



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.
DA2021/094

LOCATION OF AFFECTED AREA
30 HOLLINGSWORTH STREET, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL
OUTBUILDINGS (2)

THE APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL **18/05/2021** ADDRESSED TO THE GENERAL MANAGER, 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
GENERAL MANAGER

Brighton
going places



LEGEND:
COVER PAGE
PAGE 1# SITE PLAN
PAGE 2# GARAGE/CARPORT FLOOR PLAN/ELEVATIONS
PAGE 3# CARPORT/PATIO ROOF FLOOR PLAN
PAGE 4# CARPORT/PATIO ROOF ELEVATIONS

CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.

ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED

CONFIRM ALL SIZES AND HEIGHTS ON SITE

DO NOT SCALE OFF PLAN

ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS

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WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 - WIND LOADS FOR HOUSING

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REQUIREMENTS OF SCHEDULE 1

DESIGNER : T. WILKIN - CC678X
PROJECT ADDRESS : 30 HOLLINGSWORTH ST BRIGHTON TAS 7030
CLIENT NAME : PONTVILLE HOMES PTY LTD
TITLE REF : 174152/168
FLOOR AREAS : GARAGE/CARPORT - 72.00m² + PATIO ROOF - 76.60m²
DESIGN WIND SPEED : N2
SOIL CLASSIFICATION : M
CLIMATE ZONE : 7
BAL LEVEL : LOW
ALPINE AREA : N/A
CORROSION ENVIRONMENT : N/A
KNOWN SITE HAZARDS : NONE

INDEX OF APPLICATION SET:

ARCHITECTURAL DRAWINGS - PAGE 00 - 04
ENGINEERING DRAWINGS - NO
SPECIFICATIONS - NO
ADDITIONAL PAGES - FORM 35

PROPOSED BUILDINGS FOR K. COOPER AT 30 HOLLINGSWORTH ST BRIGHTON TAS 7030



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design

P.O. BOX 478
LAUNCESTON
TASMANIA 7250

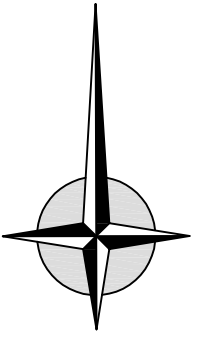
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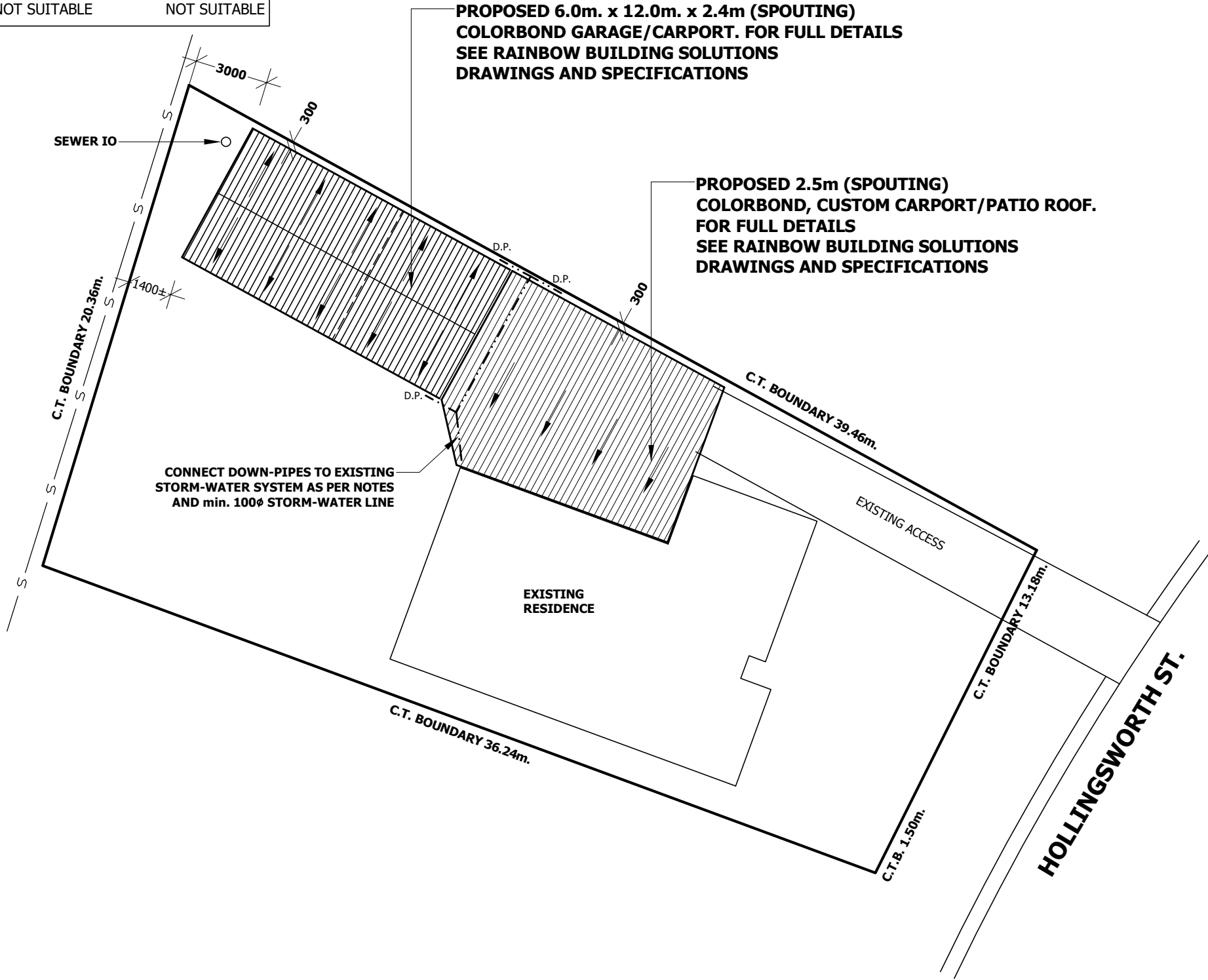
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30 HOLLINGSWORTH ST
BRIGHTON TAS 7030

TITLE REF: 174152/168
PROPERTY ID: 3550841
TITLE AREA = 658m²



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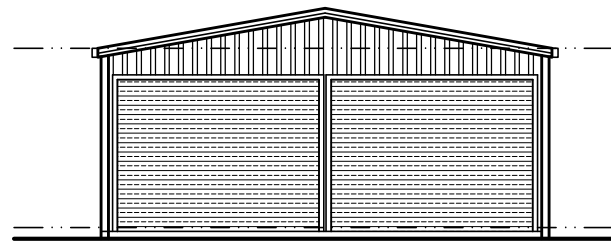
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01 of 04

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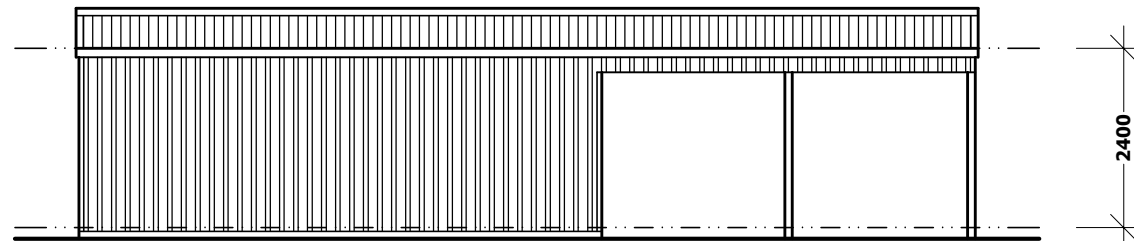
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- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.

**SITE PLAN
1:200**

NOTE: ALL DIMENSIONS TO BE CONFIRMED ON SITE.

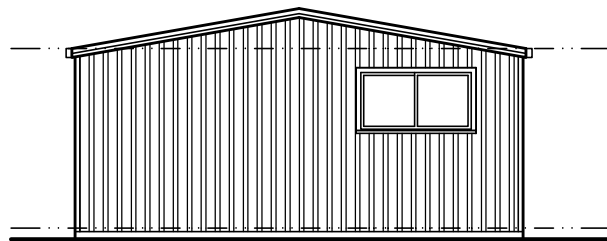


**NORTH ELEVATION
1:100**

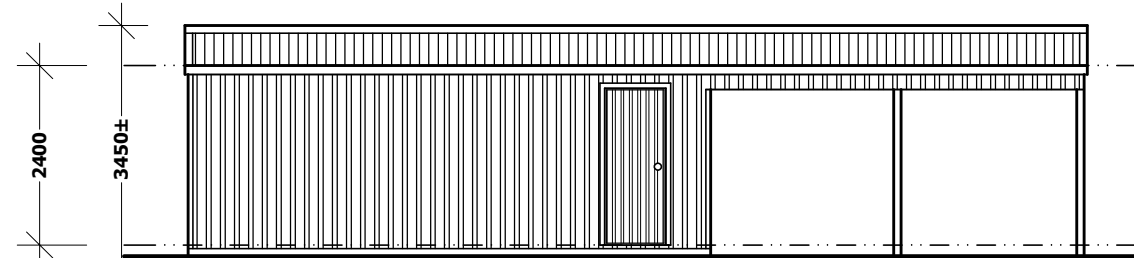


**WEST ELEVATION
1:100**

2400



**SOUTH ELEVATION
1:100**

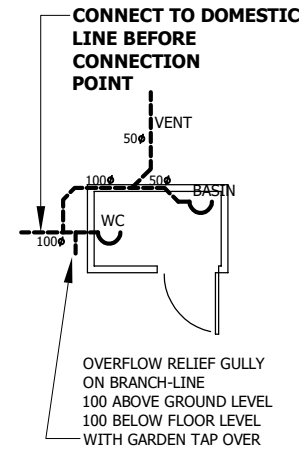
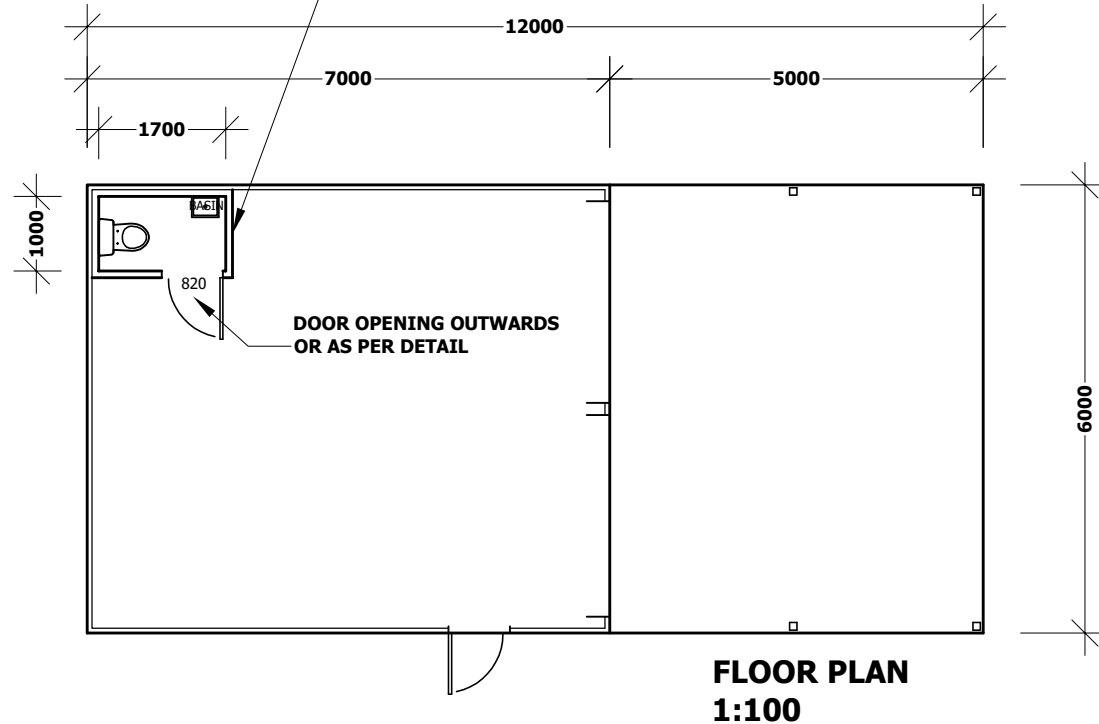


**EAST ELEVATION
1:100**

2400
3450±

90 x 35 MGP10 FRAMING.
STUDS @ 450crs. MAXIMUM.
NOGGINGS @ 1350crs. MAXIMUM.
2/90 x 35 MGP10 PLATES
(USE TTPINE BOTTOM PLATE)
TO LOAD BEARING WALLS.
9mm VILLA-BOARD INTERNAL LINING.

IF CEILING IS FITTED USE
90 x 35 MGP10 CEILING JOISTS AT 450
CENTRES TO SHORT SPAN

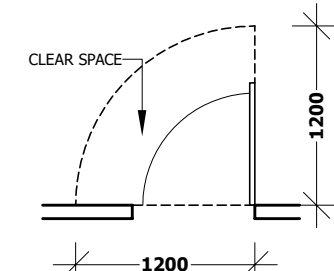


VENTILATION NOTES:

- MECHANICAL VENTILATION SYSTEMS ARE TO BE INSTALLED AS PER AS 1668.2 "MECHANICAL VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY".
- CONTAMINATED AIR FROM A SANITARY COMPARTMENT OR BATHROOM MUST EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS OR EXHAUST INTO THE ROOF SPACE ONLY IF IT IS ADEQUATELY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS OR THE ROOF IS CLAD IN TILES WITHOUT SARKING OR SIMILAR MATERIALS WHICH WOULD PREVENT VENTING THROUGH GAPS IN TILES.
- VENTILATION MUST BE PROVIDED TO A HABITABLE ROOM BY PERMANENT OPENINGS, WINDOWS, DOORS OR OTHER DEVICES WHICH CAN BE OPENED WITH AN AGGREGATE OPENING SIZE NOT LESS THAN 5% OF THE FLOOR AREA AND OPEN TO A SUITABLY SIZED COURT, OPEN VERANDAH, CARPORT, OR THE LIKE, OR TO AN ADJOINING ROOM PROVIDED THAT ROOM OR THE ROOM TO BE VENTILATED IS NOT A SANITARY COMPARTMENT AND THE WINDOW, OPENING, DOOR OR OTHER DEVICE HAS A VENTILATING AREA OF NOT LESS THAN 5% OF THE FLOOR AREA OF THE ROOM TO BE VENTILATED AND THE ADJOINING ROOM HAS A WINDOW, OPENING, DOOR OR OTHER DEVICE WITH A VENTILATING AREA OF NOT LESS THAN 5% OF THE COMBINED FLOOR AREAS OF BOTH ROOMS AND THE VENTILATING AREAS SPECIFIED MAY BE REDUCED AS APPROPRIATE IF DIRECT NATURAL VENTILATION IS PROVIDED FROM ANOTHER SOURCE AS PER BCA 2009 PART 3.8.5.

PLUMBING NOTES:

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- ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN 12mm BLUEMETAL WITH A MINIMUM DEPTH OF 500mm ALL AS PER AS 3500 "PLUMBING AND DRAINAGE".
- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.
- MAXIMUM OPERATING PRESSURE WITHIN THE BUILDING OF 500kpa.
- TEMPERING VALVES TO BE FITTED IN ACCORDANCE WITH AS 3500 PART 4.
- CHECK WITH LOCAL COUNCIL FOR EXACT SITE SERVICE CONNECTION POINTS.



**CONSTRUCTION OF
SANITARY
COMPARTMENTS**

BCA VOL. 2, FIGURE 3.8.3.3
THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST -
(a) OPEN OUTWARDS; OR
(b) SLIDE; OR
(c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2m, MEASURED IN ACCORDANCE WITH FIGURE 3.8.3.3, BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOORWAY.



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LAUNCESTON
TASMANIA 7250

ACCREDITATION NO:
CC678 X

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**COOPER BUILDINGS
HOLLINGSWORTH ST
BRIGHTON**

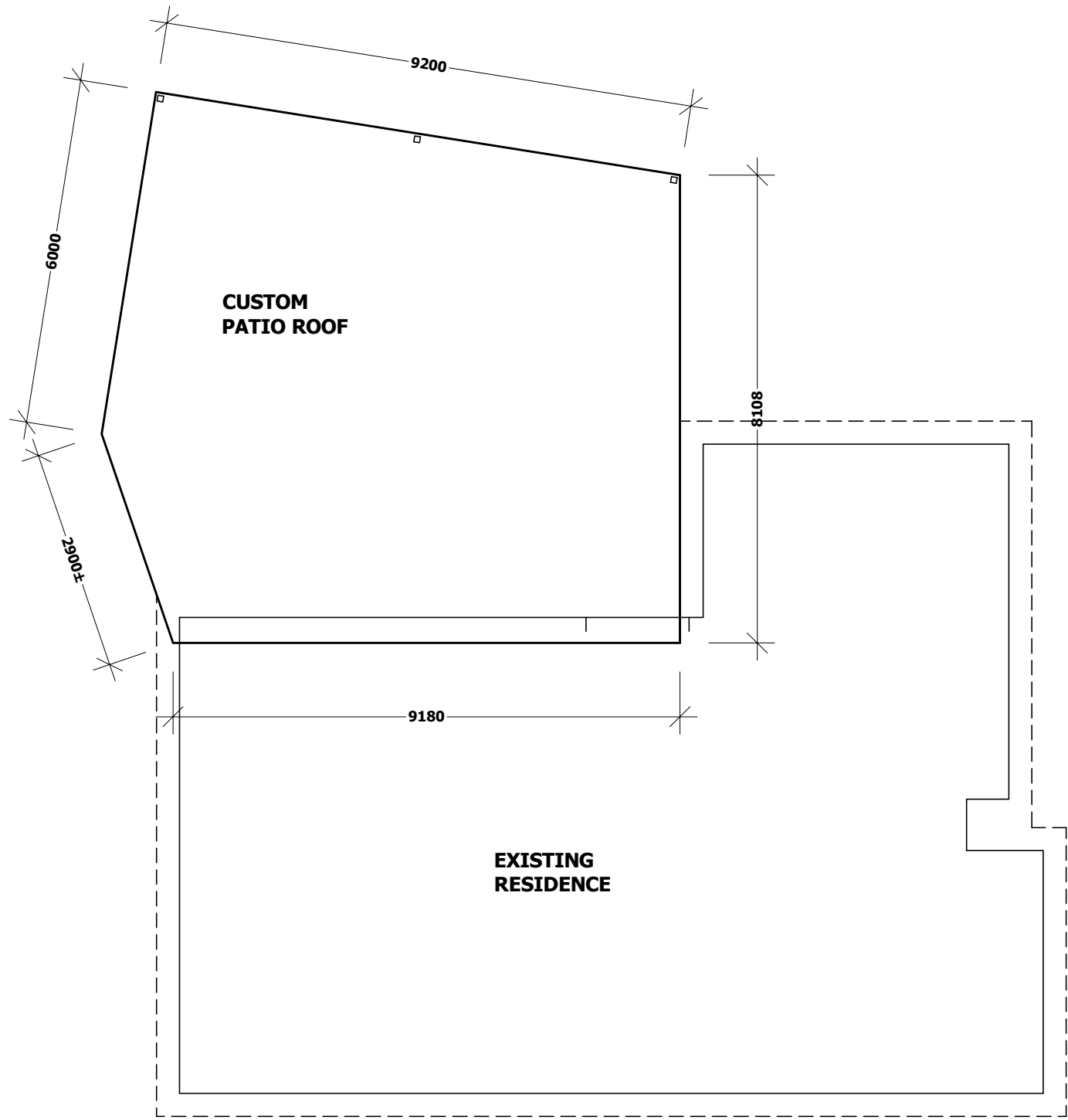
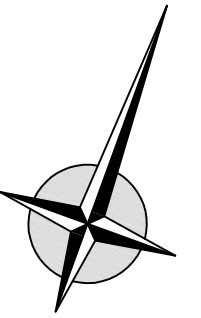
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**FLOOR PLAN
1:100**



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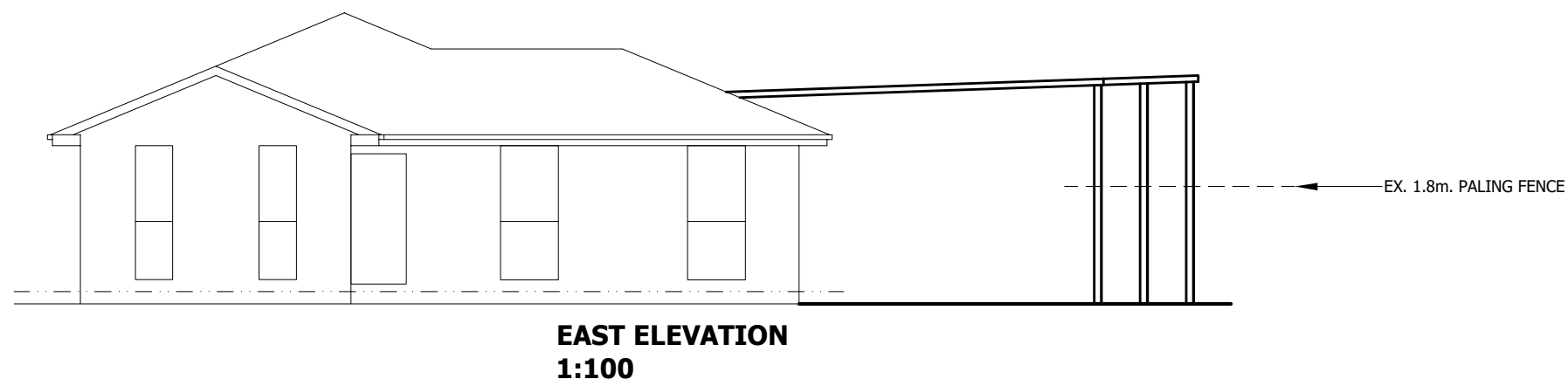
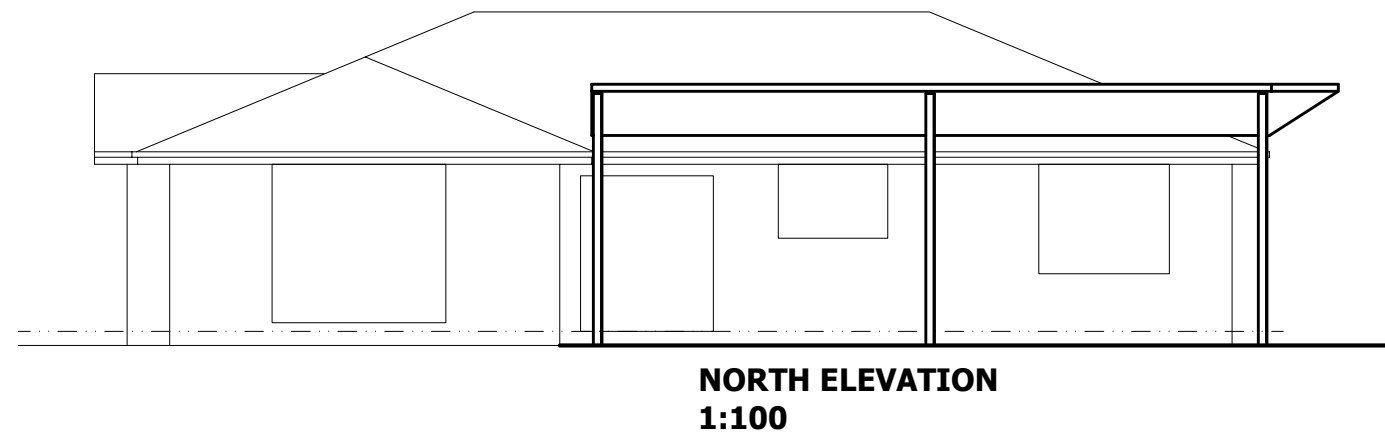
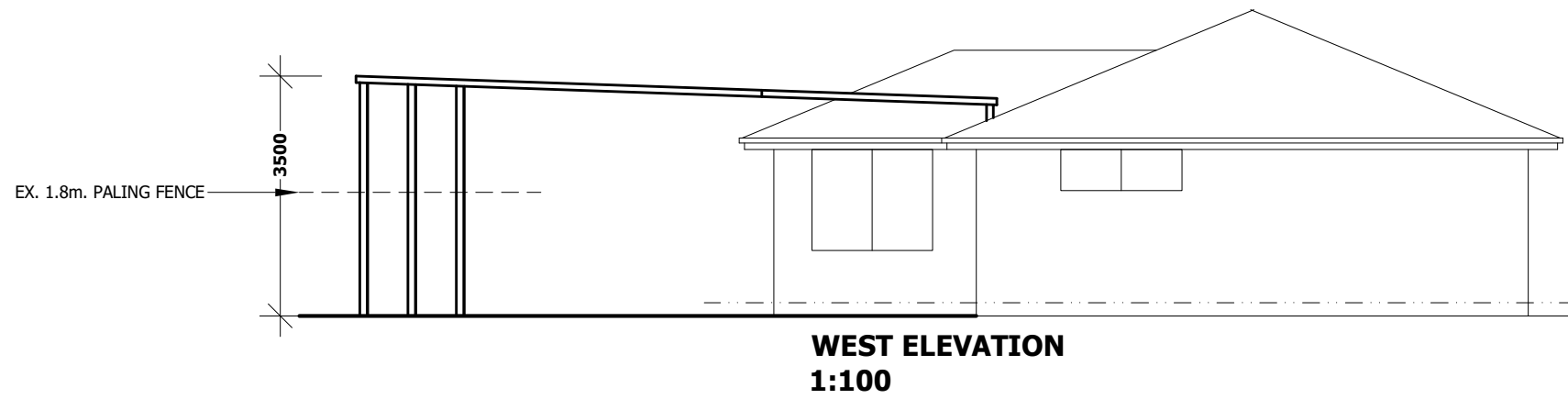
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CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: **PONTVILLE HOMES PTY LTD** *Owner name*
7 MACROBERTSONS TCE *Address*
CLAREMONT TAS **7011** *Suburb/postcode*

Designer details:

Name: **T. Wilkin** Category: **B/Designer**
 Business name: **Wilkin Design and Drafting Pty Ltd** Phone No: **0418596377**
 Business address: **PO Box 478**
Launceston **7250** Fax No:
 Licence No: **CC678X** Email address: **office@wilkindesign.com.au**

Details of the proposed work:

Applicant **K. COOPER** Designer's project reference No. **DA/BA-21SRCOOP**
 Address: **30 HOLLINGSWORTH ST** Lot No: **174152/168**
BRIGHTON TAS **7030**

Type of work: Building work Plumbing work (X all applicable)

Description of work:

PREFABRICATED COLORBOND SHEDS

(new building / alteration / addition / repair / removal / re-erection
 water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input checked="" type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Other details:

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers: 00 – 04	Prepared by: T. WILKIN	Date: 24/03/2021
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:

--

Any other relevant documentation:


--

Attribution as designer:

I **T. WILKIN** am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>		<i>Date</i>
Designer:	T. WILKIN		25/03/2021
Licence No:	CCC678X		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.


I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

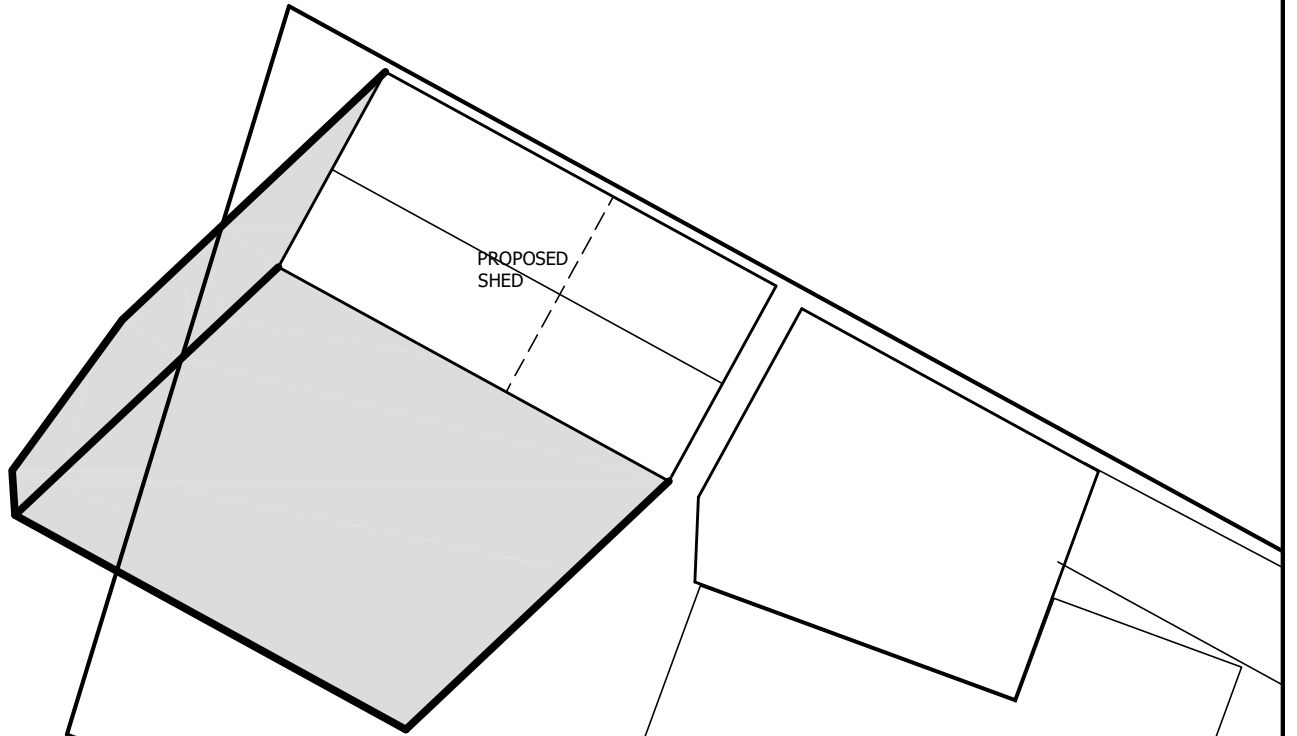
Certification:

I **T. WILKIN** being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

Designer: Name: (print)  Date **25/03/2021**

88 MENIN DRIVE



30 HOLLINGSWORTH ST
BRIGHTON TAS 7030

OVERSHADOWING PLAN

1:200

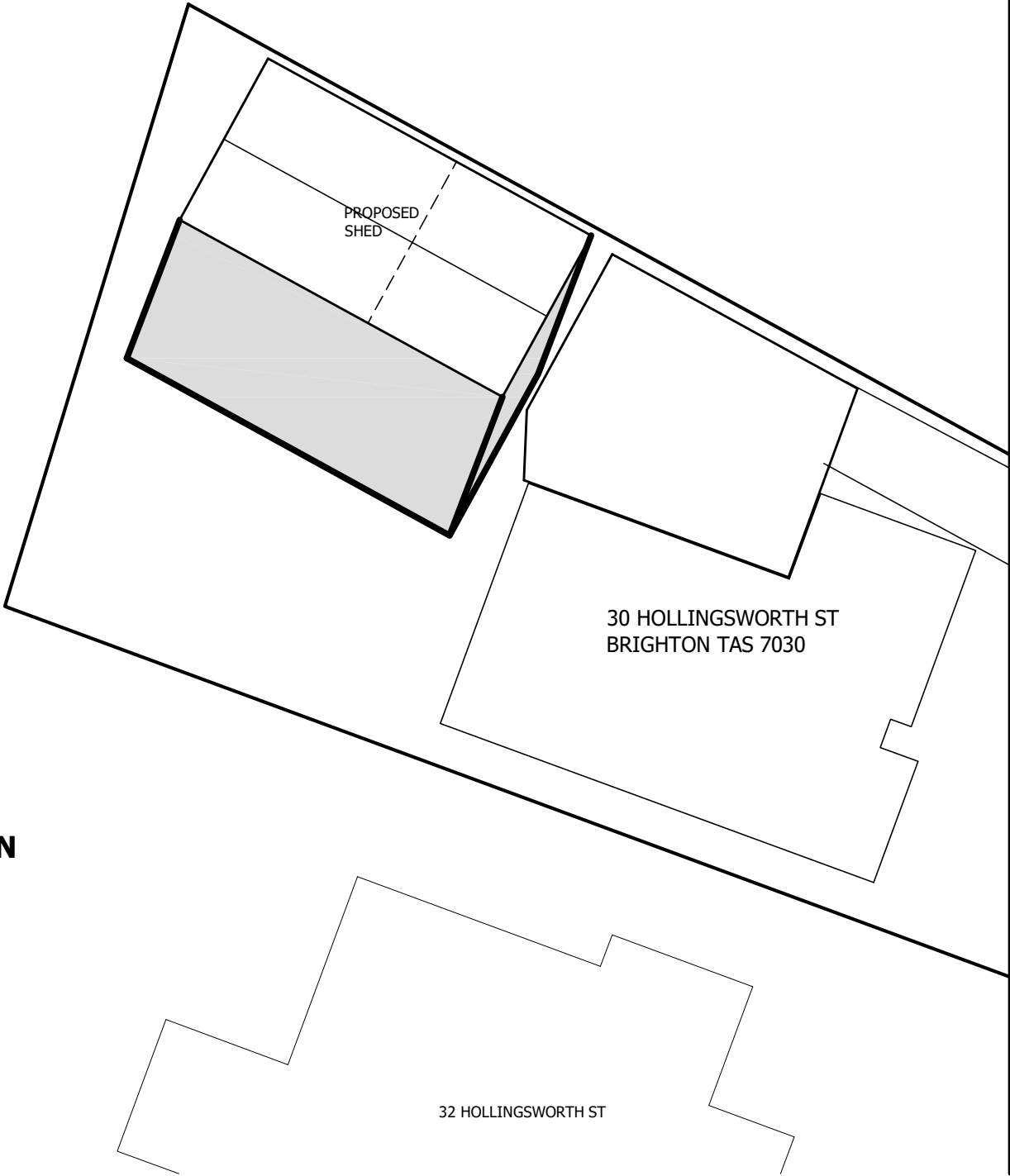
9:00am

21-06

86 MENIN DRIVE



32 HOLLINGSWORTH ST



88 MENIN DRIVE

PROPOSED SHED

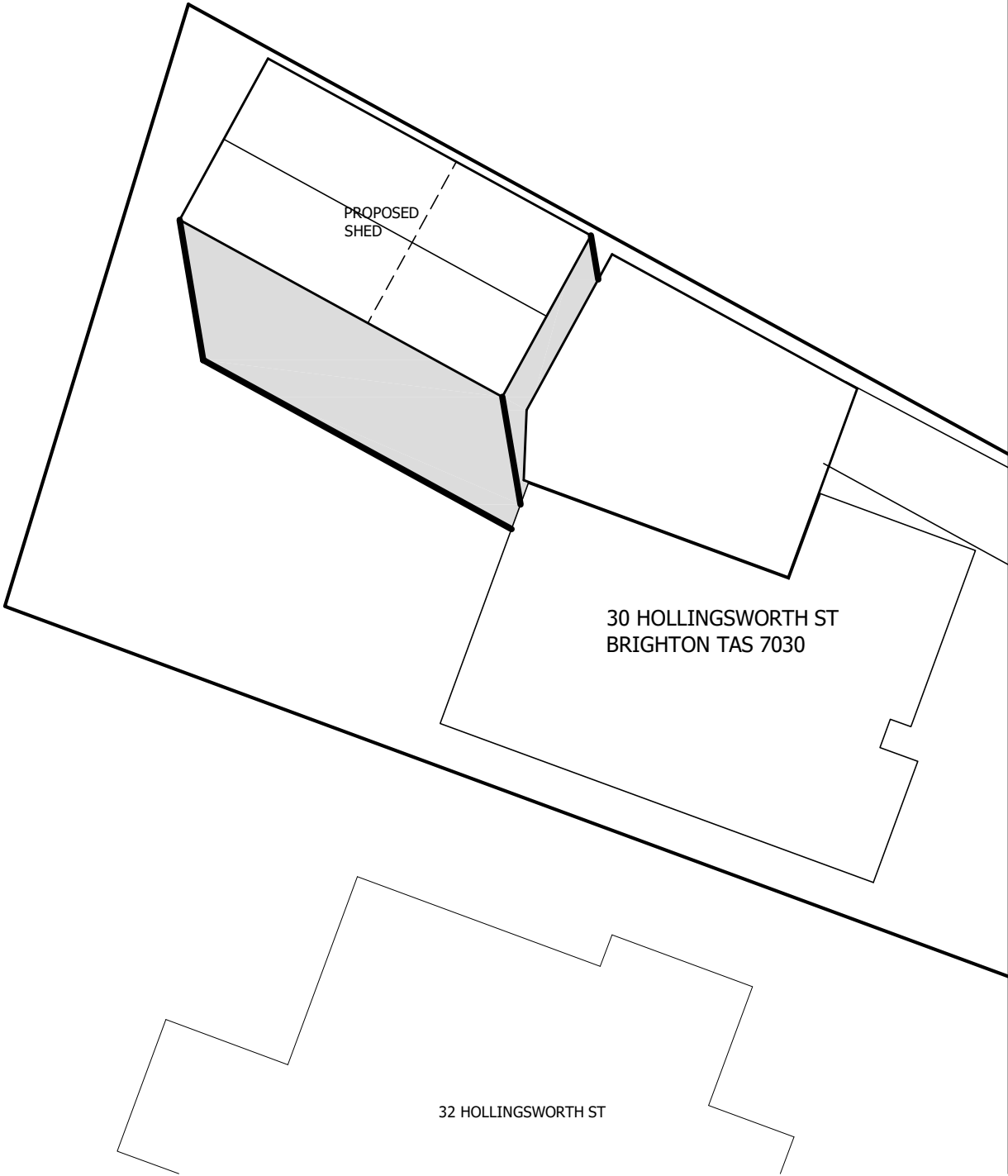
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86 MENIN DRIVE

OVERSHADOWING PLAN
1:200
11:00am
21-06

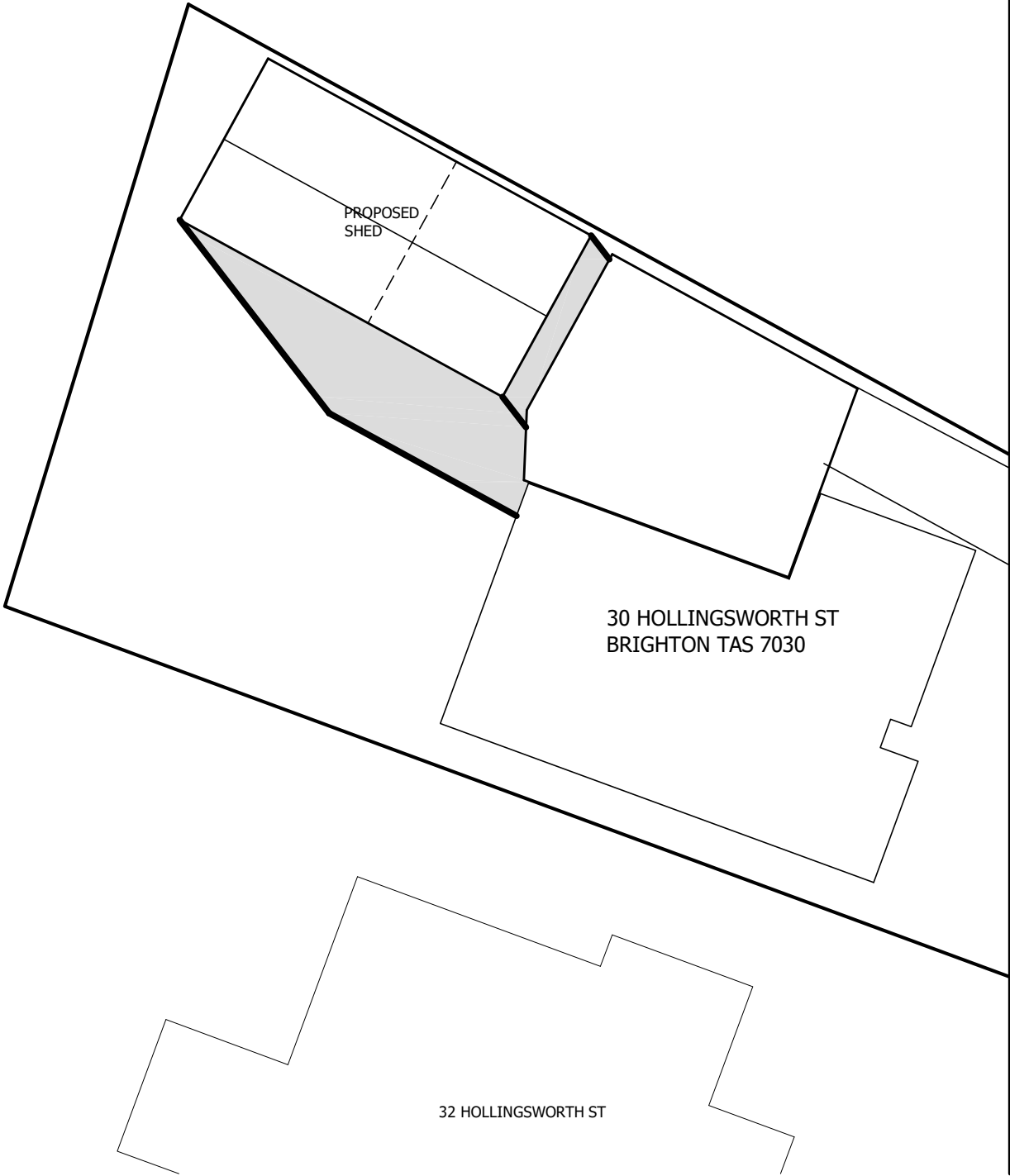


32 HOLLINGSWORTH ST



OVERSHADOWING PLAN
1:200
1:00pm
21-06





88 MENIN DRIVE

PROPOSED SHED

30 HOLLINGSWORTH ST
BRIGHTON TAS 7030

86 MENIN DRIVE

OVERSHADOWING PLAN
1:200
3:00pm
21-06



32 HOLLINGSWORTH ST



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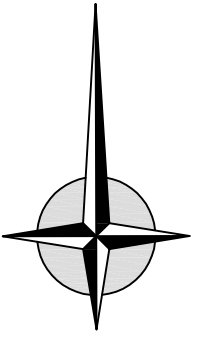
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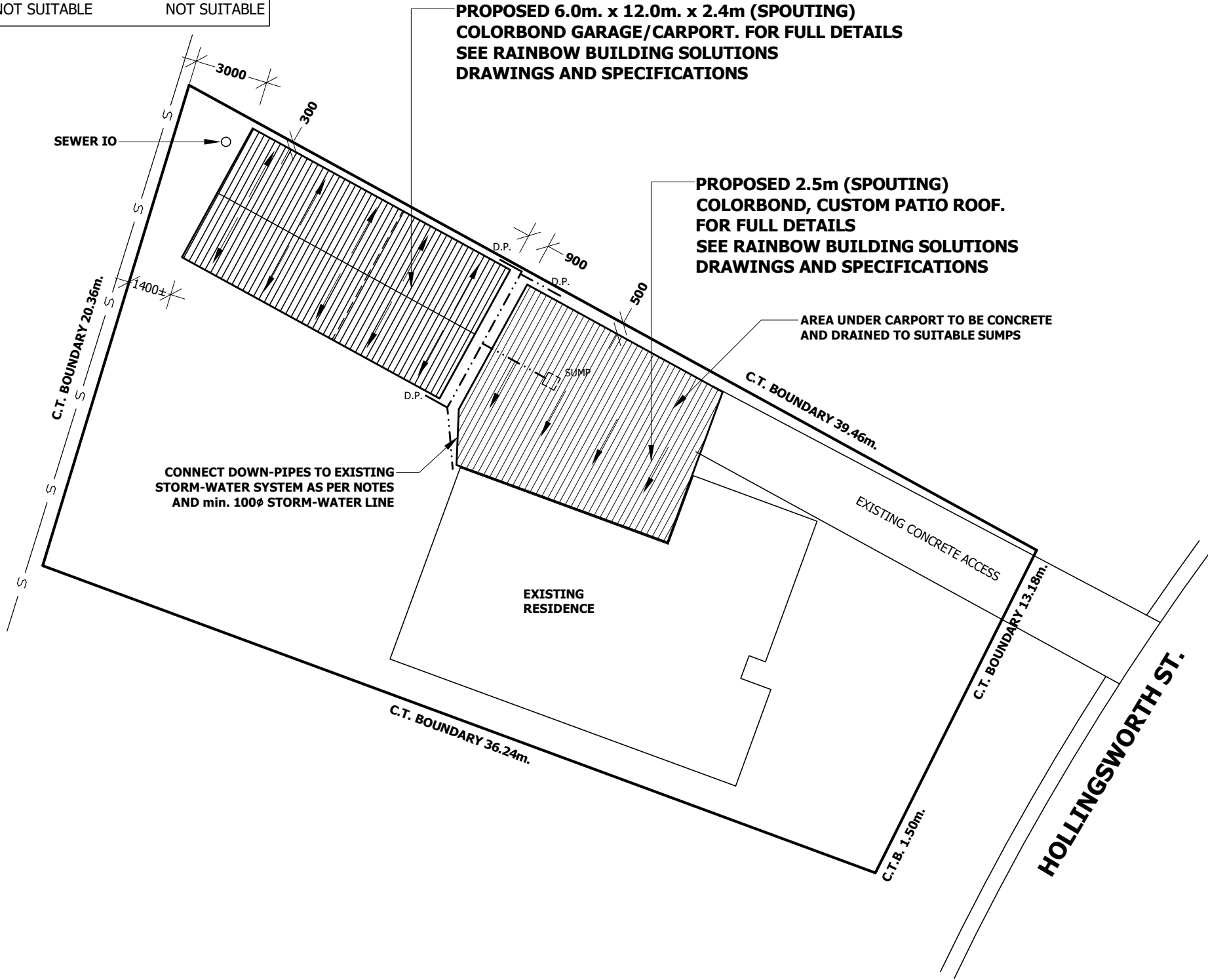
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**SITE PLAN
1:200**

NOTE: ALL DIMENSIONS TO BE CONFIRMED ON SITE.



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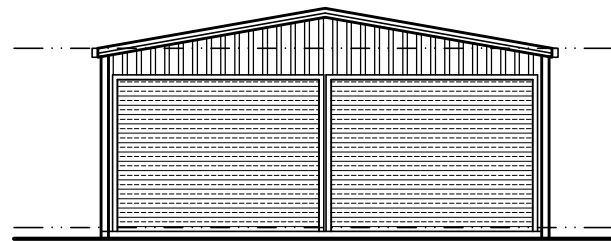
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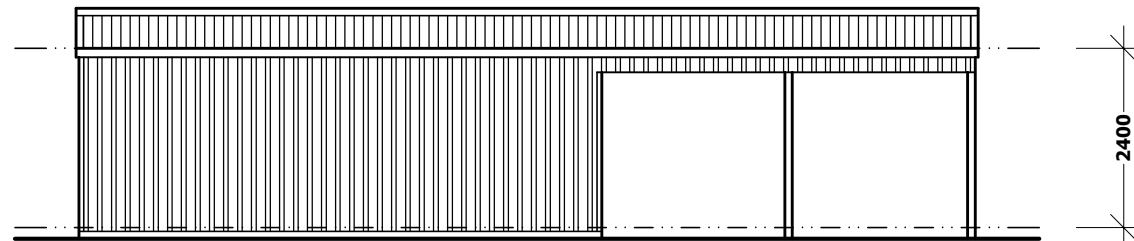
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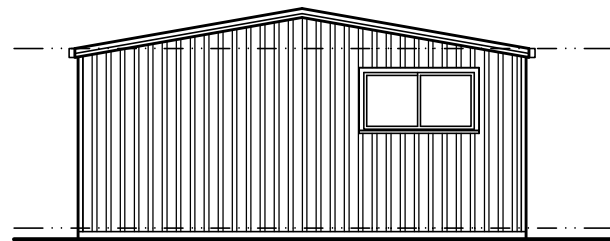


**NORTH ELEVATION
1:100**

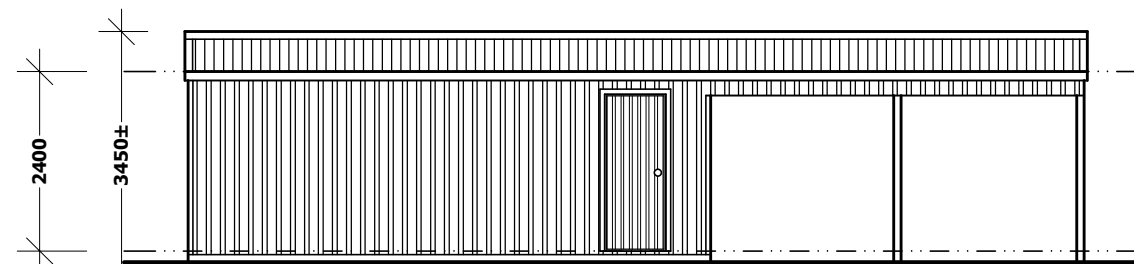


**WEST ELEVATION
1:100**

2400



**SOUTH ELEVATION
1:100**



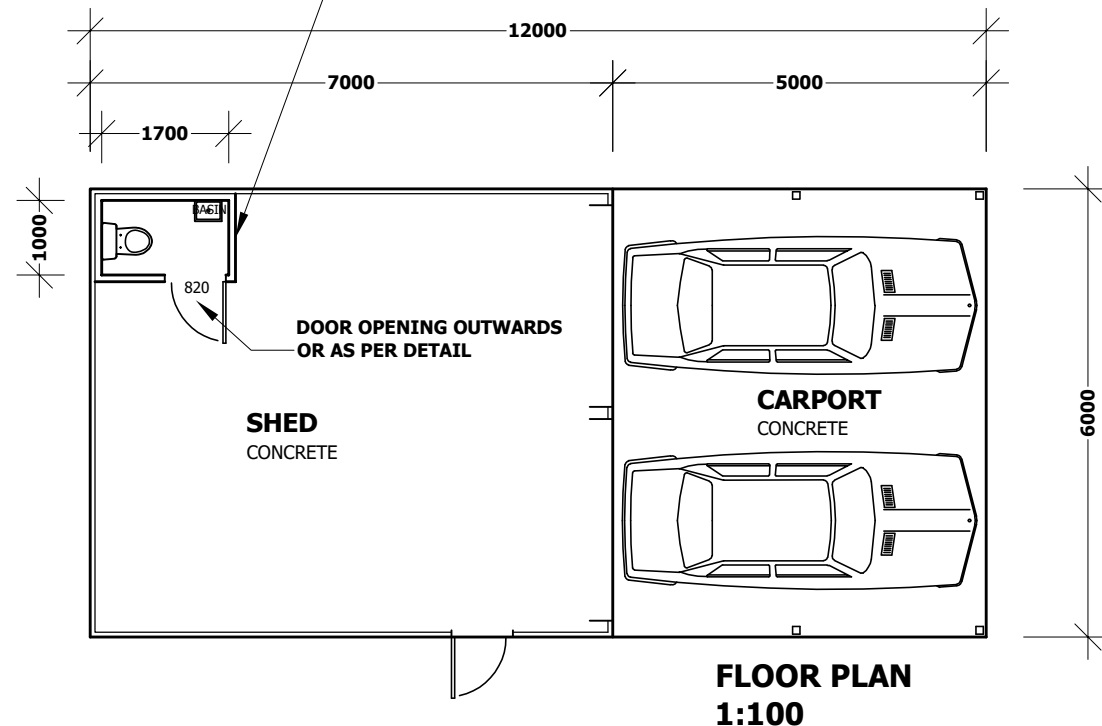
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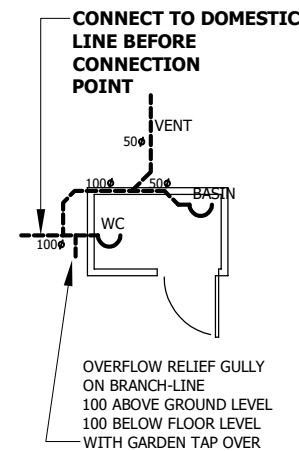
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2/90 x 35 MGP10 PLATES
(USE TTPINE BOTTOM PLATE)
TO LOAD BEARING WALLS.
9mm VILLA-BOARD INTERNAL LINING.

IF CEILING IS FITTED USE
90 x 35 MGP10 CEILING JOISTS AT 450
CENTRES TO SHORT SPAN



**FLOOR PLAN
1:100**



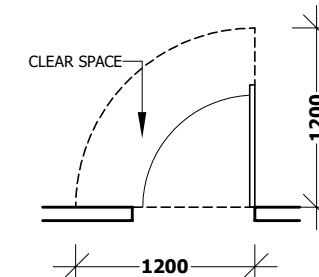
**BATHROOM
DRAINAGE PLAN
1:100**

VENTILATION NOTES:

- MECHANICAL VENTILATION SYSTEMS ARE TO BE INSTALLED AS PER AS 1668.2 "MECHANICAL VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY".
- CONTAMINATED AIR FROM A SANITARY COMPARTMENT OR BATHROOM MUST EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS OR EXHAUST INTO THE ROOF SPACE ONLY IF IT IS ADEQUATELY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS OR THE ROOF IS CLAD IN TILES WITHOUT SARKING OR SIMILAR MATERIALS WHICH WOULD PREVENT VENTING THROUGH GAPS IN TILES.
- VENTILATION MUST BE PROVIDED TO A HABITABLE ROOM BY PERMANENT OPENINGS, WINDOWS, DOORS OR OTHER DEVICES WHICH CAN BE OPENED WITH AN AGGREGATE OPENING SIZE NOT LESS THAN 5% OF THE FLOOR AREA AND OPEN TO A SUITABLY SIZED COURT, OPEN VERANDAH, CARPORT, OR THE LIKE, OR TO AN ADJOINING ROOM PROVIDED THAT ROOM OR THE ROOM TO BE VENTILATED IS NOT A SANITARY COMPARTMENT AND THE WINDOW, OPENING, DOOR OR OTHER DEVICE HAS A VENTILATING AREA OF NOT LESS THAN 5% OF THE FLOOR AREA OF THE ROOM TO BE VENTILATED AND THE ADJOINING ROOM HAS A WINDOW, OPENING, DOOR OR OTHER DEVICE WITH A VENTILATING AREA OF NOT LESS THAN 5% OF THE COMBINED FLOOR AREAS OF BOTH ROOMS AND THE VENTILATING AREAS SPECIFIED MAY BE REDUCED AS APPROPRIATE IF DIRECT NATURAL VENTILATION IS PROVIDED FROM ANOTHER SOURCE AS PER BCA 2009 PART 3.8.5.

PLUMBING NOTES:

- ALL PLUMBING WORK BOTH WASTE AND WATER TO COMPLY WITH CURRENT BCA AND AS 3500 WITH ALL LOCAL COUNCIL REQUIREMENTS SATISFIED.
- ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN 12mm BLUEMETAL WITH A MINIMUM DEPTH OF 500mm ALL AS PER AS 3500 "PLUMBING AND DRAINAGE".
- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.
- MAXIMUM OPERATING PRESSURE WITHIN THE BUILDING OF 500kpa.
- TEMPERING VALVES TO BE FITTED IN ACCORDANCE WITH AS 3500 PART 4.
- CHECK WITH LOCAL COUNCIL FOR EXACT SITE SERVICE CONNECTION POINTS.



**CONSTRUCTION OF
SANITARY
COMPARTMENTS**

BCA VOL. 2, FIGURE 3.8.3.3

THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST -
(a) OPEN OUTWARDS; OR
(b) SLIDE; OR
(c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2m, MEASURED IN ACCORDANCE WITH FIGURE 3.8.3.3, BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOORWAY.



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BRIGHTON

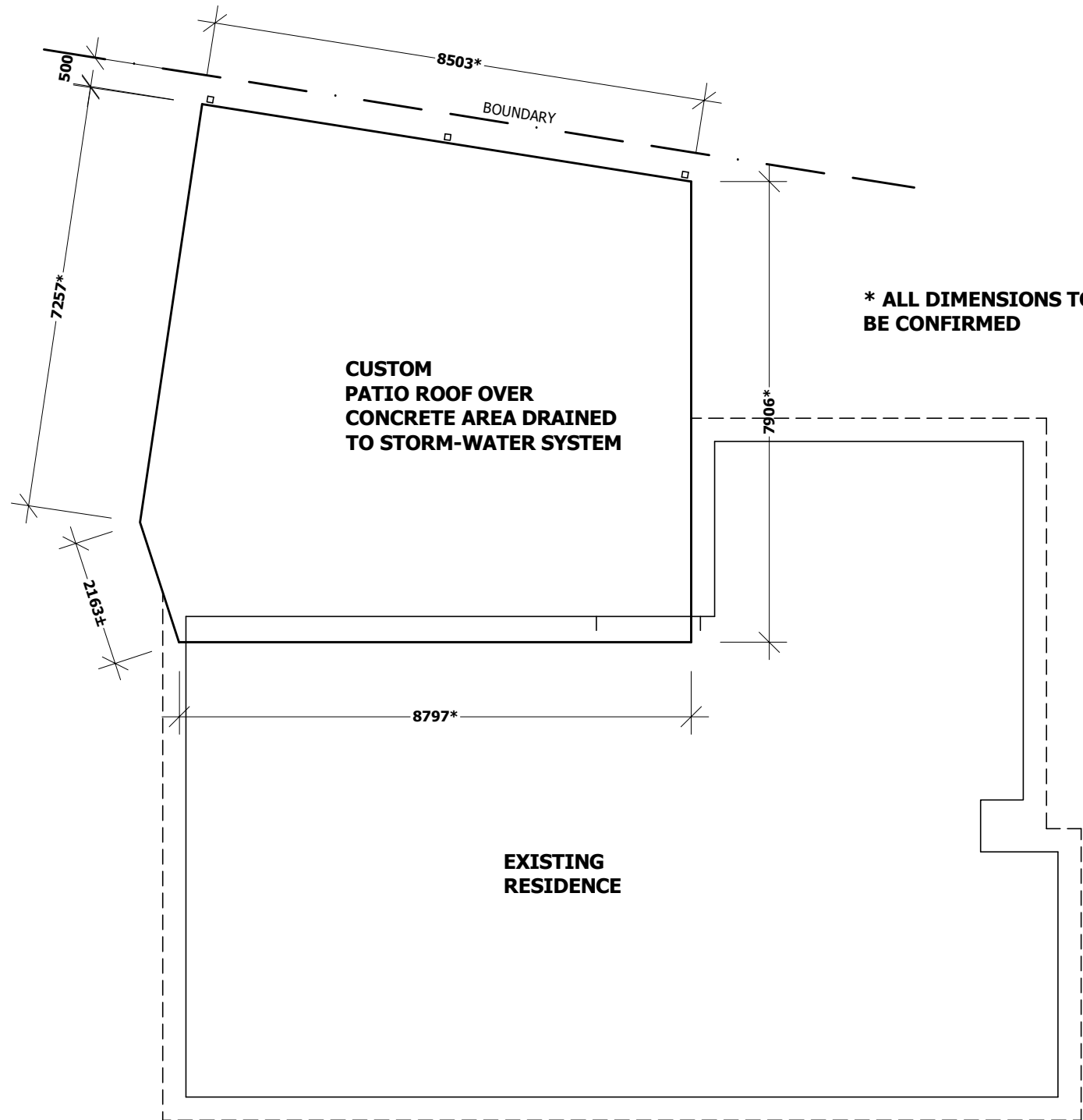
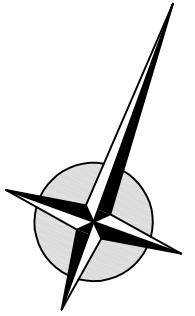
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**FLOOR PLAN
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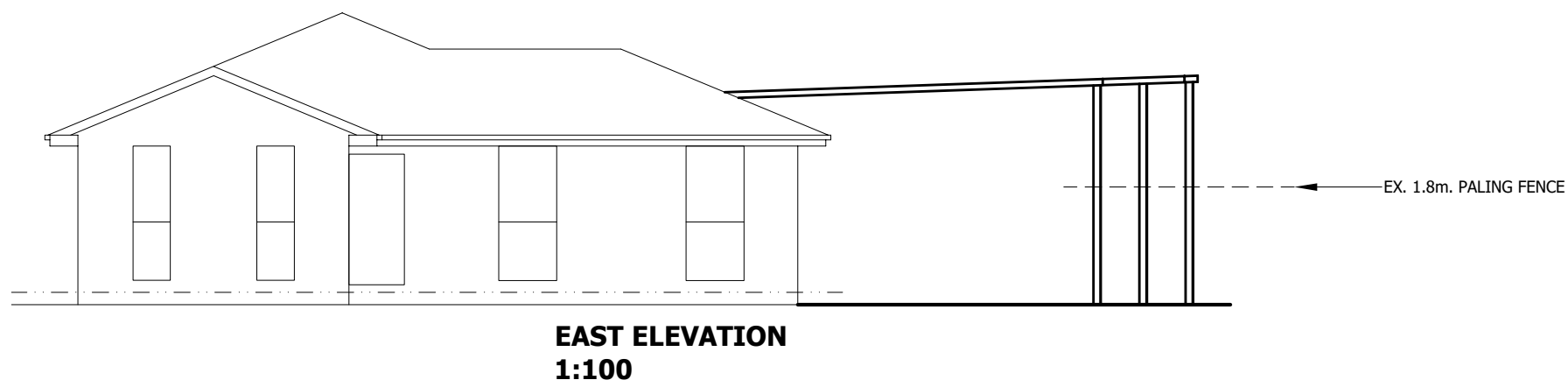
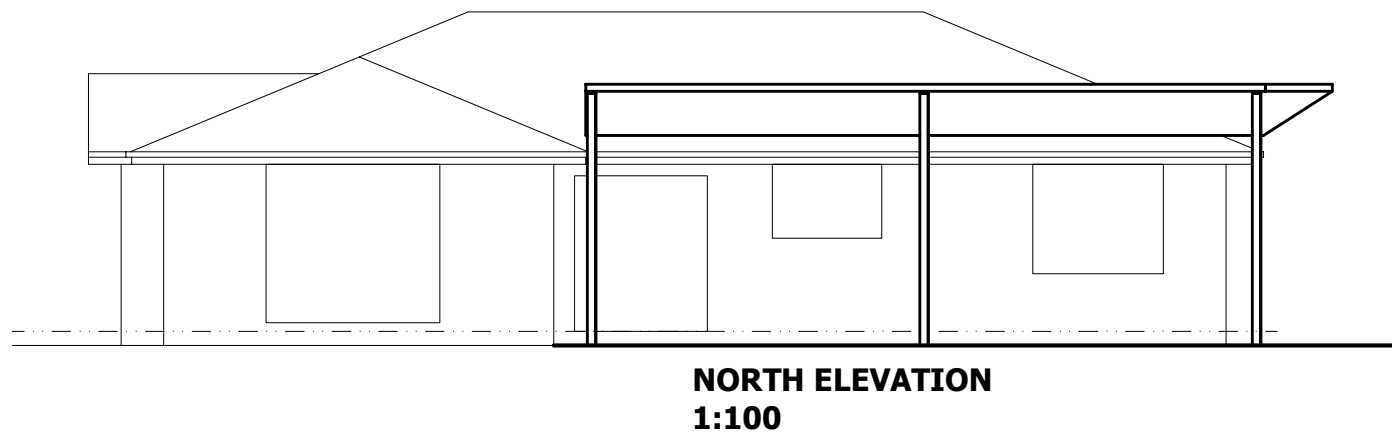
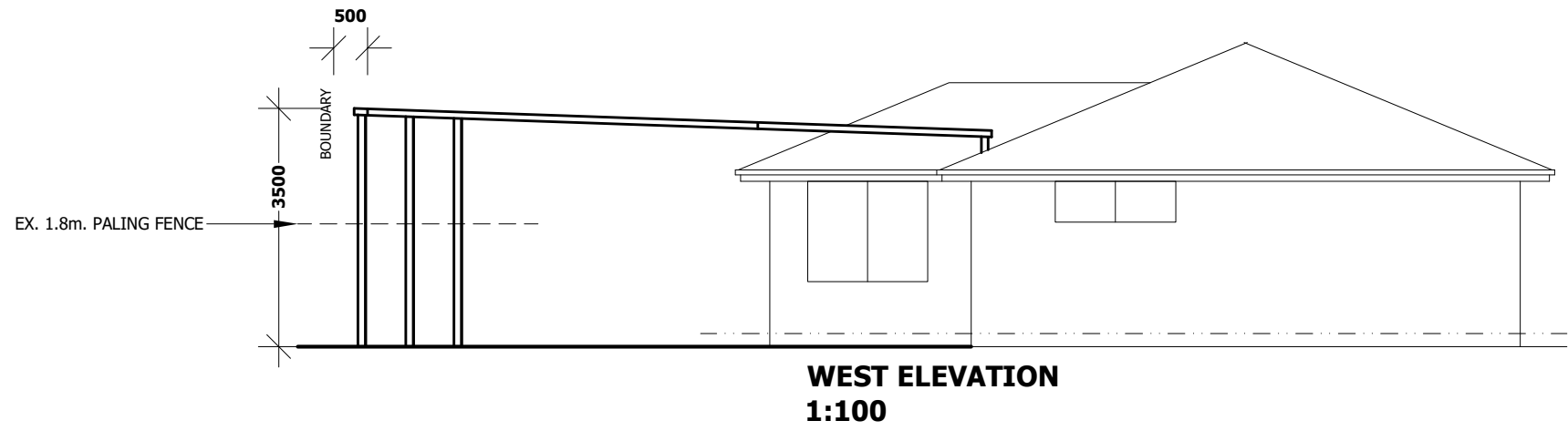
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Josh Smith
To Development

Reply Reply All Forward ...

Wed 28/04/2021 4:53 PM



Good afternoon,

Please find updated plans and overshadowing diagrams attached as requested on the RFI received 26/04/2021.

The proposed structures do not create unreasonable loss of site light to any neighbouring POS or habitable rooms – only over its own property.

Clause 8.4.2 P3 Setbacks and building envelope for all dwellings

P3

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; - **Not applicable, refer to attached plan**

(ii) overshadowing the private open space of a dwelling on an adjoining property; - **Not applicable, refer to attached plan**

(iii) overshadowing of an adjoining vacant property; or - **Not applicable, refer to attached plan**

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; - **adjoining properties have large fencing, ranging from 1.8 – 2.0m tall. Creating a visual block of the proposed structures. Heights are kept to a minimum to still achieve its intended purpose**

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and – **surrounding properties all have outbuildings close or on the existing boundaries, and are built to the spaces available. Proposed structures are within the same principles, to create a more usable outdoor space**

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

(i) an adjoining property; or **Not applicable. No reduction of sunlight on adjoining dwelling**

(ii) another dwelling on the same site. – **existing dwelling does not have solar panels installed**

C2.6.1 – Construction of parking areas

A1

All parking, access ways, manoeuvring and circulation spaces must:

(a) be constructed with a durable all weather pavement; - **proposed surface to be concrete**

(b) be drained to the public stormwater system, or contain stormwater on the site; and - **Applicable drainage pits to be installed as required and connected to existing stormwater on site. As most surface will be covered, additional stormwater from the concrete surface will be minimal**

(c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement. – **see notes above**

Referring to advice on the RFI, proposed parking on site is for 2 cars only. With additional space on existing driveway (3 in total). All other area uses are for entertaining / patio / storage

Josh Smith