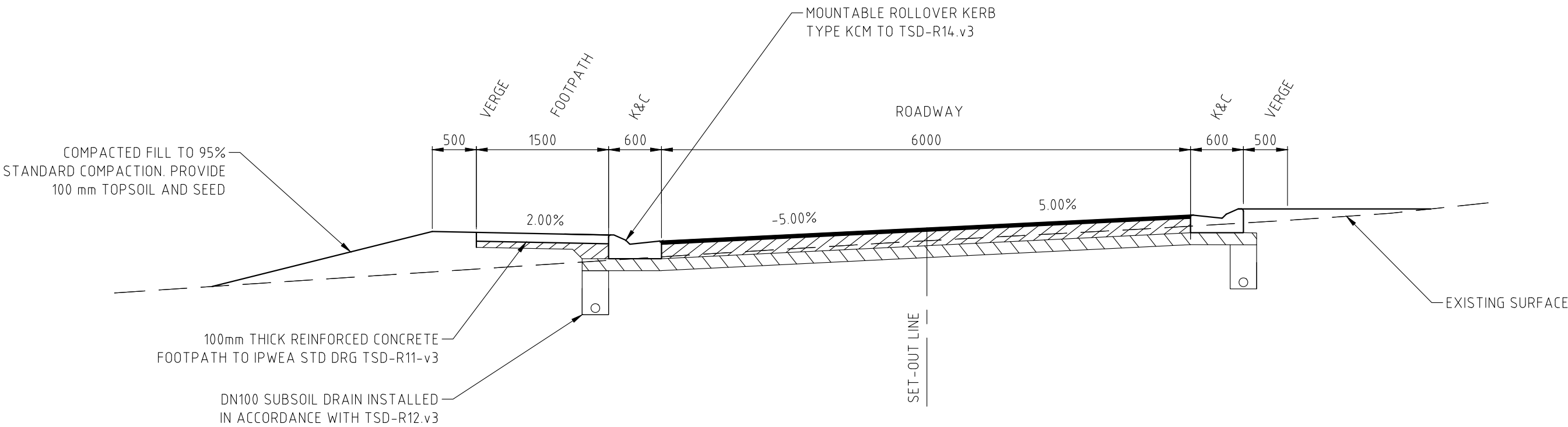
PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 1 LAMPRILL CIRCLE HERDSMANS COVE  
TASMANIA 7030  
DRAWING TITLE  
SITE SECTIONS 02





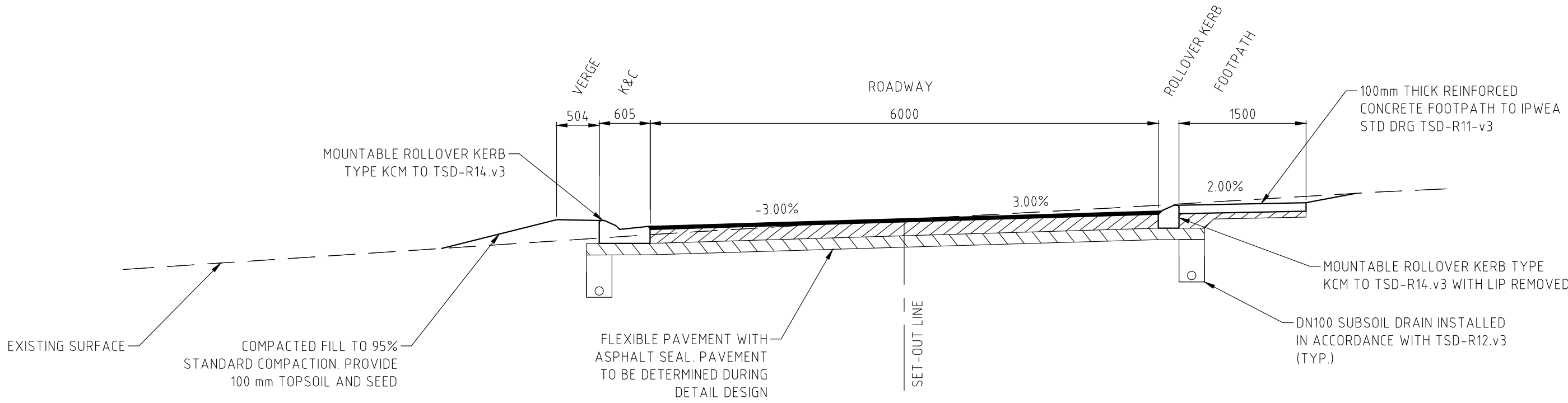
TYPICAL CONCRETE PAVEMENT  
AND ROLL-OVER KERB DETAIL

NTS  
NOTE: CONCRETE PAVEMENT DETAIL NOT SUITABLE FOR EXPOSED  
AGGREGATE OR SIMILAR SURFACE FINISHES



TYPICAL CROSS SECTION - DRIVEWAY 1

NTS



TYPICAL CROSS SECTION - DRIVEWAY 2

NTS

B	PLANNING APPROVAL	SP	15.11.2021
-	-	-	-
REV	DESCRIPTION	APP'D	DATE

REV	DESCRIPTION	APP'D	DATE

THIS DRAWING HAS NOT BEEN  
APPROVED FOR CONSTRUCTION

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ROBERTS**  
**CONSULTING  
ENGINEERS**

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PROPOSED RESIDENTIAL DEVELOPMENT  
LOT 1 LAMPRIILL CIRCLE HERDSMANS COVE  
TASMANIA 7030  
DRAWING TITLE  
DETAILS

0 50mm SCALE AS SHOWN@A1		
DESIGNED JF	DRAWN JF	CHECKED -
PROJECT 20.0273	DRAWING C070	REVISION A



Attention: Amy Morris

## LOT 615 LAMPRILL CIRCLE — NOISE ASSESSMENT

A multi-residential development is proposed at Lot 615 Lamprill Circle, Herdsmans Cove, and a Development Application (DA 2021 / 00149) has been submitted to Brighton Council. Council has responded with an RFI, including a request for a response to the Road and Railway Asset Code under the Tasmanian Planning Scheme - Brighton (the Scheme). Specifically, a noise assessment against clause C3.6.1 of the Scheme. This letter presents the results of such an assessment, conducted by NVC in July/August 2021.

### 1. BACKGROUND

The proposed site is a currently unoccupied parcel of land located at Lot 615 Lamprill Circle, Herdsmans Cove and is shown in red in Figure 1.



**FIGURE 1: SITE AND SURROUNDING AREA**

The site, and the majority of the surrounding area is zoned General Residential under the Scheme. The open area to the south is zoned Open Space, and the land containing the East Derwent Highway is a Utilities zone. The site is bounded by East Derwent Highway on the north-east, Lamprill Circle on the south-west, Gage Road on the south-east, and residential dwellings on the north-west.

The site is currently open space, sloping down from Lamprill Circle to East Derwent Highway. Both the East Derwent Highway and Lamprill Circle approximately follow the contour of the hill, and so any given part of the site is only in direct view of a small portion of the East Derwent Highway. Figure 2 shows the site from the perspective of the intersection with Gage Road (roundabout).



**FIGURE 2: VIEW OF SITE FROM ROUNDABOUT - LOOKING NORTH-WEST**

The proposed development comprises the construction of approximately 40 separate residential dwellings, with the preliminary site layout overlaid on Figure 1. The majority of the proposed dwellings are single storey, albeit with some having parking space beneath them. Five of the dwellings are double-storey. NVC has been informed that the cladding is to be a combination of light weight and masonry.

## 2. CRITERIA

The Council request for information states the following regarding the Road and Railway Assets Code:

*"Road and Railway Assets Code*

*20. The application has been referred to the Department of State Growth who have made the following comments in relation to the Road and Railway Asset Code:*

*"State Roads provides the following comments on the proposed development application DA 2021/00149 (Lot 615 Lamprill Circle, Herdsmans Cove.)*

- The proposal involves the development of residential units within the attenuation area of the East Derwent Highway. It is unclear how the application has addressed compliance with the Road and Rail Assets Code, noting C3.6.1 applies.*
- The proposal will increase the density of sensitive uses in the vicinity of the East Derwent Highway which is a major arterial road in Tasmania and a key part of the State's transport network. It is recognised that people who live close to trunk, regional and arterial roads are more likely than others to experience amenity impacts associated with traffic noise. The proposal is required to demonstrate external noise levels are not more than the level in Table C3.2 measured in accordance with Part D of the Noise Measurement Procedures Manual, 2nd edition, July 2008.*
- The Tasmanian State Road Traffic Noise Management Guidelines (October 2015) are used by State Growth to manage traffic noise on State roads and impacts on sensitive uses. State Roads advises Principle 23 of the Guidelines is applicable and that the Department will not consider providing noise mitigation where traffic noise impacts are a result of land use changes, such as rezoning, that bring sensitive developments (e.g. houses) closer to an existing road."*

*A. Accordingly, please provide amended plans and/or report provided by a suitably qualified person, which addresses the performance criteria required in C3.6.1 P2 of the planning scheme."*



The Tasmanian Planning Scheme contains, under section C3.0, the Road and Railways Assets Code. Specifically relevant is clause C3.6.1 - Habitable buildings for sensitive uses within a road or railway attenuation area, the objective of which is:

*“To minimise the effects of noise, vibration, light and air emissions on sensitive uses within a road or railway attenuation area, from existing and future major roads and the rail network.”*

To satisfy this objective, the Scheme provides Acceptable Solutions under A1, and a secondary Performance Criteria under P1.

- A1** *Unless within a building area on a sealed plan approved under this planning scheme, habitable buildings for a sensitive use within a road or railway attenuation area, must be:*
- (a) within a row of existing habitable buildings for sensitive uses and no closer to the existing or future major road or rail network than the adjoining habitable building; or*
  - (b) an extension which extends no closer to the existing or future major road or rail network than:*
    - (i) the existing habitable building; or*
    - (ii) an adjoining habitable building for a sensitive use; or*
  - (c) located or designed so that external noise levels are not more than the level in Table C3.2 measured in accordance with Part D of the Noise Measurement Procedures Manual, 2<sup>nd</sup> edition, July 2008.*
- P1** *Habitable buildings for sensitive uses within a road or railway attenuation area, must be sited, designed or screened to minimise adverse effects of noise, vibration, light and air emissions from the existing or future major road or rail network, having regard to:*
- (a) the topography of the site;*
  - (b) the proposed setback;*
  - (c) any buffers created by natural or other features;*
  - (d) the location of existing or proposed buildings on the site;*
  - (e) the frequency of use of the rail network;*
  - (f) the speed limit and traffic volume of the road;*
  - (g) any noise, vibration, light and air emissions from the rail network or road;*
  - (h) the nature of the road;*
  - (i) the nature of the development;*
  - (j) the need for the development;*
  - (k) any traffic impact assessment;*
  - (l) any mitigating measures proposed;*
  - (m) any recommendations from a suitably qualified person for mitigation of noise; and*
  - (n) any advice received from the rail or road authority.”*

Relevant to this clause, Table C3.2 states acceptable noise levels within a road or railway attenuation area as:

*“Roads: The arithmetic average of the A-weighted L10 sound pressure levels for each of the one-hour periods between 6:00am and midnight on any day [L10 (18-hour)] of 63 dB(A).”*

Clause C3.7.1 of the Scheme details *development standards for subdivision for sensitive uses within a road or railway attenuation area*. The following Acceptable Solutions criteria are stated under clause C3.7.1-A1:

*“A lot, or a lot proposed in a plan of subdivision, intended for a sensitive use must have a building area for the sensitive use that is not within a road or railway attenuation area.”*



If the Acceptable Solutions criteria are not met, the following Performance Criteria are stated under C3.7.1-P1:

*“A lot, or a lot proposed in a plan of subdivision, intended for sensitive uses within a road or railway attenuation area, must be sited, designed or screened to minimise adverse effects of noise, vibration, light and air emissions from the existing or future major road or rail network, having regard to: ... [points (a) to (n) as noted under C3.6.1-P1, above].”*

The relevant numerical Acceptable Solutions criterion is then 63 dBA, L10<sub>18-hour</sub>, applicable at a height of 1.5m, adjacent the boundary of the lot developed for sensitive use, as per the TAS Noise Measurement Procedures Manual.

### 3. NOISE MEASUREMENTS

Unattended noise measurements were made in an existing residential property adjacent site (location A), between the 27<sup>th</sup> July and 4<sup>th</sup> August 2021, to quantify existing noise levels in the region of site. Measurements used a Svan Type 1 sound level meter, logging in A-weighted decibels with a *Fast* response time. The data set comprised overall levels, one-third octave spectra and full statistical data at 10 minute intervals, with spectra and overall level data also recorded at 1s intervals. The measurement location (Location A) was near to the boundary with the East Derwent Highway, being 18m from the centre of the near lane and 22m from the centre of the far lane. The logger had clear view of the highway, with no screening to the nearest portion of the highway.

The overall noise level trend across the measurement period is summarised in Table 1.

**TABLE 1: SUMMARY OF NOISE LEVEL TREND**

Time Period	Sound Pressure Level, dBA		
	L10	L90	LEQ
<b>18-hour (0600 - 0000 hours)</b>	<b>69</b>	<b>47</b>	<b>65</b>
<b>Day Time (0700 - 1800 hours)</b>	<b>73</b>	<b>48</b>	<b>68</b>
<b>Evening Time (1800 - 2200 hours)</b>	<b>71</b>	<b>39</b>	<b>65</b>
<b>Night Time (2200 - 0700 hours)</b>	<b>68</b>	<b>27</b>	<b>60</b>

It is noted that the existing L10<sub>18-hour</sub> is 69 dBA, i.e. 6 dB above the Acceptable Solutions criterion under the Scheme, and 1 dB above the DIER operational upper limit.

### 4. NOISE PREDICTIONS

Noise levels across the site have been predicted using iNoise software, which implements the ISO9613 algorithms for environmental noise. The predictions account for geometric divergence, barrier attenuation, atmospheric absorption, reflections/screening from buildings, and ground absorption. The following assumptions have been made in the predictions:

- 1m topographical contours (from LIDAR data) have been used for the site and surrounding area.
- The primary source of vehicular noise is the tyres, and so the source is modelled as 0.5m above the road surface.
- The vehicle sound power level used is from the CNOSSOS-EU project for a medium vehicle at 80 km/hr.
- Vehicle numbers were obtained from the Department of State Growth, and are based on traffic count measurements at the Eastern end of the Jordan River bridge (station A0029220) in June 2021. The noise model uses the numbers extrapolated to 2041.
- Traffic flow is modelled as an 18-hour period from 0600 to 0000 hours, as per the DIER guidelines. DSG traffic flow data showed that 97% of traffic flow occurred within this period.

- A noise barrier has been included in the model, on the boundary with the East Derwent Highway. The extents of the barrier are shown as the dotted white line in Figure 3.
- The barrier is modelled as 1.8m high, and should have no gaps, including between the bottom of the barrier and the ground.
- It requires a minimum surface max of 15kg/m<sup>2</sup>. 9mm cement sheet, 20mm ship-lapped timber, or commercial noise barrier products are examples of acceptable constructions.
- The ground has been assumed to have a ground factor of 0 (100% reflective) on the highway surface, and a ground factor of 0.5 (50% reflective) elsewhere.
- The building façades and barrier construction are modelled with a reflection factor of 0.8 (80% reflective).
- As per the Tasmanian Noise Measurement Procedures Manual, noise levels across the site are predicted at 1.5m above ground level.
- The model has been validated against the measurements made at location A using current traffic flow data, and has been demonstrated to be predicting noise levels within 1dB of the measured levels. The model is thus predicting traffic noise accurately.

The results are shown in Figure 3 via coloured noise contours. Three contours are shown, defining acceptable levels (compliant with the Scheme Acceptable Solution) in green, marginal levels (between the Scheme Acceptable Solution and DIER operational upper limit) in yellow, and excessive levels (over the DIER operational upper limit) in red. Note the saw-tooth appearance in some of the contours is an artefact of resolving the spatial resolution used to define the contour map (in this case a 5m square grid has been used), and not a physical effect.



**FIGURE 3: PREDICTED NOISE LEVEL CONTOURS - 18-HOUR**

## 5. ASSESSMENT

Figure 3 shows the predicted noise levels are below 63 dBA, L10<sub>18 hour</sub> across the entire site. External noise levels are thus predicted to be below the Acceptable Solutions criterion.

The assessment has then shown that provided a noise barrier with minimum height 1.8m and minimum surface mass of 15 kg/m<sup>2</sup> is constructed on the boundary with the East Derwent Highway (with extents as shown in Figure 3), then traffic noise levels will be below the Acceptable Solutions criterion under the Scheme.

The proposal thus satisfies clause C3.6.1-A1(c) of the Planning Scheme.

Should you have any queries, please do not hesitate to contact me directly.

Kind regards,



**Jack Pitt**