



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.
DA2021/097

LOCATION OF AFFECTED AREA
77 CARTWRIGHT STREET, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL
OUTBUILDING

THE APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL **18/05/2021** ADDRESSED TO THE GENERAL MANAGER, 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
GENERAL MANAGER

Brighton
going places

PROPOSED SHED

No. 77 CARTWRIGHT STREET, BRIGHTON
L. M. DOVE

SCHEDULE OF DRAWINGS

ARCHITECTURAL

A01	SITE PLAN
A02	GENERAL NOTES
A03	FLOOR PLAN
A04	ROOF PLAN
A05	ELEVATIONS
A06	SECTION A-A

GENERAL INFORMATION

LAND CERTIFICATE OF TITLE REFERENCE No. - **171538/1**

SOIL REPORT CONSULTANT & CLASSIFICATION - **NONE PROVIDED**

DESIGN WIND SPEED - **41m/s (TC2, REGION 'A')** refer to details provided by 'ShedTech'.

CLIMATE ZONE FOR THERMAL DESIGN (building code of australia) - **ZONE 7**

BUSHFIRE-PRONE AREA BAL RATING (bushfire attack level) - **EXEMPT** PROPOSED SHED IS GREATER THAN 6.00m FROM A HABITABLE BUILDING.

ALPINE AREA (fire safety) - **NO**

CORROSION ENVIRONMENT - **MODERATE** (more than 1km from breaking surf or more than 100m from salt water not subject to breaking surf or heavy non-industrial areas).

EXTERNAL BUILDING AREAS (proposed)

PROPOSED COLORBOND SHED - **36.00m²**

project no.

1691

accreditation no.

CC 5666 C

MATT GILLEY | building designer

PO BOX 224 LINDISFARNE TASMANIA 7015 p: 0437499238 e: matt.gilley@bigpond.com

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. **IF IN DOUBT:- ASK!! CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.**

SITE IS LOCATED WITHIN THE FOLLOWING ZONES/AREAS OF THE BRIGHTON INTERIM PLANNING SCHEME 2015:-

- 26.0 RURAL RESOURCE ZONE.
- BUSHFIRE PRONE AREA OVERLAY.
- BRIGHTON HORSE RACING OVERLAY.

SITE COVERAGE

(as per Brighton Interim Planning Scheme 2015)

EXISTING RESIDENCE (roof area) - 380.00m² (approx).

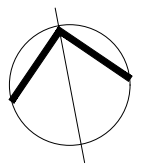
EXISTING KENNELS & SHED (roof area) - 290.00m² (approx).

PROPOSED COLORBOND GARAGE - 36.00m²

TOTAL AREA - 706.00m²

SITE AREA - 20 840m²

TOTAL SITE COVERAGE - 3.39%



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issue	description	date

project	PROPOSED SHED 77 CARTWRIGHT STREET BRIGHTON	
proprietor	L. M. DOVE	

drawing			SITE PLAN
scale	project no.	drawing no.	
1:750	1691		
date	drawn		
APR 2021	MG	A01	

GENERAL NOTES

WHEN CARRYING OUT THE BUILDING WORK, A BUILDER (or owner builder) SHOULD BE FAMILIAR WITH GENERAL CONSTRUCTION PRACTICES, THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (BCA), AS WELL AS LOCAL COUNCIL RULES/REGULATIONS.

A COPY OF ALL PLANNING, BUILDING & PLUMBING PERMITS, AND DRAWINGS STAMPED "APPROVED" BY THE LOCAL AUTHORITY **MUST BE KEPT ON SITE.**

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SHED MANUFACTURER'S PLANS, DETAILS & SPECIFICATIONS FOR ALL CONCRETE FOOTINGS & SLABS, & STEEL FRAMING.

EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.1 OF BCA. EXCAVATION & FILL UTILISING UNPROTECTED EMBANKMENTS SHALL BE IN ACCORDANCE WITH TABLE 3.1.1.1 OF THE BCA.

IF RECOMMENDED IN SOIL REPORT OR BY STRUCTURAL ENGINEER, SUB-SOIL DRAINAGE AROUND THE BUILDING MUST BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.2 OF THE BCA AND AS/NZS 3500.3.2 OR AS/NZS 3500.5 (domestic installations, section 5).

FOOTING & SLAB CONSTRUCTION (including vapour barriers & damp-proofing membranes) SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 2870, AND MUST COMPLY WITH PART 3.2 OF THE BCA. NO EDGE REBATE SHALL BE LESS THAN 20mm. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER.

CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS 3600 - AND HAVE A MINIMUM STRENGTH OF 25MPa (N25) AT 28 DAYS. STEEL REINFORCING MUST COMPLY WITH AS 2870. GENERALLY CONCRETE AND REINFORCING MUST COMPLY WITH PART 3.2.3 OF BCA, ALSO REFER TO STRUCTURAL ENGINEER'S GENERAL NOTES AND DETAILS.

FOOTING AND SLAB CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.2.5 OF BCA AND AS 2870. ALSO REFER TO STRUCTURAL ENGINEER'S GENERAL NOTES AND DETAILS.

ALL STEEL WALL & ROOF FRAMING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.4.2 OF THE BCA, AS 4100 AND AS/NZS 4600. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER. ALSO REFER TO STRUCTURAL ENGINEER'S GENERAL NOTES AND DETAILS.

ALL TIMBER FLOOR, WALL & ROOF FRAMING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.4.3 OF THE BCA, AS 1684.2 AND/OR AS 1684.4. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER. ALSO REFER TO STRUCTURAL NOTES AND DETAILS.

ROOF CLADDING SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.5.1 OF BCA. COLORBOND FINISH TO SHEET ROOFS (uno) AS SELECTED BY OWNER. ALL RIDGES, FASCIAS, BARGE ENDS, HIP ENDS AND ROOF PENETRATIONS MUST BE PROPERLY FLASHED AND SEALED (i.e. watertight). REFER TO ARCHITECTURAL DWGS FOR TYPICAL SARKING DETAILS AND EXTENT OF ROOF CLADDINGS.

ALL GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3.2 OR AS/NZS 3500.5 (domestic installations, section 5). REFER TO ARCHITECTURAL DWGS FOR TYPICAL GUTTER & FASCIA DETAILS.

ALL FLOOR, WALL & ROOF CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3959 - CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS. REFER TO ARCHITECTURAL DWGS FOR TYPICAL DETAILS AND BUSH FIRE HAZARD ASSESSMENT, MANAGEMENT PLAN & SPECIFICATION PROVIDED BY OTHER CONSULTANTS.

MINIMUM CEILING HEIGHTS SHALL BE GENERALLY 2.4m, UNLESS IN A KITCHEN, HALL, BATHROOM, LAUNDRY OR GARAGE, WERE A MINIMUM OF 2.1m IS ACCEPTABLE. MINIMUM CEILING HEIGHTS ABOVE THE NOSINGS OF STAIR TREADS MUST BE 2.0m CLEAR.

PROVIDE ARTIFICIAL LIGHTING TO ALL ROOMS IN ACCORDANCE WITH AS/NZS 1680.0. LIGHTING LAYOUT TO BE CO-ORDINATED BETWEEN THE OWNER AND BUILDER.

ALL WINDOWS AND INTERNAL GLAZING SHALL BE TAGGED OR CERTIFIED COMPLIANT WITH AS1288 (safety) AND AS2047 (weatherproofing). GLAZING SHALL ALSO COMPLY WITH PART 3.6 OF THE B.C.A.

CARRYING OUT BUILDING WORK

• PREVENTION OF NUISANCES

A PERSON MUST NOT ALLOW DIRT, DUST, FUMES, NOISE, SMOKE, BUILDING MATERIALS, SEWAGE OR CONCENTRATIONS OF WATER WHICH ARE CAUSED BY, OR OCCUR IN THE COURSE OF, BUILDING WORK TO BECOME –

- (a) A PUBLIC HEALTH RISK; OR
- (b) A NUISANCE FOR AN OWNER, OCCUPIER OR USER OF ADJOINING LAND.

• PROTECTION FOR PUBLIC AND ADJOINING PROPERTIES

(1) A BUILDER MUST PROVIDE AND MAINTAIN A GUARD IN RESPECT OF AN EXCAVATION OR VOID IF THE EXCAVATION OR VOID –

- (a) CONSTITUTES, OR IS MADE IN THE COURSE OF, BUILDING WORK; AND
- (b) IS A DANGER TO THE PUBLIC.

• REQUIREMENTS BEFORE BUILDING DEMOLITION OR REMOVAL – GENERAL

A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS THE PERSON HAS –

- (a) RECEIVED WRITTEN ADVICE FROM THE APPROPRIATE ELECTRICITY SUPPLY ENTITY THAT ALL SUPPLY OF ELECTRICITY TO THE BUILDING HAS BEEN DISCONNECTED AND ALL AERIAL OR UNDERGROUND ELECTRICITY SUPPLY CABLES HAVE BEEN REMOVED FROM THE SITE; AND
- (b) RECEIVED WRITTEN ADVICE FROM THE OPERATOR OF THE APPROPRIATE GAS NETWORK THAT ALL GAS SUPPLY TO THE BUILDING HAS BEEN DISCONNECTED AND ALL SUPPLY LINES HAVE BEEN REMOVED FROM THE SITE; AND
- (c) ADVISED THE GENERAL MANAGER IN WRITING OF THE TIMETABLE FOR CAPPING STORMWATER DRAINS; AND
- (d) ADVISED THE CHIEF OFFICER IN WRITING, WITHIN THE SPECIFIED PERIOD, OF THE TIMETABLE IN WHICH THE FOLLOWING ACTIONS ARE TO OCCUR:
 - (i) DISCONNECTION OF ALL TELEPHONE LINES OR OTHER SIGNALING DEVICES ASSOCIATED WITH THE MONITORING OF ALL FIRE PROTECTION EQUIPMENT MONITORED BY THE TASMANIA FIRE SERVICE;
 - (ii) THE REMOVAL, DISMANTLING OR ALTERATION OF ANY WATER SUPPLY TO A BUILDING OR WATER SUPPLY DEVICE, BOOSTER OR OTHER ASSEMBLY ASSOCIATED WITH FIRE PROTECTION EQUIPMENT;
 - (iii) THE REMOVAL, DISMANTLING OR ALTERATION OF ALL OCCUPANT SAFETY SYSTEMS INCLUDING AN EMERGENCY WARNING INTERCOMMUNICATION SYSTEM, AIR-HANDLING SYSTEM, STAIRWELL PRESSURISATION SYSTEM OR SMOKE OR FIRE DOOR; AND
- (e) ADVISED IN WRITING THE REGULATED ENTITY, WITHIN THE MEANING OF THE WATER AND SEWERAGE INDUSTRY ACT 2008, OF THE TIMETABLE FOR CAPPING ANY SEWERS AND SEALING OFF ANY WATER SUPPLY LINES.

• REQUIREMENTS BEFORE BUILDING DEMOLITION OR REMOVAL – ASBESTOS

- (1) A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS THE PERSON HAS –
 - (a) TAKEN ALL REASONABLY PRACTICABLE STEPS TO IDENTIFY THE PRESENCE OF ASBESTOS IN THE BUILDING; AND
 - (b) COMPLIED WITH CHAPTER 8 OF THE WORK HEALTH AND SAFETY REGULATIONS 2012.
- (2) A PERSON MUST NOT REMOVE A BUILDING UNLESS THE PERSON HAS REMOVED ALL ASBESTOS (INCLUDING MATERIAL IDENTIFIED AS CONTAINING ASBESTOS) FROM THE BUILDING IN ACCORDANCE WITH CHAPTER 8 OF THE WORK HEALTH AND SAFETY REGULATIONS 2012.

• REQUIREMENTS DURING BUILDING DEMOLITION OR REMOVAL

A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS –

- (a) THE DEMOLITION OR REMOVAL IS CARRIED OUT –
 - (i) IN ACCORDANCE WITH A PERMIT GRANTED UNDER THESE REGULATIONS; AND
 - (ii) IN A SAFE AND PROFESSIONAL MANNER; AND
- (b) THE DEMOLITION OF ANY WALL WHICH ABUTS ON A PUBLIC STREET IS CARRIED OUT ONLY DURING THE HOURS PERMITTED BY THE PERMIT AUTHORITY; AND

(c) THE PERSON TAKES REASONABLE ACTION TO PREVENT BUILDING MATERIAL AND DEBRIS FALLING ONTO OR INTO –

- (i) A PLACE WHICH IS OPEN TO THE PUBLIC; AND
- (ii) ANY ADJACENT LAND OR WAY; AND

(d) THE POSITIONS OF CAPPED SEWER AND STORMWATER DRAINS AND SEALED-OFF WATER SUPPLY LINES ARE CLEARLY MARKED AT THE SITE; AND

(e) THE PERSON LEAVES THE SITE OF THE DEMOLITION OR REMOVAL CLEAN AND TIDY; AND

(f) THE PERSON REMOVES ALL BROKEN GLASS OR OTHER DANGEROUS OR HAZARDOUS BUILDING MATERIAL FROM THE SITE.

WHS REGULATIONS 2012

WORKPLACE HEALTH & SAFETY REGULATIONS 2012 (WHS REGULATIONS) REQUIRE THERE TO BE A PRINCIPAL CONTRACTOR (THE BUILDER) FOR ANY PROJECT WITH A CONSTRUCTION VALUE OVER \$250,000.

THE BUILDER SHALL SAFELY CARRY OUT ALL WORK IN ACCORDANCE WITH WHS REGULATIONS. THE WHS REGULATIONS REQUIRE THAT BEFORE STARTING WORK THE BUILDER MUST IDENTIFY ALL OF THE HIGH RISK CONSTRUCTION WORK THAT WILL BE UNDERTAKEN, DEVELOP SAFE WORK METHOD STATEMENTS FOR THESE, AND ENSURE THAT ALL WORK IS CARRIED OUT IN ACCORDANCE WITH THEM.

POWER SUPPLY

WHERE WORK IS IN PROXIMITY TO OVERHEAD POWER LINES, THE BUILDER SHALL FORM AN APPROPRIATE SAFE WORK STRATEGY. WHERE THE EXISTING POWER SUPPLY NEEDS TO BE RELOCATED, THE BUILDER SHALL CONSULT WITH 'AURORA' & ALL OTHER RELEVANT AUTHORITIES. POWER LINE RELOCATION SHALL BE CONDUCTED IN A SAFE MANNER, AND IN ACCORDANCE WITH ALL RELEVANT STANDARDS & REGULATIONS.

CONSTRUCTION WORK - CODE OF PRACTICE

THE CODE OF PRACTICE FOR CONSTRUCTION WORK IS AN APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE WORK HEALTH & SAFETY ACT (the WHS Act).

AN APPROVED CODE OF PRACTICE IS A PRACTICAL GUIDE TO ACHIEVING THE STANDARDS OF HEALTH, SAFETY AND WELFARE REQUIRED UNDER THE WHS ACT AND THE WORK HEALTH & SAFETY REGULATIONS (WHS regulations).

THE CODE PROVIDES GUIDANCE TO PRINCIPAL CONTRACTORS AND OTHER PERSONS CONDUCTING A BUSINESS OR UNDERTAKING, WHO CARRY OUT CONSTRUCTION WORK, ON HOW TO MEET THE HEALTH & SAFETY REQUIREMENTS UNDER THE WHS ACT & REGULATIONS RELATING TO CONSTRUCTION WORK.

THE CODE SHOULD BE READ IN CONJUNCTION WITH OTHER CODES OF PRACTICE ON SPECIFIC HAZARDS AND CONTROL MEASURES RELEVANT TO THE CONSTRUCTION INDUSTRY INCLUDING (but not limited to):-

- DEMOLITION WORK
- EXCAVATION WORK
- MANAGING ELECTRICAL RISK AT THE WORKPLACE
- MANAGING THE RISK OF FALLS AT WORKPLACES
- MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK
- PREVENTING FALLS IN HOUSING CONSTRUCTION
- CONFINED SPACES
- HAZARDOUS MANUAL TASKS
- FIRST AID IN THE WORKPLACE
- SAFE DESIGN OF STRUCTURES

A COPY OF THE CODE OF PRACTICE FOR CONSTRUCTION WORK CAN BE DOWNLOADED FROM THE FOLLOWING LINK:-
<http://www.safeworkaustralia.gov.au/sites/swa/about/publications/pages/construction-work>

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

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issue	description	date

project	PROPOSED SHED 77 CARTWRIGHT STREET BRIGHTON	
proprietor	L. M. DOVE	

drawing			GENERAL NOTES
scale	project no.	drawing no.	A02
N/A	1691		
date	drawn		
APR 2021	MG		

WALL KEY

-  64mm TOPHAT WALL GIRTS OVER 'C' SECTION PORTAL FRAME. REFER TO DRAWINGS PROVIDED BY 'STEELINE'. COLORBOND 'STEELCLAD' SHEET WALL CLADDING OVER.
-  2100 high x 1190 wide 'SERIES A' WINDLOCKED ROLLER-DOOR COLORBOND - MONUMENT.

PLUMBING NOTES

ALL INTERNAL SEWER WORKS ARE TO BE IN ACCORDANCE WITH AS3500 PARTS 1, 2 & 3, THE NATIONAL PLUMBING CODE (NCC 2019 - VOLUME 3), LOCAL COUNCIL AND 'TAS WATER' REQUIREMENTS.

THE CONTRACTOR MUST DETERMINE AND CONFIRM THE LOCATION OF ALL EXISTING DRAINAGE & CONNECTION POINTS BEFORE COMMENCING WORK.

ALL DRAINS SHALL BE ADEQUATELY SUPPORTED. SUPPORTS SHALL ALLOW FOR EXPANSION, AND MUST BE FITTED AT THE TIME OF PIPE INSTALLATION.

UNLESS NOTED OTHERWISE, ALL SEWER DRAINS SHALL BE PVC SEWER CLASS "SN6" TO AS 1260.

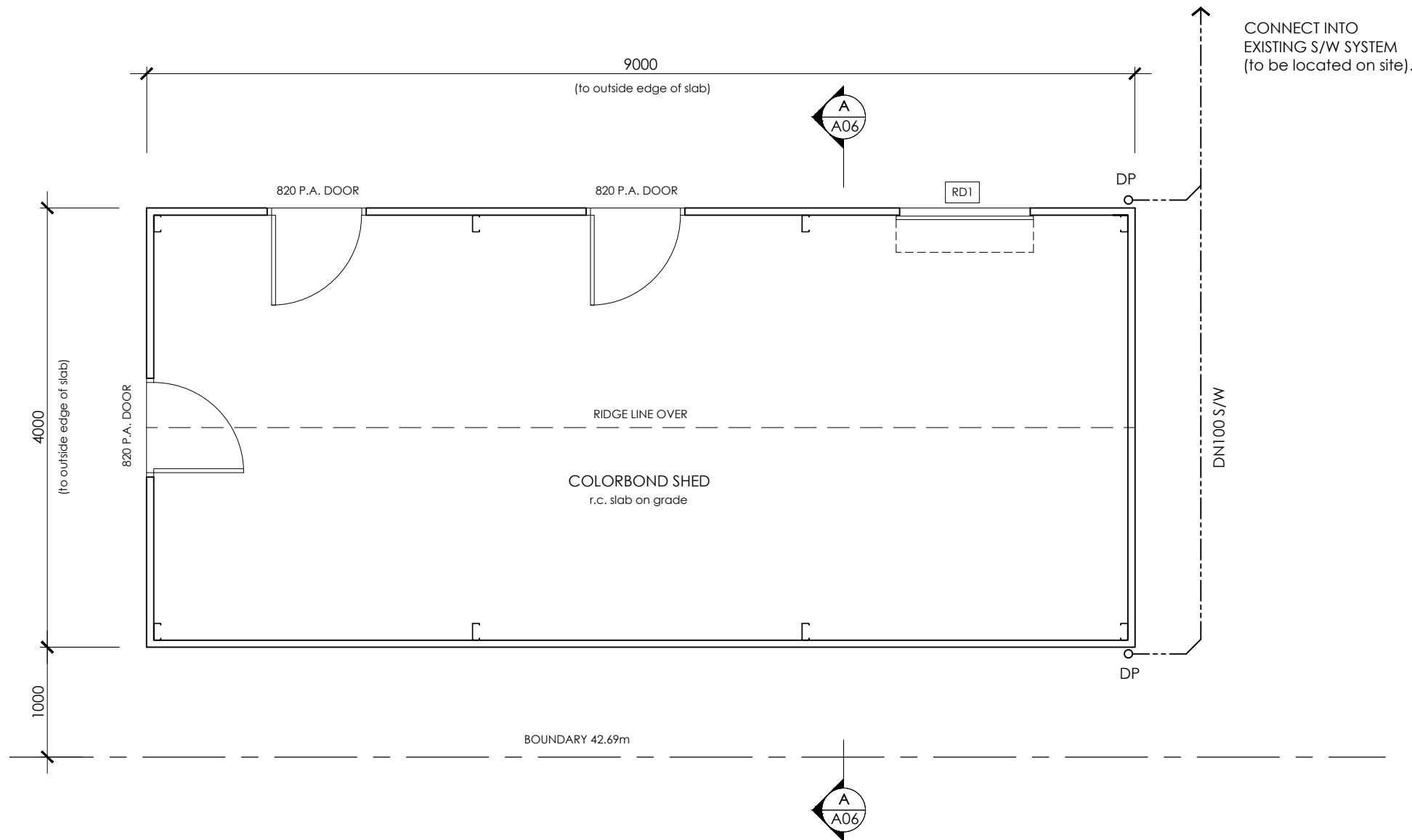
THE PLUMBING CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS & PRESSURE TESTING REQUIRED BY TAS WATER OR LOCAL AUTHORITY PRIOR TO CONCEALMENT. PRESSURE TESTING SHOULD BE CARRIED OUT PROGRESSIVELY DURING CONSTRUCTION TO DETERMINE THE PRESENCE OF LEAKS.

ALL CONNECTIONS TO COUNCIL OR Tas Water SERVICES SHALL BE UNDERTAKEN BY BY THE COUNCIL OR Tas Water AUTHORITY AT THE DEVELOPER'S COST.

THE BUILDER SHALL CONFIRM THE PRESENCE & LOCATION OF ALL EXISTING SERVICES ON THE SITE & WITHIN THE AREA OF WORKS. ALL DANGEROUS SERVICES (underground & overhead) MUST BE CLEARLY IDENTIFIED.

MINIMUM PIPE GRADES:- STORMWATER - 1.00% (1:100)

DP - NEW Ø75 uPVC DOWNPIPE. PAINTED.



PROTECTIVE COATINGS FOR STEELWORK (FROM BCA TABLE 3.4.4.2)

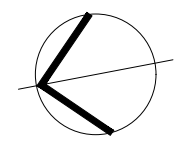
ENVIRONMENT - **MODERATE** (more than 1km from breaking surf or more than 100m from salt water not subject to breaking surf or heavy non-industrial areas).

NO PROTECTION REQUIRED FOR INTERNAL STEELWORK IN A PERMANENTLY DRY LOCATION.

EXTERNAL STEELWORK PROTECTION OPTIONS:-

1. 2No. COATS ALKYD PRIMER.
2. 2No. COATS ALKYD GLOSS.
3. HOT DIP GALVANISE 300g/m²
4. HOT DIP GALVANISE 100g/m² min. plus
 - (a) 1No. COAT SOLVENT BASED VINYL PRIMER; OR
 - (b) 1No. COAT VINYL GLOSS OR ALKYD.

FLOOR PLAN 1:50
PROPOSED SHED - 36.00m²



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drawing			FLOOR PLAN
scale	project no.	drawing no.	
1:50	1691	A03	
date	drawn		
APR 2021	MG		

ROOFING NOTES

METAL ROOF SHEETING SHALL COMPLY WITH AS 1562.1 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING: METAL.

ALL ROOF SHEETING, FLASHINGS, CAPPINGS, FIXINGS AND PENETRATION FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH AS 1562.1 & MANUFACTURER'S DETAILS & SPECIFICATIONS.

ALL FIXINGS/FASTENERS SHALL BE GALVANISED, AND COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS. CUSTOM ORB SHEETS CREST FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.

WHEREVER POSSIBLE, ROOF SHEETS ARE TO BE LAID WITH ONE AND A HALF SIDE LAPS, ENSURING THAT THE SIDE LAP IS FACING AWAY FROM PREVAILING WEATHER.

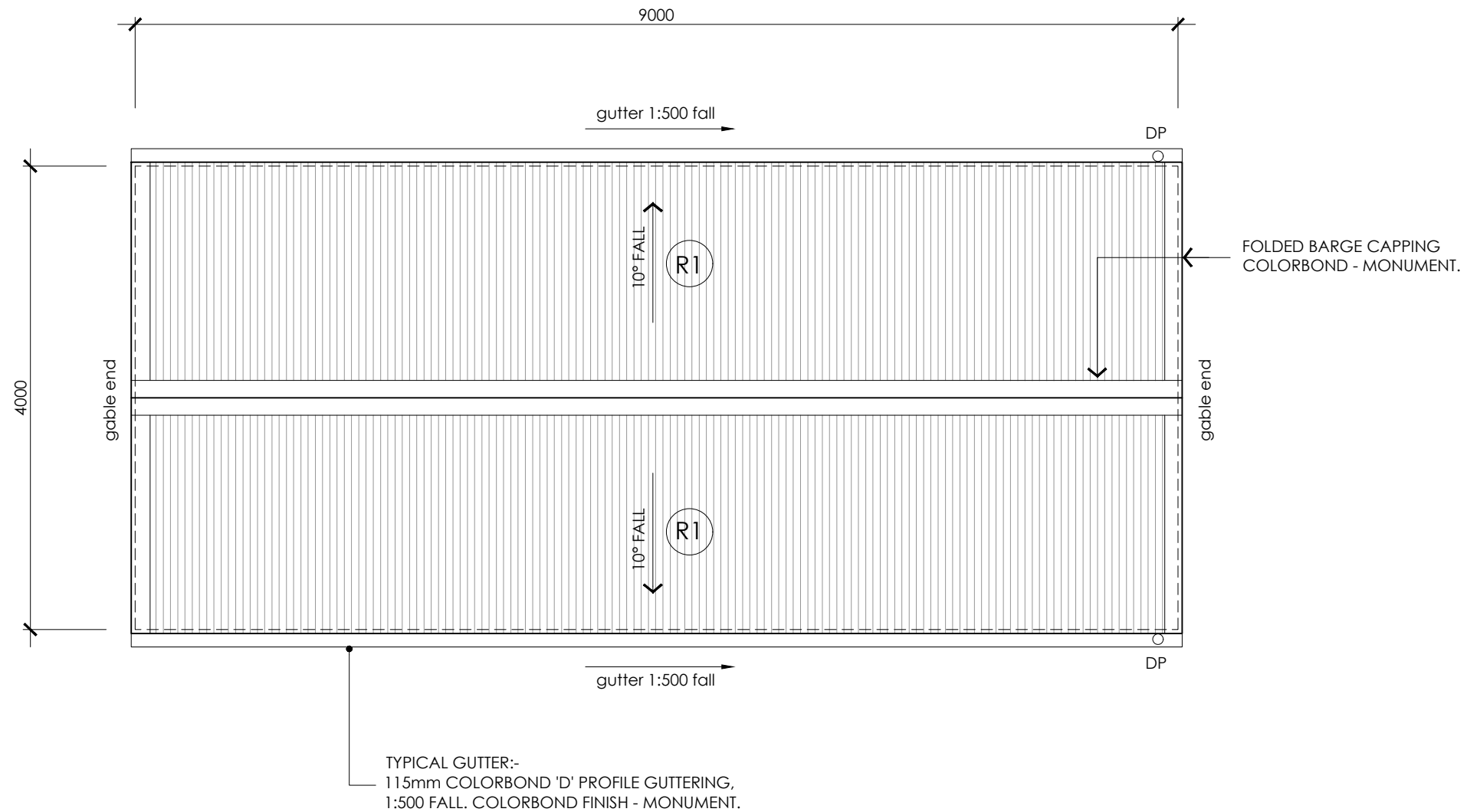
ROOF SHEETS MUST BE LAID, WHEREVER POSSIBLE, USING COMPLETE LENGTHS FROM FASCIA TO RIDGE.

ALL ROOF FLASHINGS AND CAPPINGS MUST BE PURPOSE MADE, MACHINE FOLDED COLORBOND SHEET. FLASHINGS THAT RUN PARALLEL WITH THE ROOF SHEET SHOULD HAVE THEIR EDGE TURNED DOWN TO DIP INTO THE ROOF SHEET PAN/VALLEY. FLASHINGS THAT RUN ACROSS THE TOP OF THE ROOF SHEETING SHALL ALSO HAVE THEIR EDGE TURNED DOWN AND NOTCHED TO FIT OVER THE 'TRIMDEK' SHEET RIBS. ALL FLASHINGS SHALL BE FIXED AT 600 cts. max.

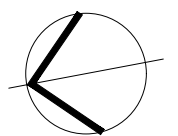
ROOF KEY & NOTES

R1 CUSTOM ORB STEEL ROOF CLADDING - 10° FALL. COLORBOND FINISH - 'MONUMENT' LRV 9%

DP NEW Ø75 uPVC DOWNPIPE. PAINTED FINISH TO MATCH WALL CLADDING.



ROOF PLAN 1:50



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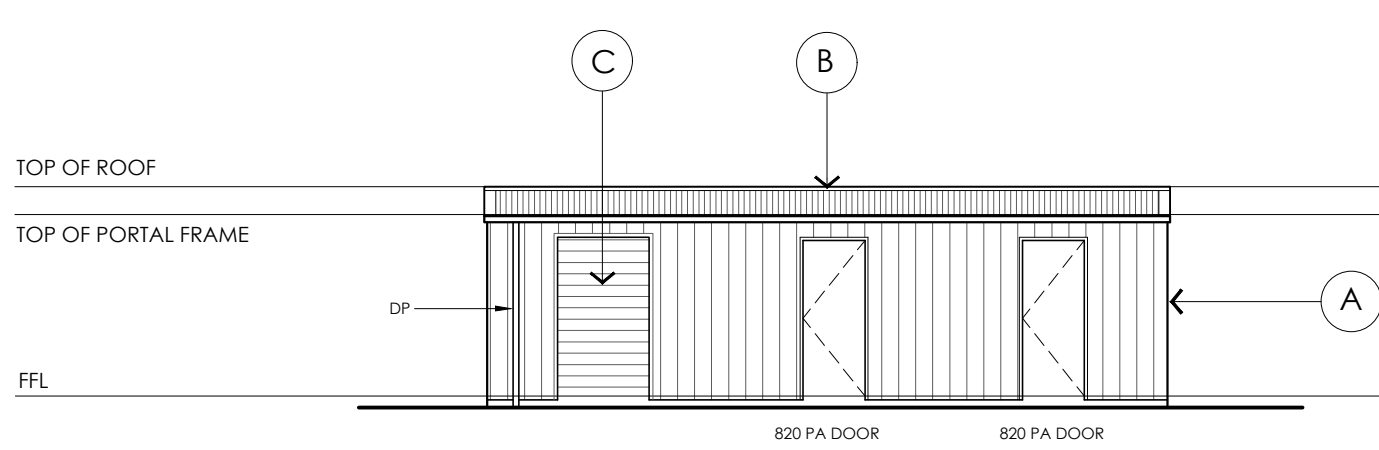
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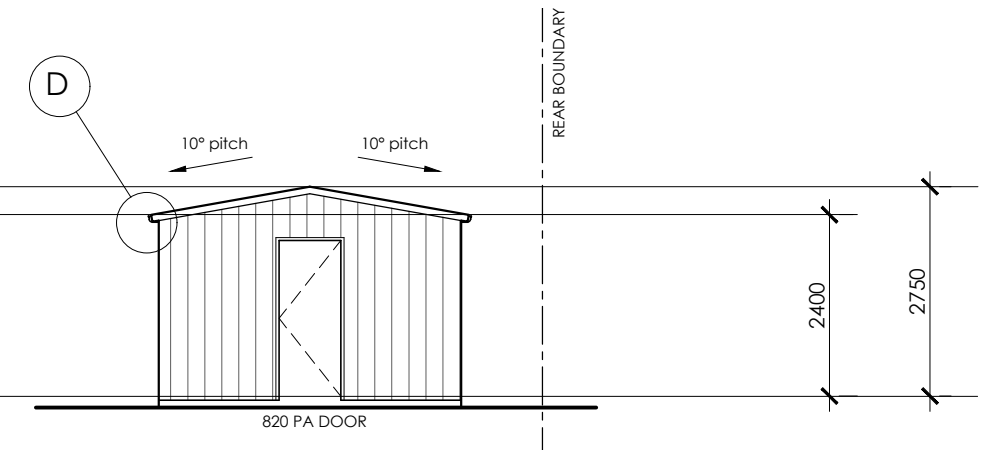
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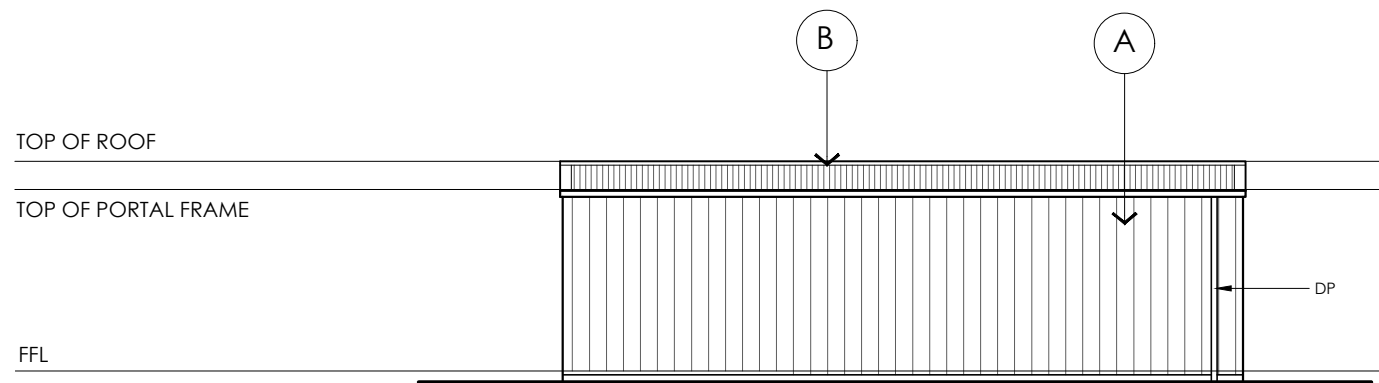
drawing		
ROOF PLAN		
scale 1:100	project no. 1691	drawing no. A04
date APR 2021	drawn MG	



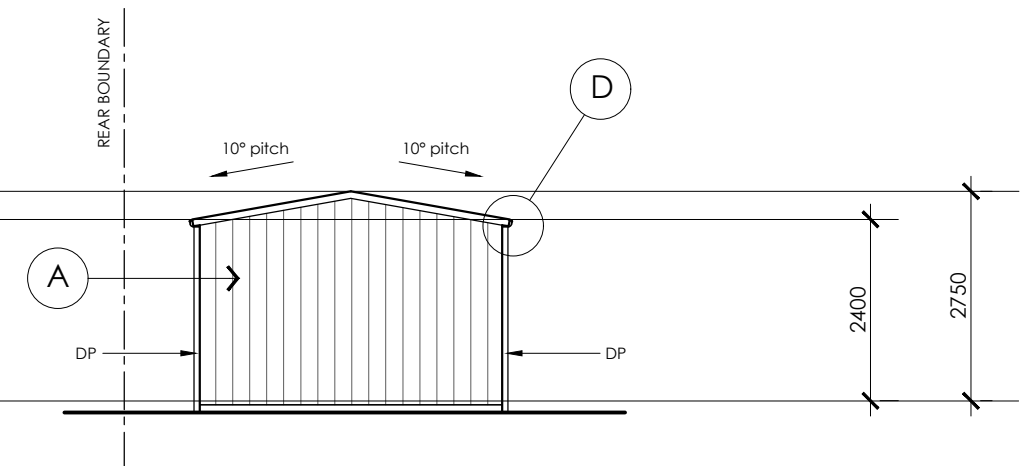
EAST ELEVATION 1:100



NORTH ELEVATION 1:100



WEST ELEVATION 1:100



SOUTH ELEVATION 1:100

EXTERNAL MATERIALS & FINISHES

- A** 'STEELCLAD' 0.42BMT SHEET WALL CLADDING. COLORBOND FINISH - 'MONUMENT' LRV 9%
- B** CORRUGATED 0.42BMT ROOF SHEETING. PITCH - 10° COLORBOND FINISH - 'MONUMENT' LRV 9%
- C** 2100 high x 1190 wide 'SERIES A' WINDLOCKED ROLLER-DOOR COLORBOND FINISH - 'MONUMENT' LRV 9%
- D** METAL 115mm QUAD GUTTERING, BARGE & CAPPING. COLORBOND FINISH - 'MONUMENT' LRV 9%

COLORBOND WALL CLADDING

INSTALL COLORBOND WALL SHEETING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. PROVIDE COLORBOND FLASHINGS TO ALL WINDOW HEAD, SILL & JAMBS; AND ALL INTERNAL/EXTERNAL CORNERS. COLORBOND TRIM/FLASHING TO BASE OF SHEETS.

REFER TO MANUFACTURER'S SPECIFICATION FOR SCREW FIXING GAUGE & SPACINGS.

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FOOTING & SLAB NOTE

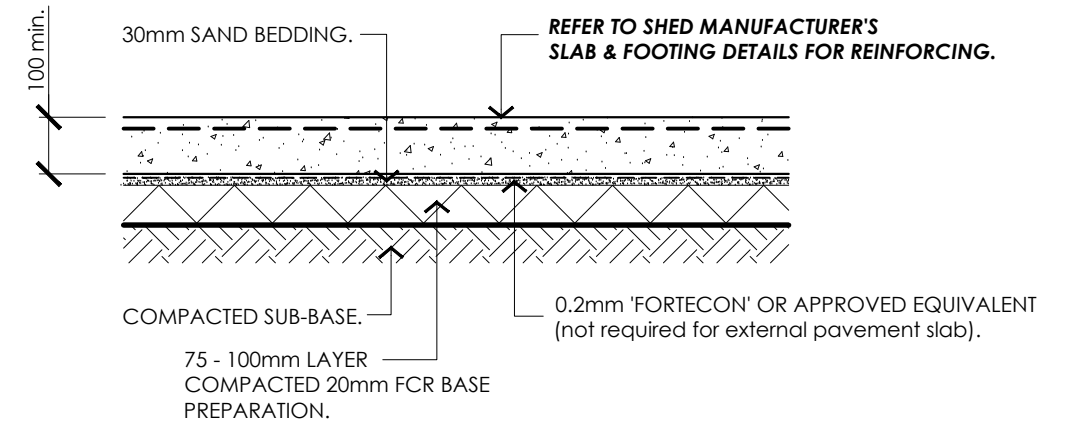
THESE DRAWINGS DO NOT COVER FOOTING & SLAB DETAILS. THEY ARE TO BE READ ALONGSIDE THE STANDARD FOOTING & SLAB DRAWINGS & DETAILS PROVIDED BY THE SHED MANUFACTURER/SUPPLIER (STEELINE ROOFING). A SOIL TEST/REPORT HAS NOT BEEN CARRIED OUT OR PROVIDED TO THE DESIGNER.

BEFORE COMMENCING BUILDING WORK:- FINAL FOOTING & SLAB SPECIFICATIONS WILL NEED TO BE CONFIRMED BY A STRUCTURAL ENGINEER AND/OR THE BUILDING SURVEYOR.

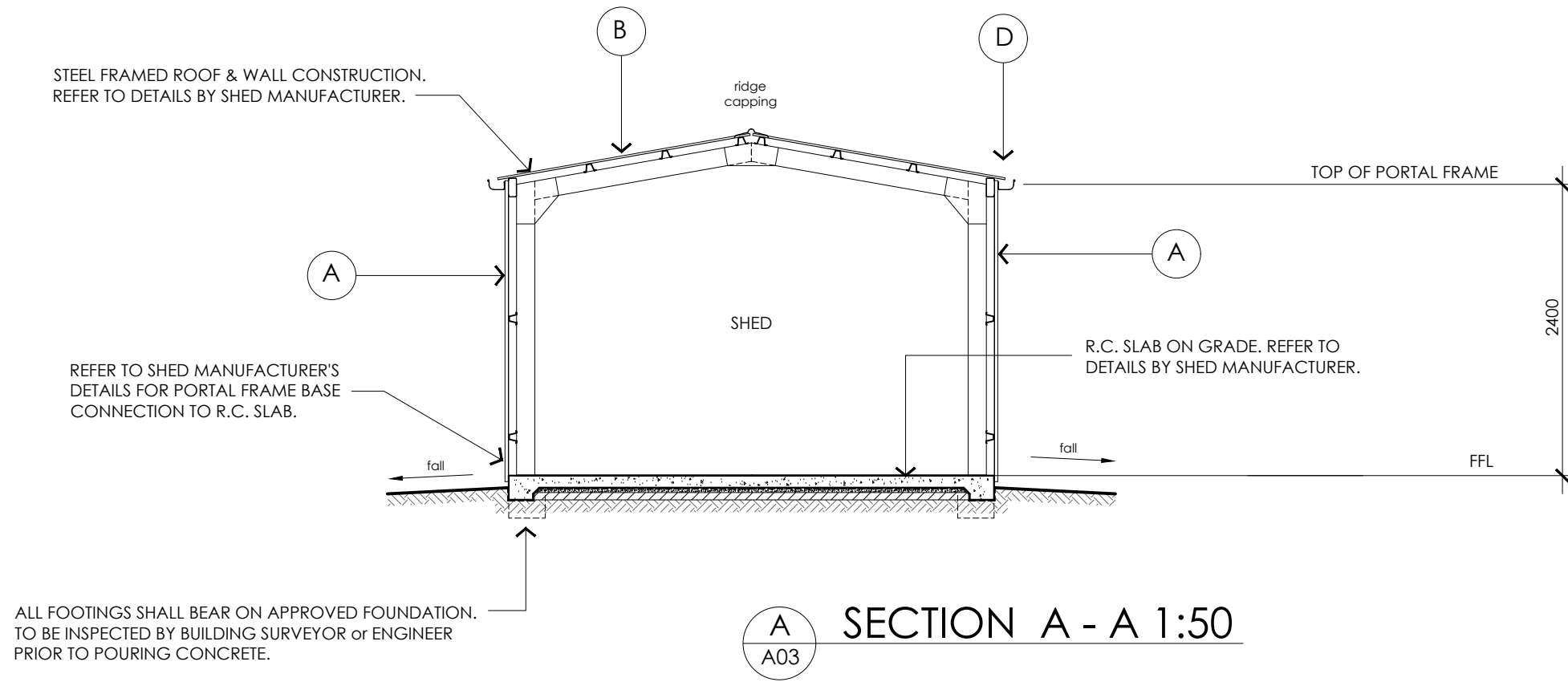
COLORBOND WALL CLADDING

INSTALL COLORBOND WALL SHEETING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. PROVIDE COLORBOND FLASHINGS TO ALL WINDOW HEAD, SILL & JAMBS; AND ALL INTERNAL/EXTERNAL CORNERS. COLORBOND TRIM/FLASHING TO BASE OF SHEETS.

REFER TO MANUFACTURER'S SPECIFICATION FOR SCREW FIXING GAUGE & SPACINGS.



SLAB ON GRADE 1:10
TYPICAL



A SECTION A - A 1:50
A03

MATT GILLEY | building designer

PO BOX 224 LINDISFARNE TASMANIA 7015 p: 0437499238 e: matt.gilley@bigpond.com

issue	description	date

project
**PROPOSED SHED
77 CARTWRIGHT STREET
BRIGHTON**

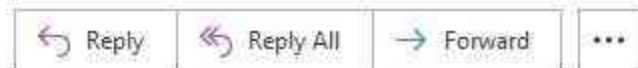
proprietor
L. M. DOVE

drawing			SECTION A-A
scale 1:10 1:50	project no. 1691	drawing no.	
date APR 2021	drawn MG	A06	

77 Cartwright street



blake pursell
To Development



Thu 29/04/2021 7:31 AM

Hi Jo

On behalf of lynne dove

The shed for 77 Cartwright street is for residential storage, has we have no sheds for house hold storage

Thanks you
Yours sincerely
blake Pursell

Sent from Pursell Kennels