



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2022/262

LOCATION OF AFFECTED AREA

2 FLORENCE COURT, PONTVILLE

DESCRIPTION OF DEVELOPMENT PROPOSAL

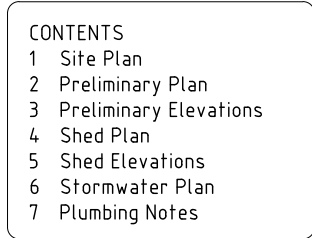
DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **11/1/2023**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager

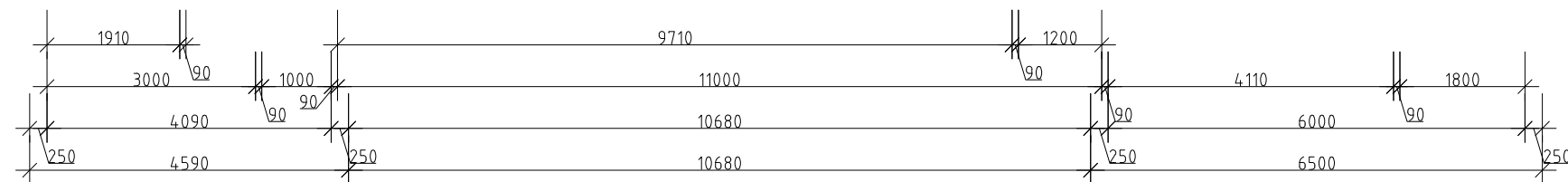
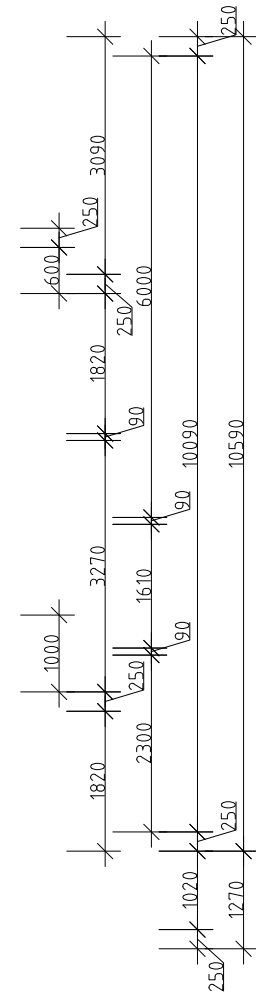
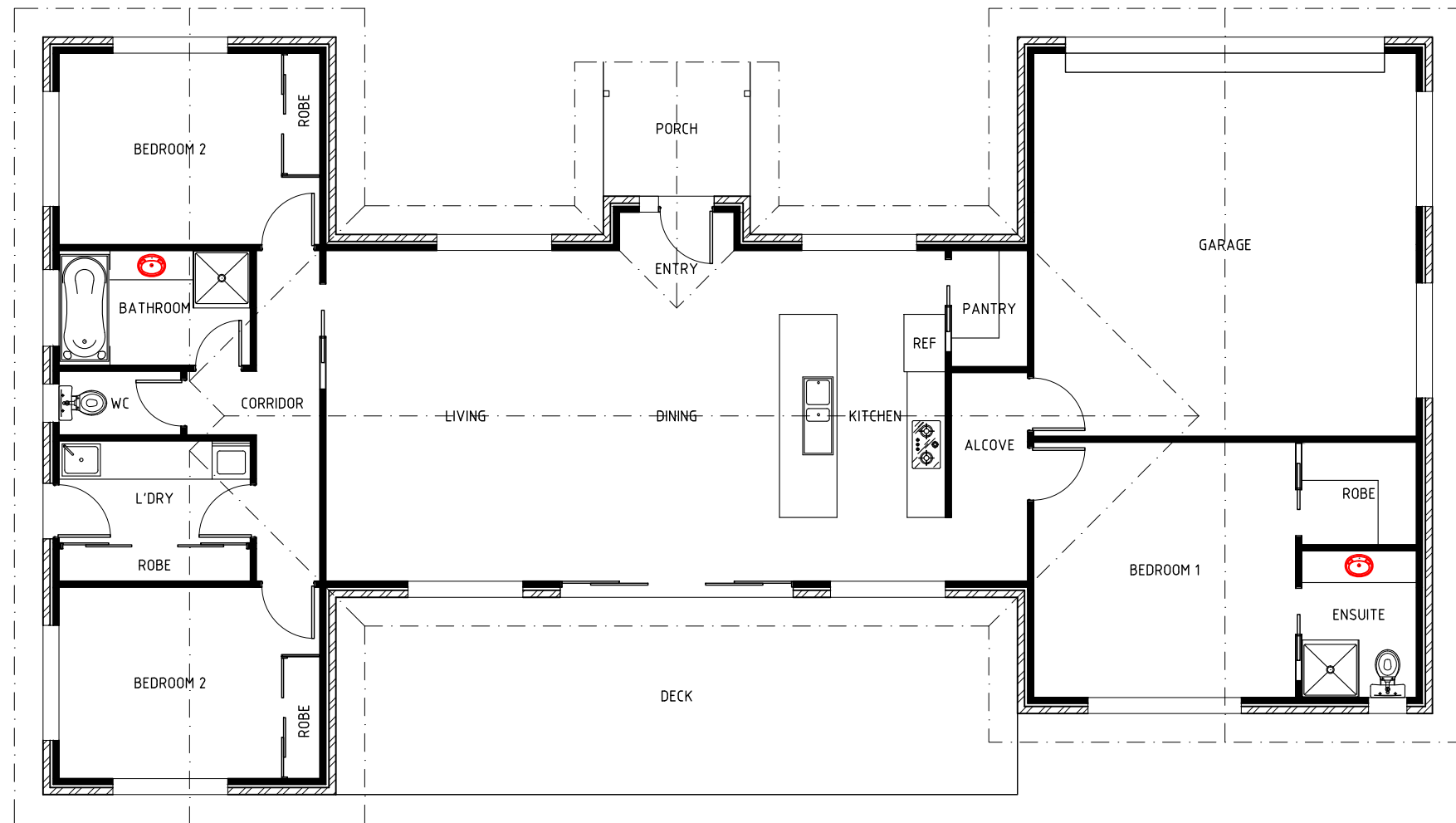
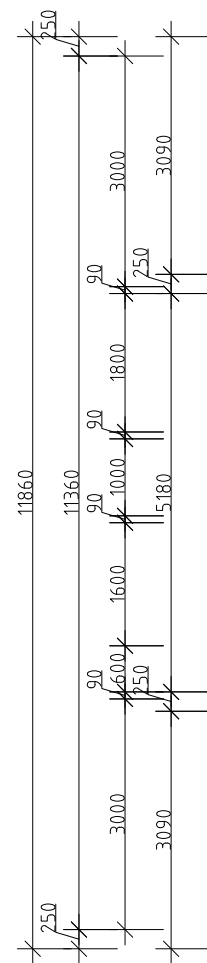
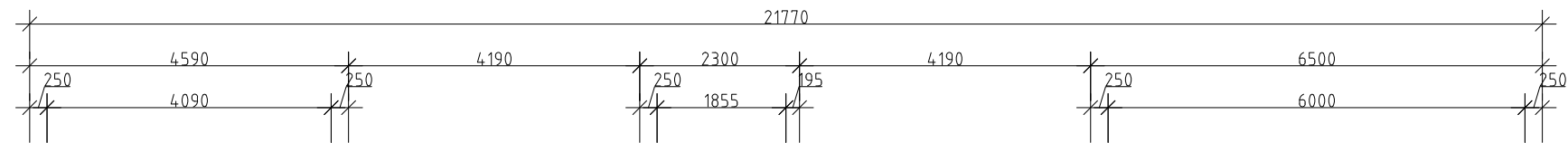
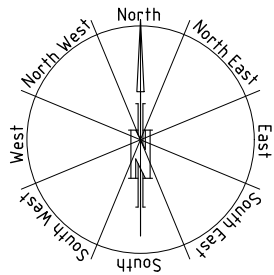


Brighton
going places



NOTE: SEE WASTE WATER REPORT BY
GES PTY LTD FOR SUB SURFACE
IRRIGATION AREAS AND LOCATIONS

DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION



AREA
Residence: 185.31m²
Deck: 33.00m²
Porch: 4.83m²

PRELIMINARY PLANS OF RESIDENCE ONLY; SUBJECT TO CHANGE

DEVELOPMENT DRAWINGS ONLY
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PROPOSED SHED / TEMPORARY DWELLING FOR
BRODIE LANE AT
2 FLORENCE COURT, PONTVILLE

PLAN

SCALE 1:100

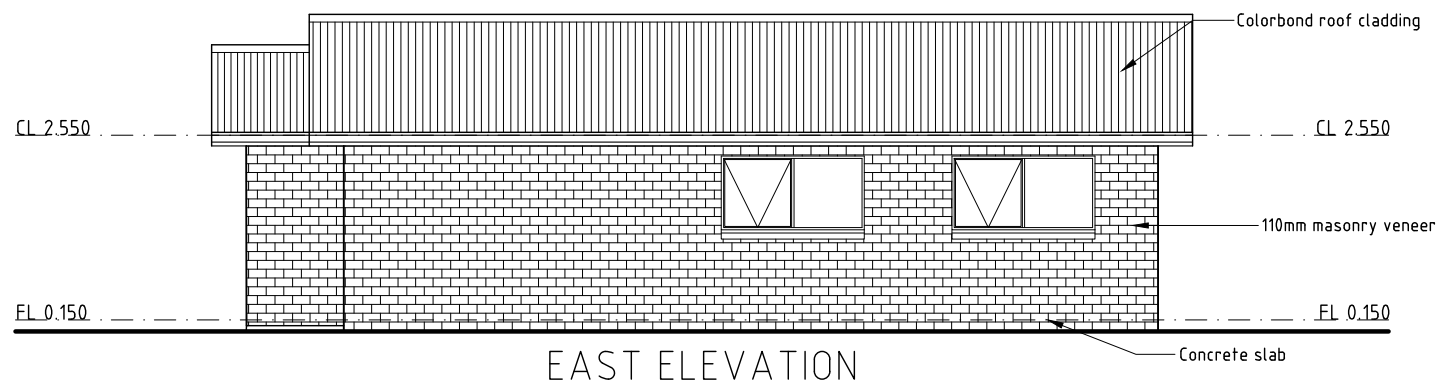
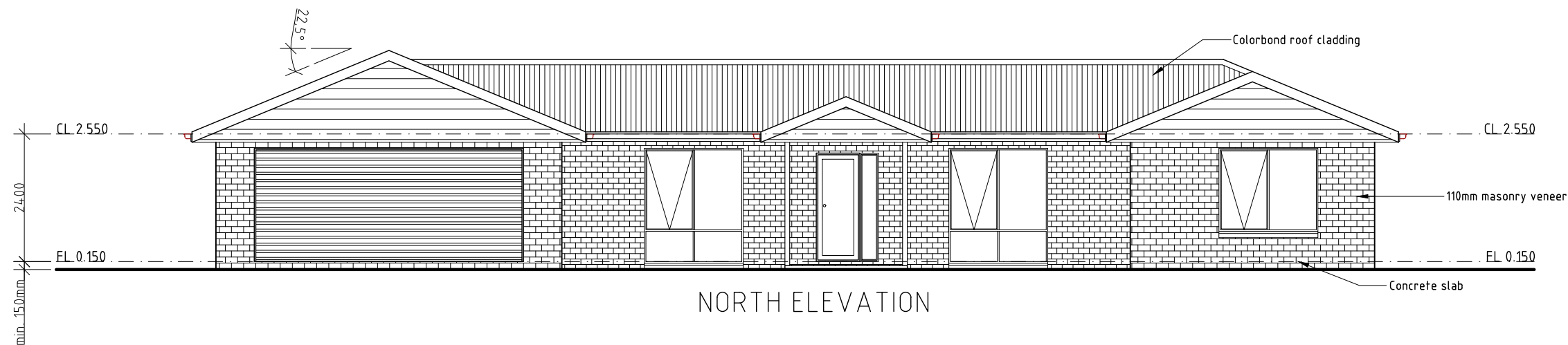
AMENDED

DATE
02/12/22

DRAWING NO.
02 OF 07

DRAWN BY G Tilley
email: gtilley7@biapond.com
phone ph 0400 671 582

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PROPOSED SHED / TEMPORARY DWELLING FOR
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ELEVATIONS

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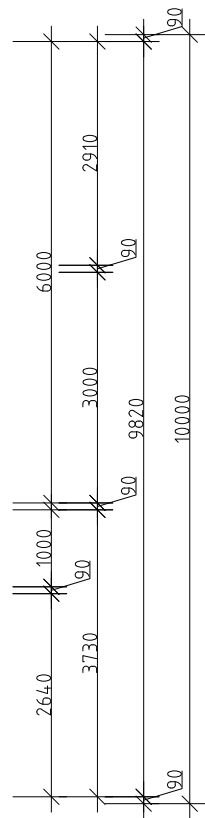
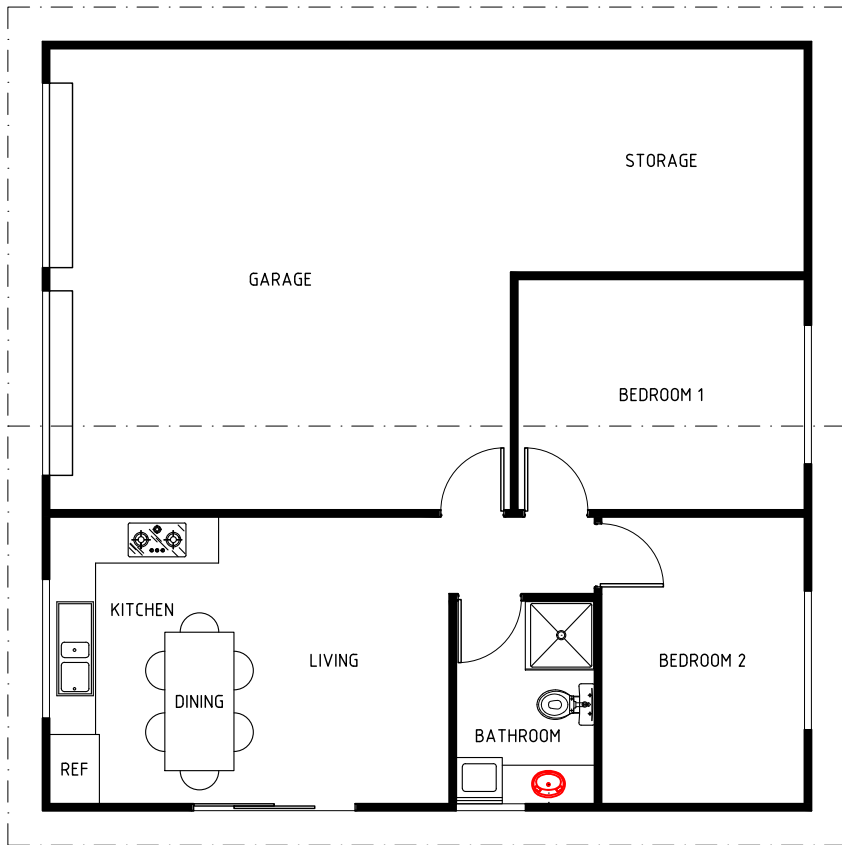
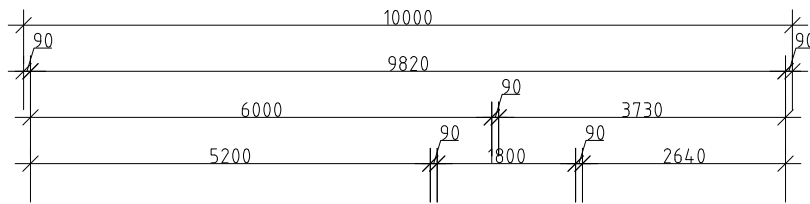
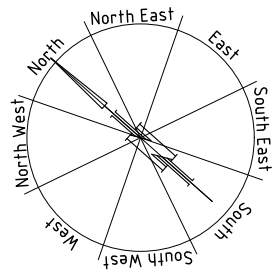
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AREA	
Non-habitable:	48.82m ²
Ancillary:	51.18m ²
Total:	100m ²

NOTE: PLANS TO BE READ IN
CONJUNCTION WITH SHED PLANS BY
FAIRDINKUM SHEDS

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BRODIE LANE AT
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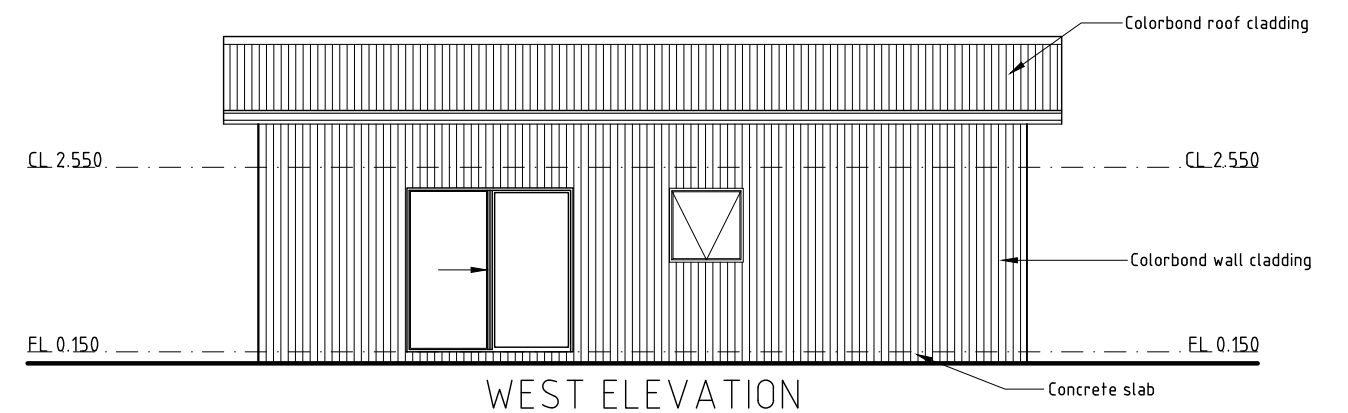
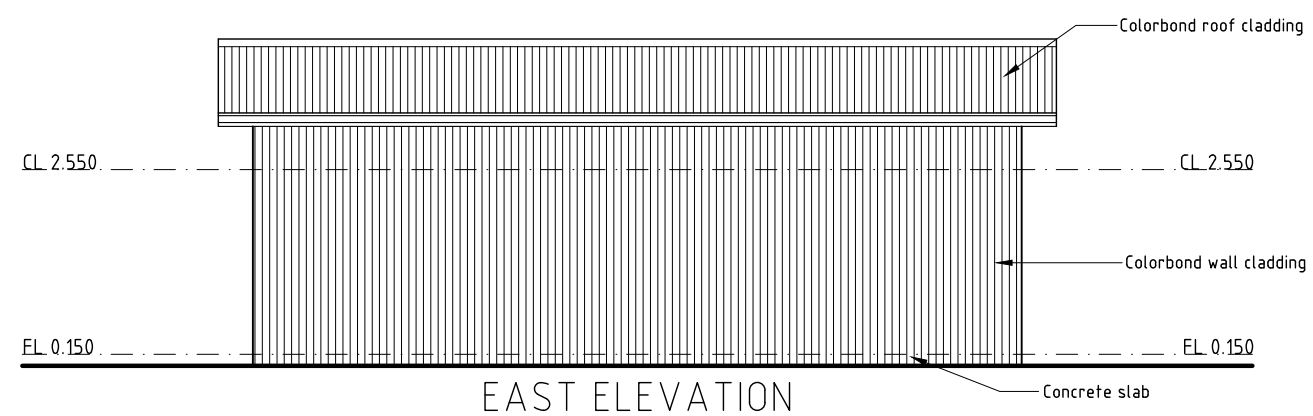
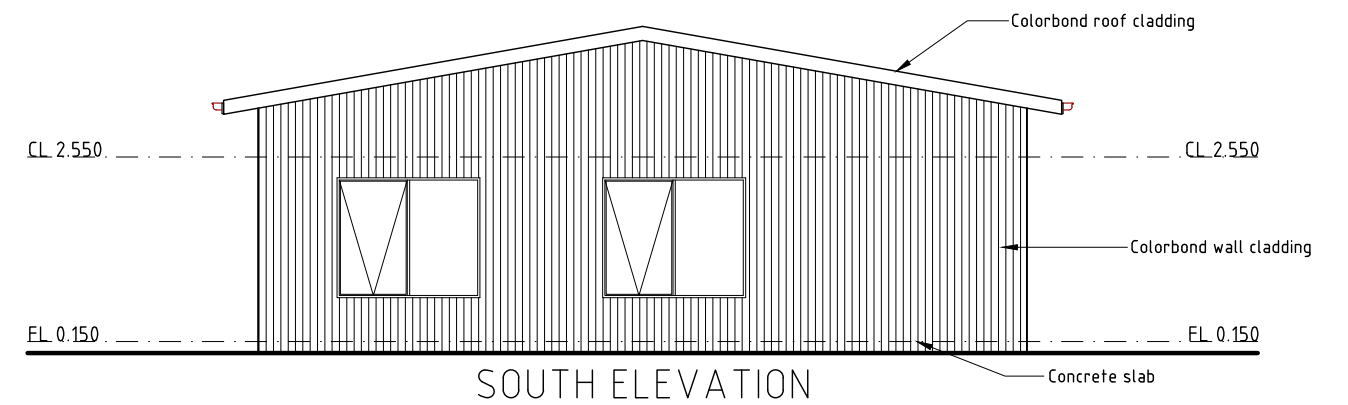
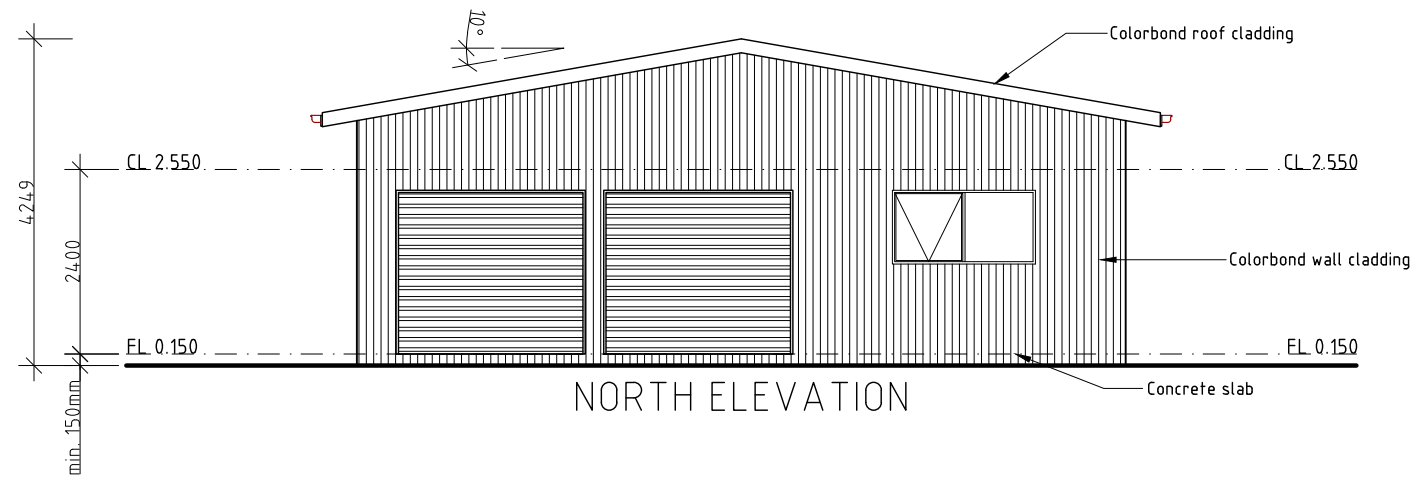
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WET AREAS (To comply with NCC 3.8.1.2 and AS3740

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	WALL/FLOOR JUNCTIONS	PENETRATIONS
Shower areas (Ensuite & Bathroom)					
Without hob or step-down	Waterproof floor in shower area. Membrane 'M01' Ceramic floor tiles.	Waterproof walls in shower area to min. 150mm above the floor substrate. Membrane 'M01' Water resistant walls in shower area to min. 1800mm above FFL of the shower. Ceramic tiles	Waterproof wall junctions within shower area. Membrane 'M01'	Waterproof wall/floor junctions within shower area. Membrane 'M01'	Waterproof floor penetrations in shower area with Membrane 'M01' Waterproof tap & spout penetrations with 'Waterbar' tap penetration flange & silicone.
With preformed shower base	N/A	Water resistant walls in shower area to min. 1800mm above FFL of the shower. Ceramic tiles.	Waterproof wall junctions within shower area. Membrane 'M01'	Waterproof wall/floor junctions within shower area. Membrane 'M01'	
Area outside shower area (Ensuite & Bathroom)					
For concrete and compressed fibre-cement sheet flooring	Min. water resistant floor of the room. Membrane 'M01' to entire floor of room. Ceramic floor tiles.	N/A	N/A	Waterproof wall/floor junctions Membrane 'M02'	N/A
Areas adjacent to baths and spas (Ensuite & Bathroom)					
For concrete and compressed fibre-cement sheet flooring & inserted baths & spas	Min. water resistant floor of the room. Membrane 'M01' to entire floor of room. Waterproof shelf area with waterstop under the bath lip. Membrane 'M01' Ceramic tiles.	(a) Min. 150mm high ceramic tile splashback to bath perimeter of room. (b) Ceramic tile upstand from floor level to underside of bath lip.	Water resistant junctions within 150mm above bath with white silicone (3xwalls).	Water resistant ceramic tile upstand to extent of bath.	Waterproof tap and spout penetrations in horizontal surface with 'Waterbar' tap penetration flange & silicone.
Other areas					
Laundries and WC	Water resistant floor of the room. Ceramic floor tiles	N/A	N/A	Water resistant wall/floor junctions. Membrane 'M02' & ceramic tile skirting.	N/A
Walls adjoining sink, basin, or laundry tub	N/A	Water resistant to min.150mm above the vessel, for the extent of the vessel, where the vessel is within 75mm of a wall. Ceramic tiles.	Waterproof wall junctions where a vessel is fixed to a wall with silicone	N/A	Waterproof tap & spout penetrations if within splashback with 'Waterbar' tap penetration flange & silicone.
KEY: Membrane 'M01' = Dunlop (or similar) approved shower waterproofing kit complete with reinforcing mat, primer, neutral cure silicone & membrane to manufacturers recommendations. Membrane 'M02' = Dunlop (or similar) approved water based acrylic polyurethane membrane applied by either brush or roller in a consistent thickness to manufacturers recommendations.					

Shower screens
1800H Semi-frameless shower screens to comply with BCA Table 3.6.5. & AS1288. Minimum 4mm thick Grade A toughened safety glass, labelled to comply with industry standards.

WATERPROOFING OF UNENCLOSED SHOWERS

FLOOR: Waterproof entire floor

WALLS: Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.

WALL JUNCTIONS AND JOINTS: Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction

PENETRATIONS: Waterproof all penetrations

AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB;

FLOORS:Water resistant to entire floor

WALL JUNCTIONS AND JOINTS; Waterproof all wall/floor junctions
Where a flashing is used the horizontal leg must be not less than 40mm

AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR;

FLOORS: Waterproof entire floor

WALL JUNCTIONS AND JOINTS; Waterproof all wall/floor junctions
Where a flashing is used the horizontal leg must be not less than 40mm

WATERPROOFING

Enclosed shower with preformed shower base

Walls to be water resistant to a height of not less than 1800mm above finished floor level

Waterproof internal & external corners and horizontal joints within a height of 180mm

above the floor level with not less than 40mm width either side of the junctions

Waterproof all penetrations

HYDRAULIC NOTES:

1. All plumbing shall be in accordance with the Tasmanian plumbing regulations, AS3500 and to the local authority approval.

2. The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.

3. Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc unless otherwise approved.

4. Refer to designers drawings and fixture and equipment technical specifications for pipework connections.

5. Make good all disturbed surfaces to match existing

6. Remove all excess soil and surplus materials from site.

7. All plumbing to be installed by a licenced Plumber.

Surface drainage to conform with
BCA Vol2 Part 3.1.2.2. NOTE: 50mm fall required over
the first 1 meter from the building

Install inspection openings at major bends for stormwater and all low points of downpipes.
All plumbing & drainage to be in accordance with local Council requirements.
Provide surface drain to back of bulk excavation to drain levelled pad prior to commencing footing excavation.
Stormwater line (100mm UPVC)
Sewer line (100mm UPVC)

Services

The heated water system must be designed and installed with Part B2 of NCC Volume Three - Plumbing Code of Australia.

Thermal insulation for heated water piping must:

- a) be protected against the effects of weather and sunlight; and
- b) be able to withstand the temperatures within the piping; and
- c) use thermal insulation in accordance with AS/NZS 4859.1

Heated water piping that is not within a conditioned space must be thermally insulated as follows:

1. Internal piping

- a) All flow and return internal piping that is -
 - i) within an unventilated wall space
 - ii) within an internal floor between storeys; or
 - iii) between ceiling insulation and a ceiling

Must have a minimum R-Value of 0.2 (ie 9mm of closed cell polymer insulation)

2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space

- a) All flow and return piping
- b) Cold water supply piping and Relief valve pipingwithin 500mm of the connection to central water heating system

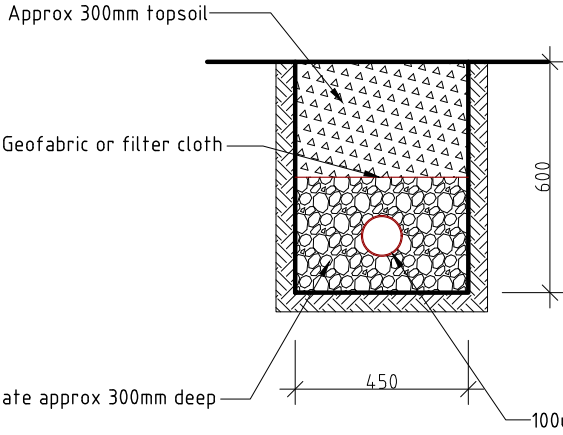
Must have a minimum R-Value of 0.45 (ie 19mm of closed cell polymer insulation)

3. Piping located outside the building or in an unenclosed building sub-floor or roof space

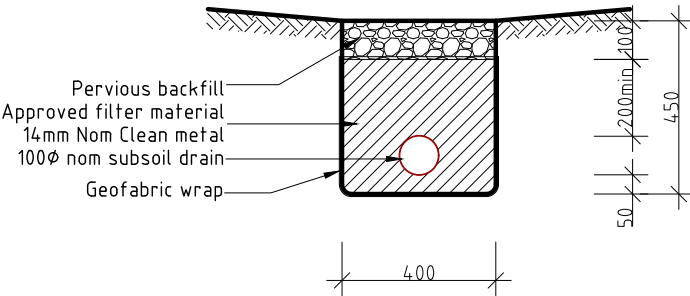
- a) All flow and return piping
- b) Cold water supply piping and Relief valve pipingwithin 500mm of the connection to central water heating system

Must have a minimum R-Value of 0.6 (ie 25mm of closed cell polymer insulation)

Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements



ABSORPTION TRENCH (TYPICAL)



TYPICAL AGG DRAIN DETAIL

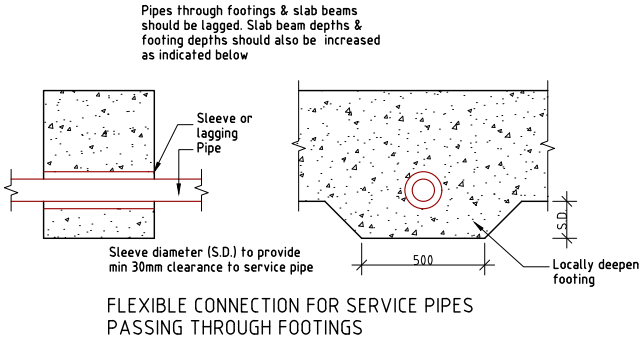
NOTE: All materials and construction to comply with AS3500.3.2003

TRENCH WIDTHS	
Pipe diameter	Min trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	Ø plus 300mm

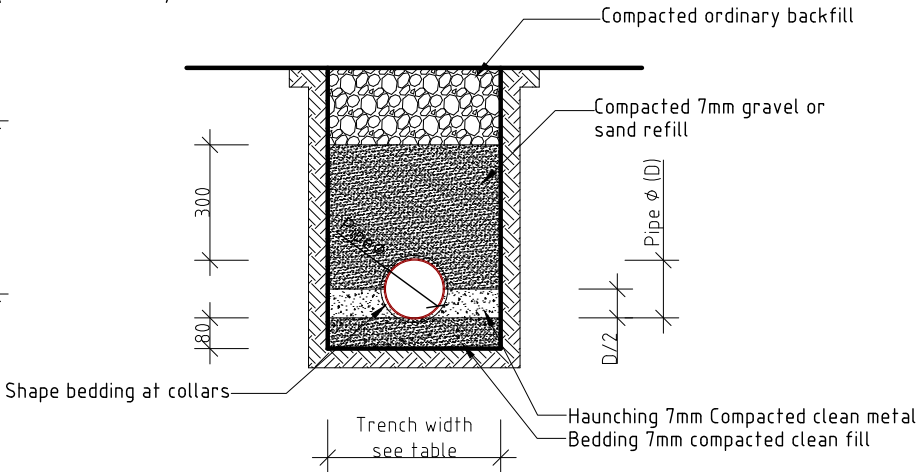
Hot & Cold water nominal diameters	
Branch off takes	Min DN20
Max off take length 6m	DN18
Max off take length 3m	DN15
Max off take length 1m	DN10

Insulation Schedule		
Heated water pipes		
Type	Size Range	Insulation
Circulating Line	32-40	25mm Rockwool with foil wrap
Branch Line Offtake	20-25 18	19mm Bradflex 13mm Bradflex
Cold water pipes exposed		
Type	Size Range	Insulation
All	>20	13mm Bradflex
Other cold watere pipes		
Type	Size Range	Insulation
All	All	Not required

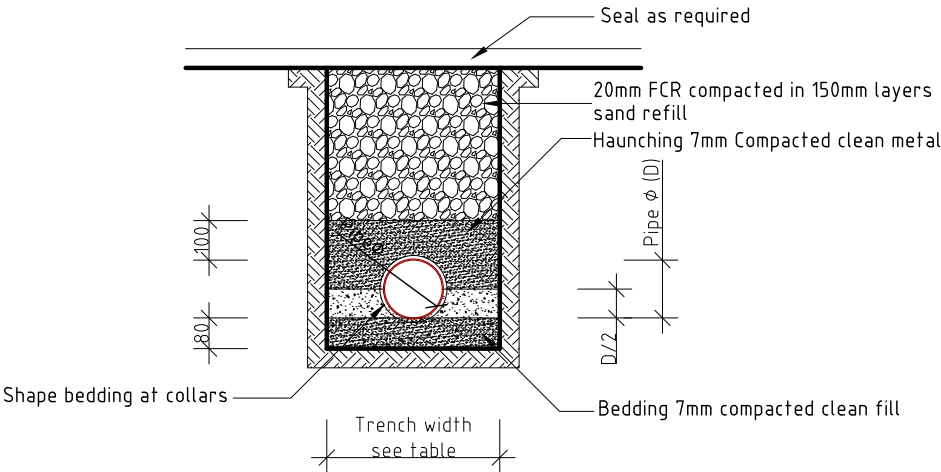
NOTE: Water pipes associated directly with plant equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



FLEXIBLE CONNECTION FOR SERVICE PIPES PASSING THROUGH FOOTINGS



TYPICAL PIPE TRENCH DETAIL
NON-TRAFFICABLE AREAS



TYPICAL PIPE TRENCH DETAIL
TRAFFICABLE AREAS

IMPORTANT NOTICE FOR ATTENTION OF OWNER.
The owner's attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owner's responsibility to maintain the site in accordance with this document.

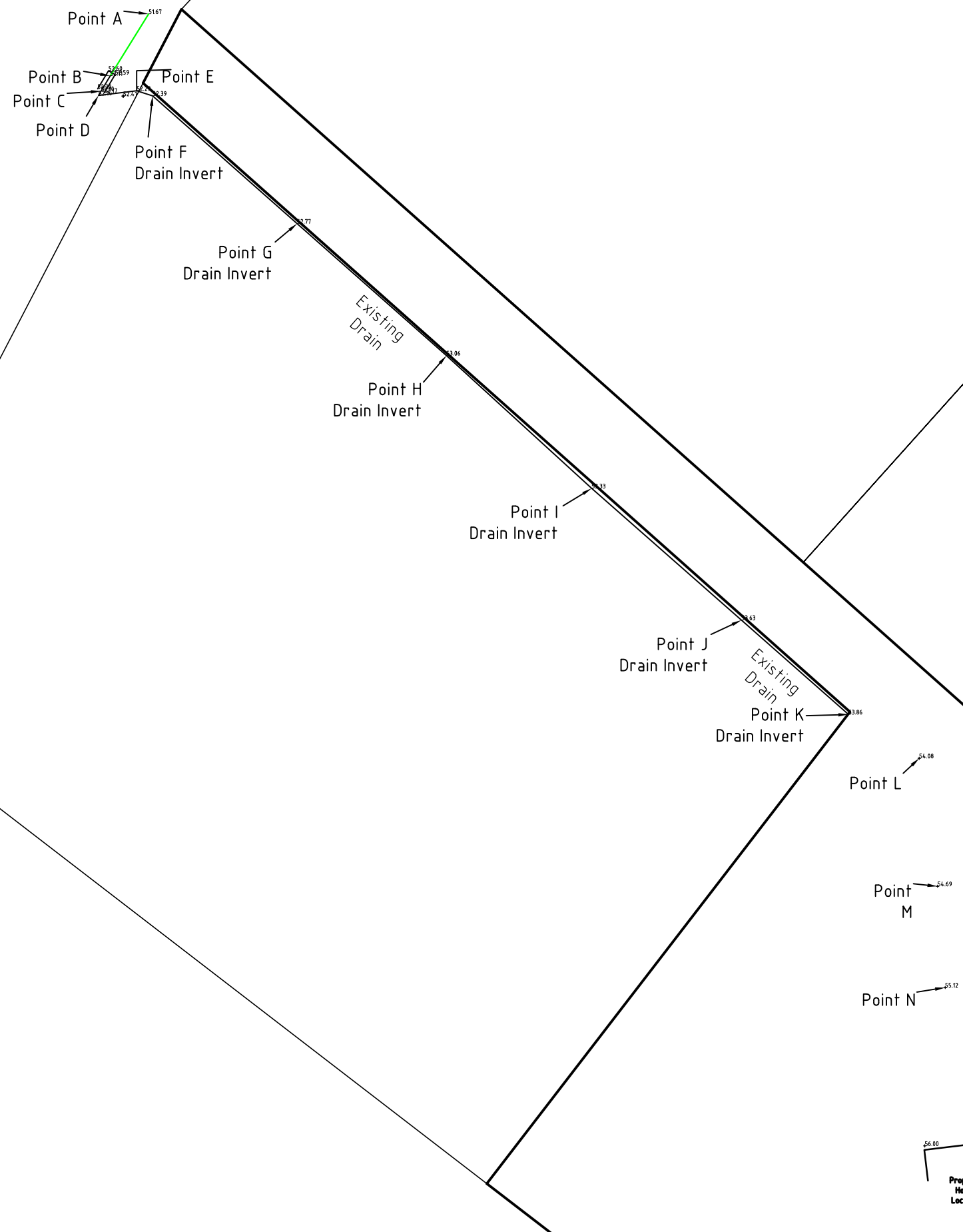
Point A
Headwall SW
Pipe
Inv RL:51.67

Point B
Headwall SW
Pipe
Inv RL:52.11

Point C
Drain Invert

Point D
Drain Invert

Point E
Drain Invert



SURVEY PLUS

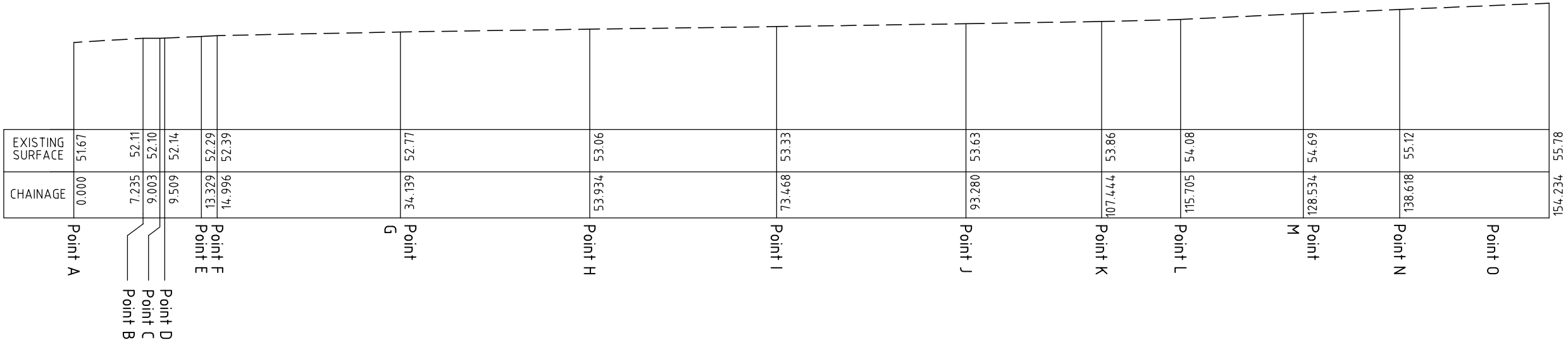
Address: 8 Amy Street, Moonah,
Tasmania, 7009
Phone: 6273 9831
Fax: 6273 8316
Email: admin@surveyplustas.com.au
Mail: PO Box 299, Moonah, Tas, 7009


Project:
DETAIL SURVEY

**2 FLORENCE COURT,
PONTVILLE**

Drawing:
SITE PLAN

Drafted by:	Approved By:
	JLD
Date:	Scale:
20-12-2022	1:500@A3
Project/Drawing No:	Revision:
SP22570-01	A





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Email: admin@surveyplustas.com.au
Mail: PO Box 299, Moonah, Tas, 7009

Project:
DETAIL SURVEY

**2 FLORENCE COURT,
PONTVILLE**

Drawing:
**LONGITUDINAL
SECTION**

Drafted by:
JLD

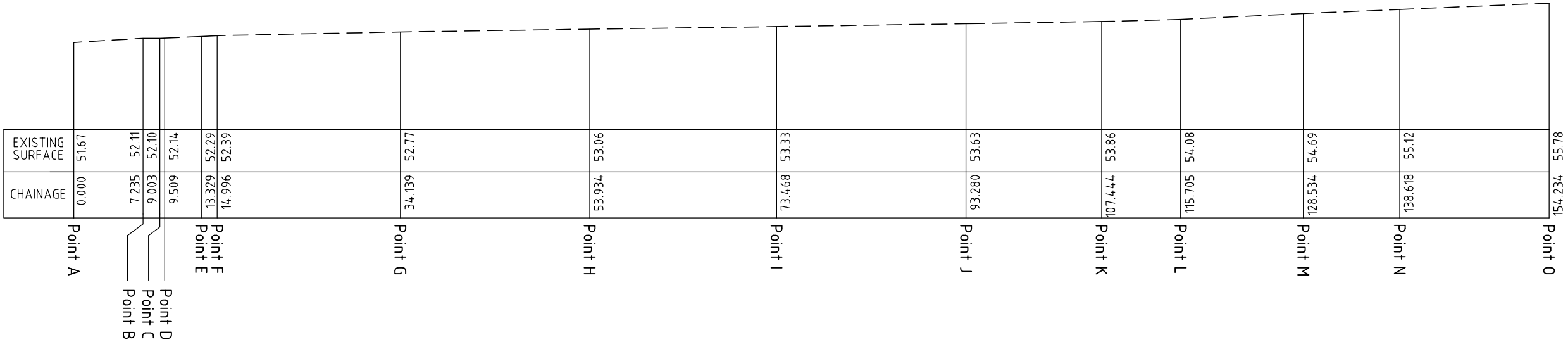
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SP22570-02

Approved By:
JLD

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1:500@A3

Revision:
A





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Project:
DETAIL SURVEY

**2 FLORENCE COURT,
PONTVILLE**

Drawing:
**LONGITUDINAL
SECTION**

Drafted by: JLD	Approved By: JLD
Date: 20-12-2022	Scale: 1:500@A3
Project/Drawing No: SP22570-02	Revision: A

