



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

DA2021/241

LOCATION OF AFFECTED AREA

UNIT 11, 3 STAPLES COURT, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING

THE APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON 1/12/2021. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au).

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
General Manager

**Brighton**  
going places

### GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

### DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

The structure has been designed to allow for less than 50% of the cross-section exposed to the wind under the roof to be blocked by goods or materials in accordance with AS/NZS1170.2 2011. Blocking more than 50 % of the cross - section under the roof with goods or materials will change the loads on the structure which have not been allowed for.

### ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

- \*Provision of Soils Report for the site and in the building area on which the building is to be erected
- \*Site/Drainage Plans
- \*Any other plans not covered by these engineering plans requested by the local Council or the authority

### BUILDING CONSTRUCTION REQUIREMENTS

The Purchaser/Owner is to be ensured that all building construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

### SLAB DETAILS - GENERAL

\* The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the bottom of the slab.

\* Pier Reinforcement: for any piers over 1100mm, deformed bar to within 100mm of base and minimum 75mm top cover. Minimum side cover 75mm, maximum 100mm. Rod to be caged horizontally at least twice and at a maximum of 300mm spacing. Tie with a minimum of 6mm diameter cage tie. Where pier diameter is less than 450mm diameter, use 4 N12. For diameters equal to and over 450mm, use 4 N16.

### Concrete Slab

- \* Footings and slabs, including internal and edge beams, must be founded on natural soil with a minimum allowable bearing capacity of 100kPa. Design covers soil classification A, S or M for a class 10a building.
- \* The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only.
- \* A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- \* Site conditions different to those specified require a modified design.
- \* Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- \* Designs are in accordance with AS 3600:2018
- \* All concrete to be in accordance with AS 3600:2018. Minimum 25 Mpa, with 80mm slump.
- \* Concrete should be cured for 7 days before commencing construction of the building.
- \* Refer to connection details.
- \* Saw construction joints to be 25mm deep x 5mm wide. Saw cuttings shall take place no later than 24 hours after pouring. Saw construction joints to be placed at a maximum spacing of 6.3m (in both the length and the span). Care should be taken to avoid construction cuts intersecting where any fixing to the slab is to be made.
- \* Where columns or end wall mullions have been removed, piers are not required.
- \* End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.
- \* The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.

### For Class A, S or M Sites

- \* Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover.

### BRACING NOTES

- \* Refer to Connection Details.
- \* All Cross Bracing is achieved with 1.2mm Strap G450.
- \* Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- \* Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:

- C150 - maximum 1800mm spacing
- C200, C250 - maximum 2200mm spacing
- C300 - maximum 2800mm spacing
- C350 - maximum 2800mm spacing
- C400 - maximum 2800mm spacing

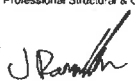
\* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

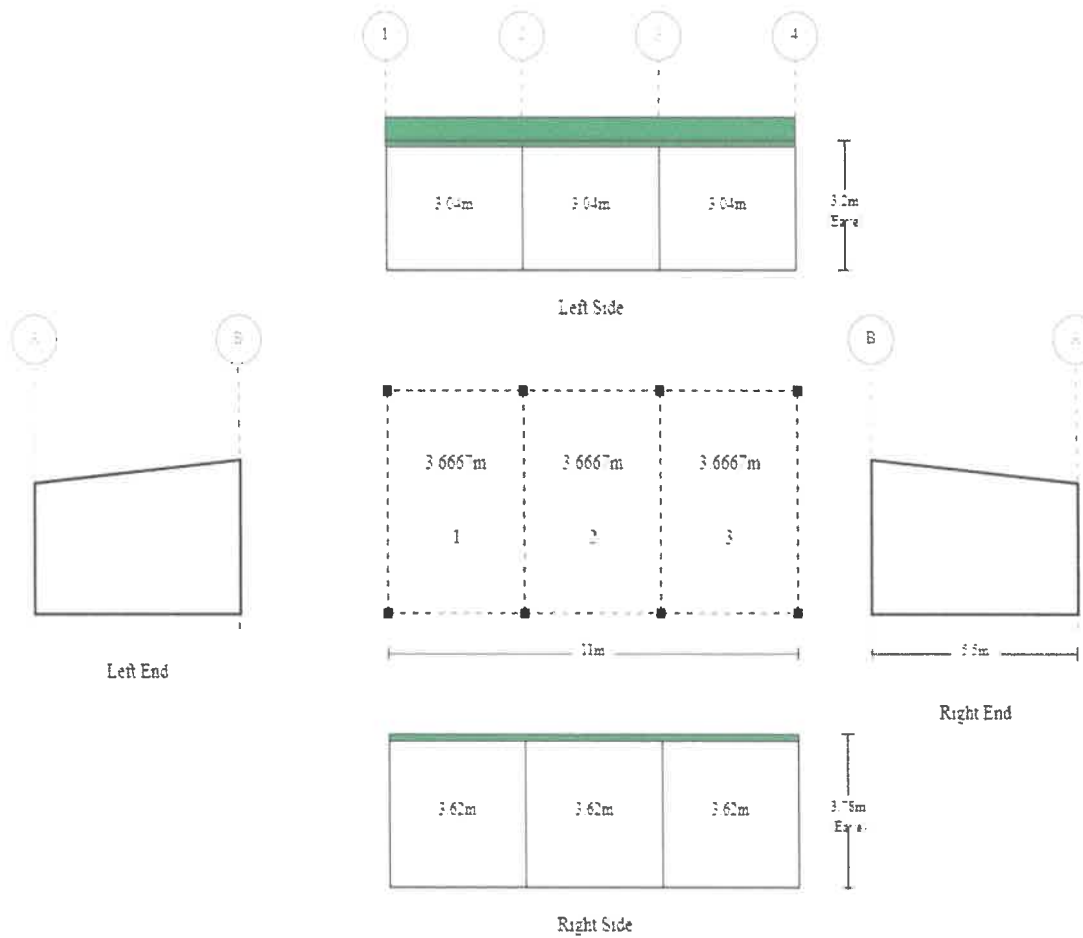
### BOLTS

- \* Unless otherwise nominated, all bolts are grade 4.6
- \* All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

### OTHER MATERIALS NOTES

- \* All Sheeting, Flashing and framing screws are Climaseal 4.
- \* All purlin material has Z350 zinc coating with minimum strength of 450MPa.

Revision	Date	Initial						
			Purchaser Name: Glen Edwards		General Notes		Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276690 QLD : RPLQ No. 24223; TAS : 185770492; VIC : EC07493; N.T : 303557ES; Practising Professional Structural & Civil Engineers	
			Site Address: 11/3 Staples Court Old Beach TAS 7017 Australia					
			Drawing # SHBT212002 - 2	Print Date: 10/05/2021				
					Page 1 of 1 ©Copyright Steek IP Pty Ltd		Seller: Sheds n Homes Hobart Tasmania Name: Dennis Paul Davidson (sole trader) Phone: (03) 6263 6546 Fax: Email: hobart@shedsnhomes.com.au	
							Signature:  J. Ronakson Date: 10/05/21	



Purchaser Name: Glen Edwards

Site Address: 11/3 Staples Court Old Beach TAS 7017 Australia

Drawing # SHBT212002 - 3

Print Date: 10/05/21

**Layout**  
 Not to Scale  
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 Practising Professional Structural & Civil Engineers

Signature:

J. Ronaldson

Date: 10/05/21

**MATERIAL SPECIFICATIONS**

For further information regarding the tabulated values shown, refer to the General Notes

**Building Dimensions**

Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	5,5	11,0001	6	3,2	A - B	1 - 4

**Portal Frame Elements**

Grid / Portal Number	1	2	3	4
Columns	A SHS1030	SHS1030	SHS1030	SHS1030
	B SHS1030	SHS1030	SHS1030	SHS1030
Rafters	A - B C15019	2C15012	2C15012	C15019

**Bay Section Elements**

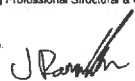
Grid / Bay Number		1	2	3	Maximum
Bay Widths			3,6667	3,6667	3,6667
Roof Purlins (refer to Purlin And Girt Plan)			C150	C150	C150
Roof Purlin Bridging (Rows)	A - Apex	YES (1)	YES (1)	YES (1)	
	Apex - B	-	-	-	
Roof Purlin Spacing (End)	A - B	1,106	1,106	1,106	1,200
Roof Purlin Spacing (Internal Spans)	A - B	1,106	1,106	1,106	1,200
Eave Purlin	A	C15019	C15019	C15019	
	B	C15019	C15019	C15019	
Side Girts Spacing (End)	A	0,06	0,06	0,06	1,510
	B	0,06	0,06	0,06	1,510
Side Girts Spacing (Internal)	A	0,06	0,06	0,06	1,510
	B	0,06	0,06	0,06	1,510

**Cladding Elements**

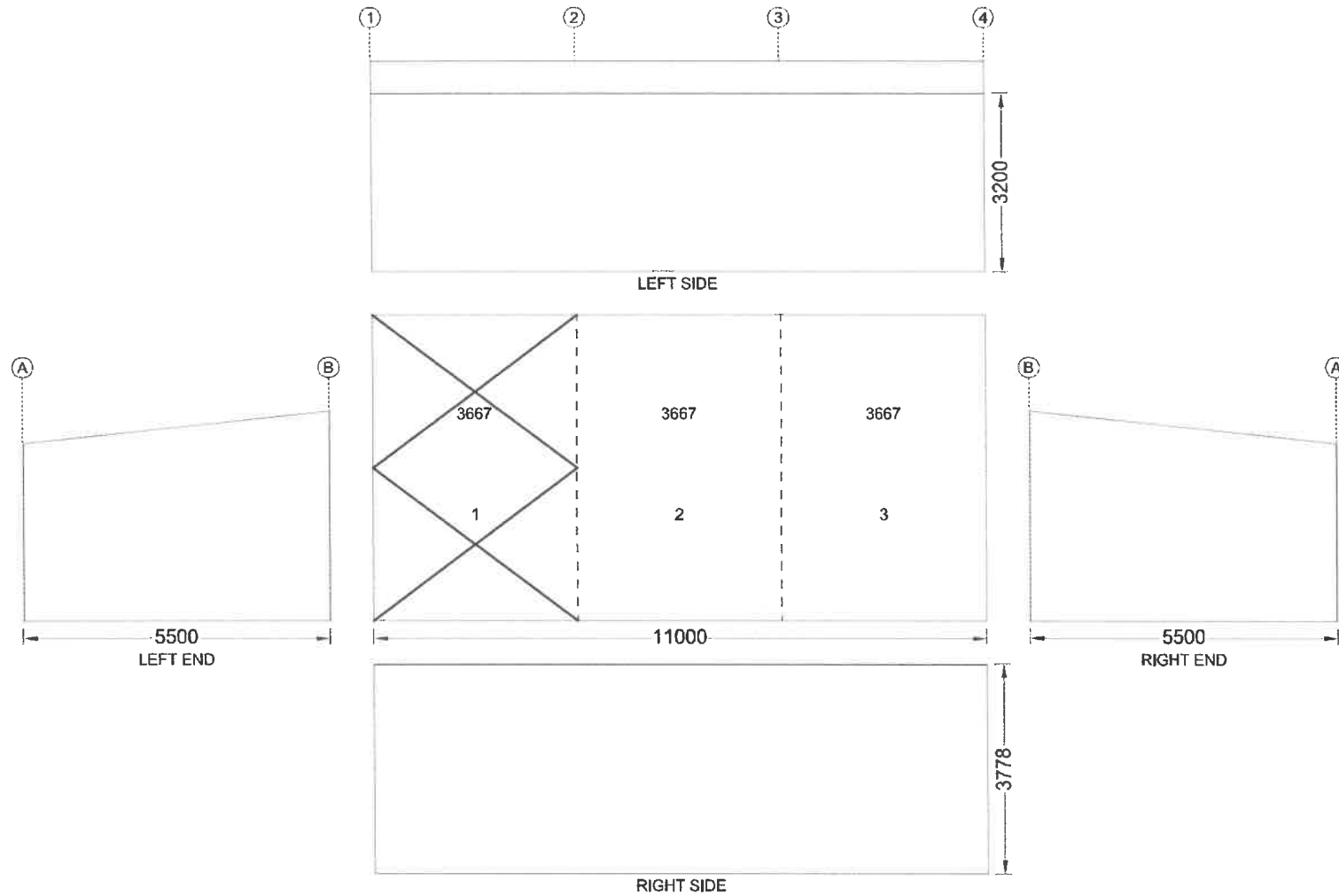
Category	Colour	Product
Roof Sheeting	COLORBOND® steel	TRIMCLAD® 0.42 BMT (0.47TCT)
Wall Sheeting	COLORBOND® steel	TRIMCLAD® 0.42 BMT (0.47TCT)

**Pier Sizes**

Adhesion (kPa)	Soil Description	Diameter (mm)	Depth - with Slab	
			BP1 (mm)	BP2 (mm)
0	Sandy Soil	300	450	450
		450	450	450
		600	450	450
25	Soft to Firm Clay	300	450	450
		450	450	450
		600	450	450
50	Stiff to Very Stiff Clay	300	450	450
		450	450	450
		600	450	450

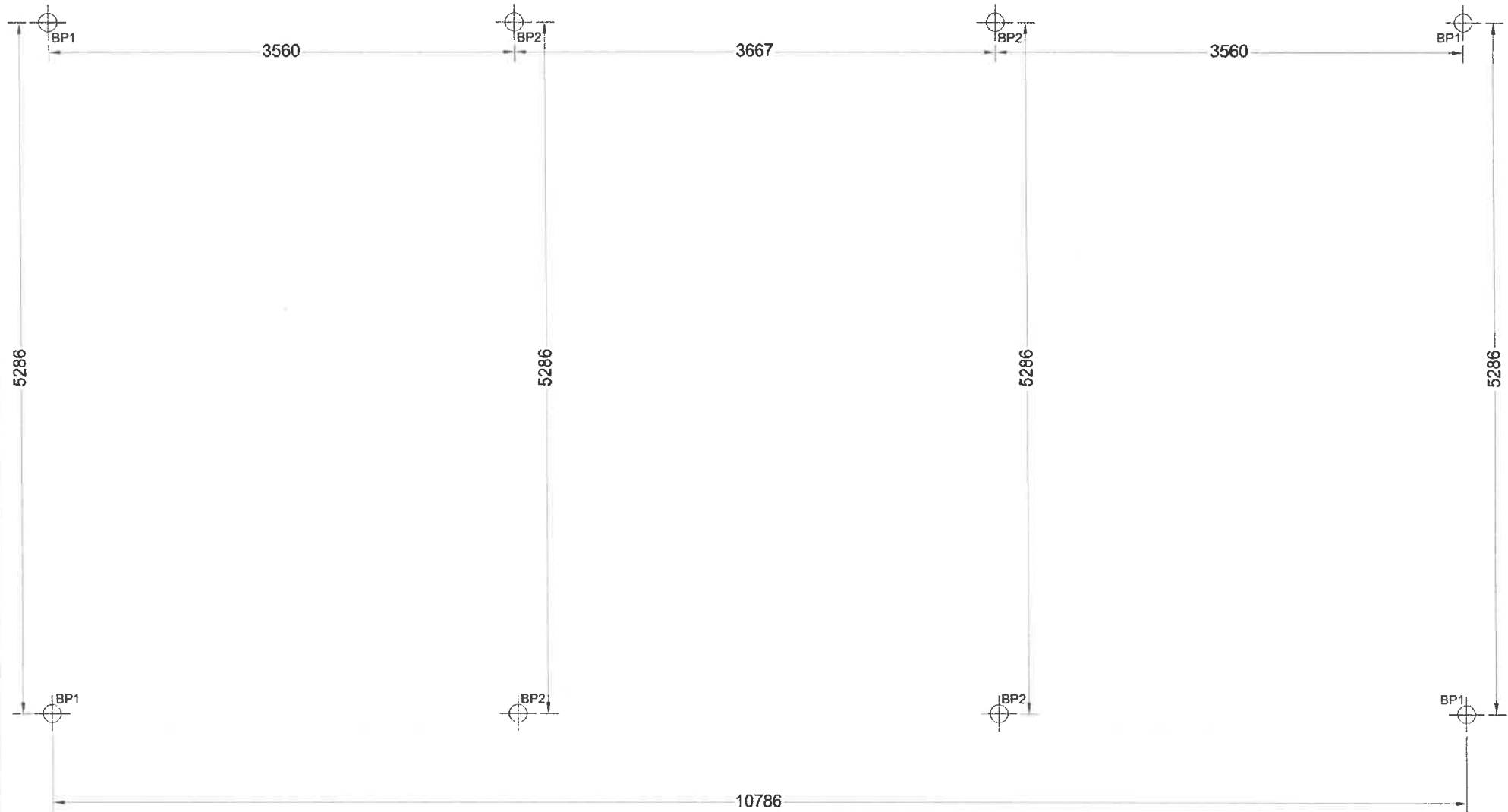
Revision	Date	Initial						
			Purchaser Name: Glen Edwards		Specification Sheet  Page 1 of 1 ©Copyright Steel IP Pty Ltd		Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276880 QLD : RPEQ No. 24223; TAS : 185770492; VIC : EC67493; N.T : 303567ES; Practising Professional Structural & Civil Engineers  Seller: Sherts n Homes Hobart Tasmania Name: Dennis Paul Davidson (sole trader) Phone: (031) 6263 6545 Fax: Email: hobart@shedsnhomes.com.au  Signature:  J. Ronaldson Date: 10/05/21	
			Site Address: 11/3 Staples Court Old Beach TAS 7017 Australia					
			Drawing # SHBT212002 - 4	Print Date: 10/05/2021				

Cross Bracing is achieved with 1.2mm Strap. Refer to Connection Details.



Revision	Date	Initial	Purchaser Name: Glen Edwards		<b>Bracing</b>  NOT TO SCALE  Page 1 of 1 ©Copyright Stealx IP Pty Ltd	Seller: Sheds n Homes Hobart Tasmania Name: Dennis Paul Davidson (sole trader) Phone: (03) 6283 8545 Fax: Email: hobart@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : EC67493; N.T : 30355/ES; Practising Professional Structural & Civil Engineers
			Site Address: 11/3 Staples Court Old Beach TAS 7017 Australia				
			Drawing # SHBT212002 - 5	Print Date: 10/05/2021			
			Signature: <i>J. Ronaldson</i> J. Ronaldson Date: 10/05/21				

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.  
Refer to Material Specifications Plan for BP dimensions.



Revision	Date	Initial	Purchaser Name: Glen Edwards	
			Site Address: 11/3 Staples Court Old Beach TAS 7017 Australia	
			Drawing # SH8T212002 - 6	Print Date: 10/05/2021

**Concrete Piers**  
 PIER MEASUREMENT ONLY  
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Signature: *J. Ronakton* J. Ronakton  
 Date: 10/05/21

Purchaser Name: Glen Edwards

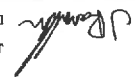
Slab Address: 11/3 Seijas Court Old Beach TAS 7017 Australia

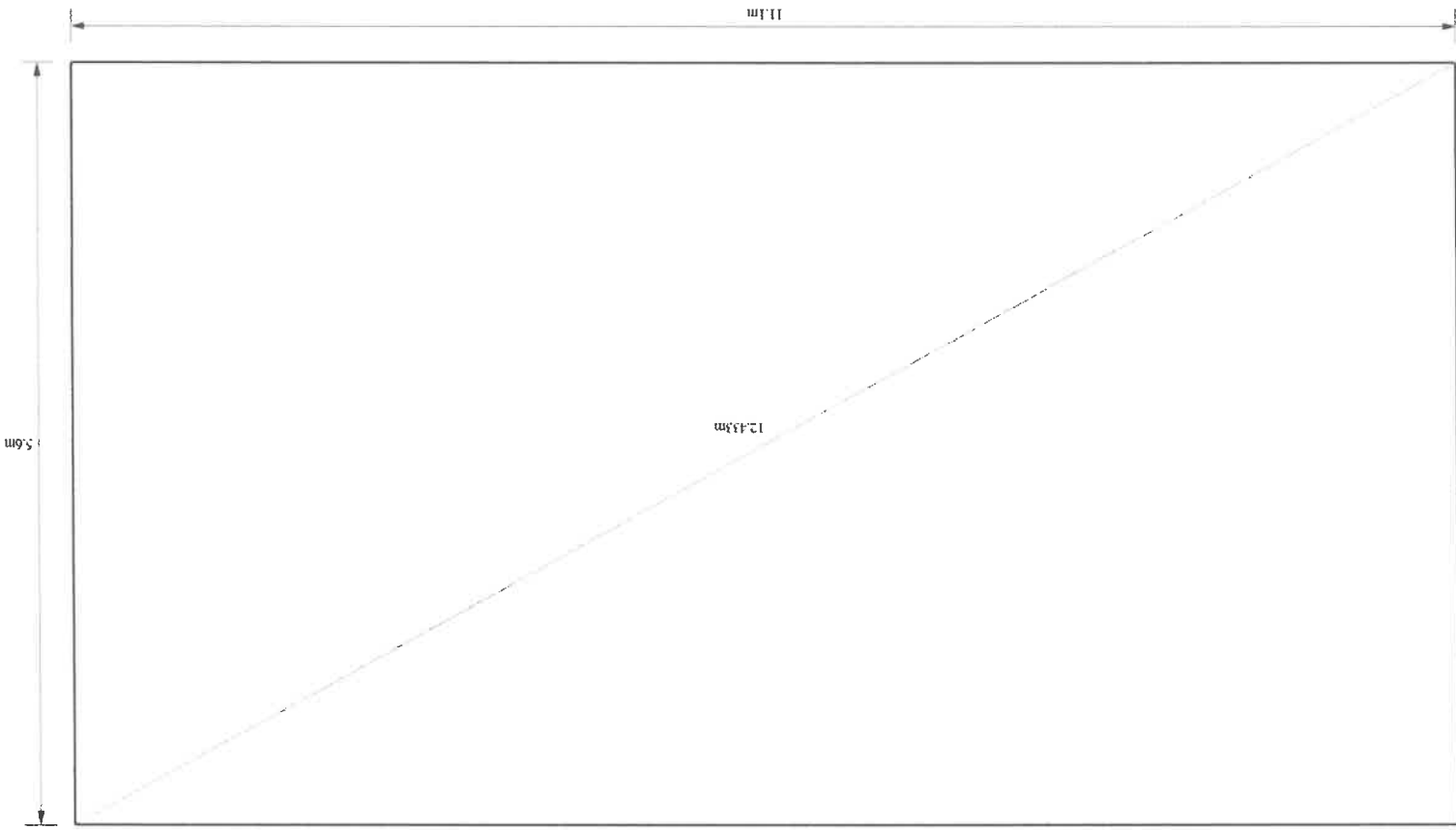
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Drawing # SHB1212002 - 7

**Slab Dimensions**  
Also refer to Concrete Plans Plan  
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QLD : RPECO No. 24223, TAS : 185770192, VIC : EC87493, NT : 303557ES;  
Practising Professional Structural & Civil Engineers  
J. Foudakion  
Signature:   
Date: 10/05/21



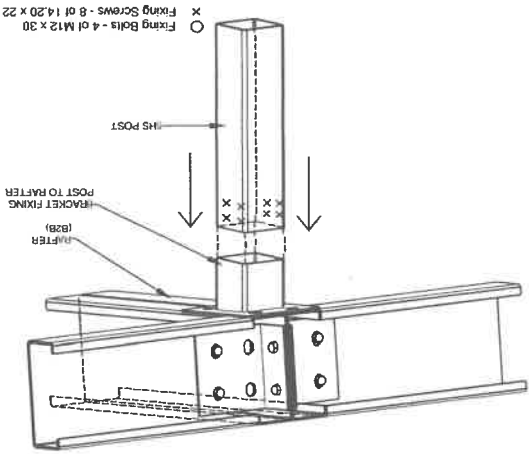
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Connection Details  
 Not to Scale  
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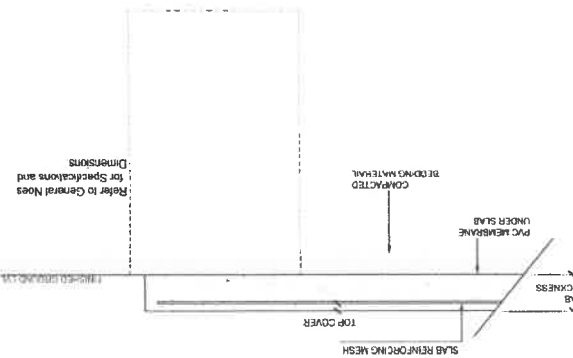
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 Email: hoodan@slacksnhomes.com.au

Acen Engineering Group PTY LTD  
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 ME Aust. (Registered NER Structural) 527680  
 CLD - RFCD No. 24223 TMS : 185770492 MC : E057483 NT : 303557ES  
 Prudising Professional Structural & Civil Engineers  
 J. Ronkston  
 Date: 10/05/21

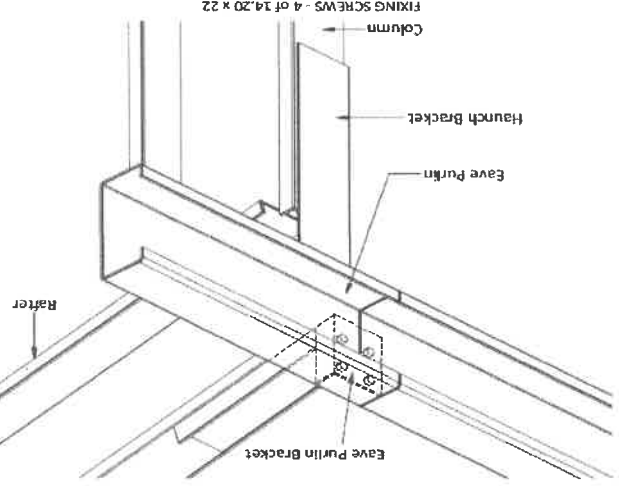
FLATROOF MID PORTAL B2B RAFTER- POST  
 CONNECTION DETAIL-C150



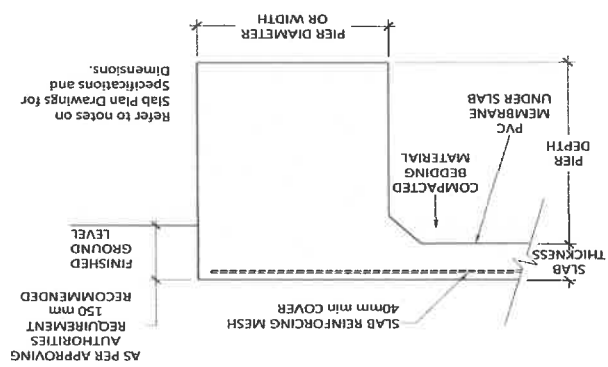
SLAB DETAIL BETWEEN PIERS  
 (Class A, S & M)



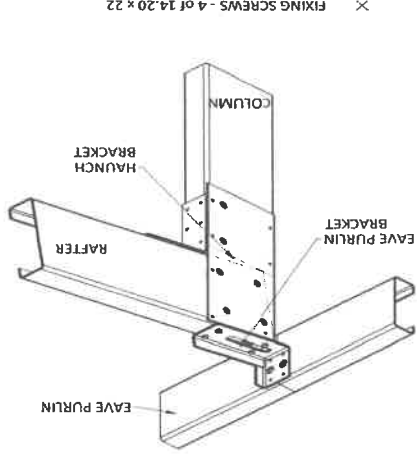
EAVE PURLIN TO EAVE PURLIN BRACKET



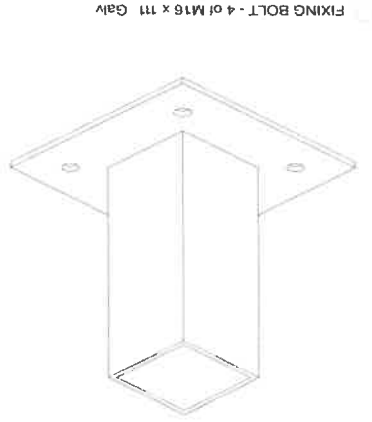
SLAB AND PIER DETAIL



EAVE PURLIN BRACKETS - 4 of 14.20 x 22

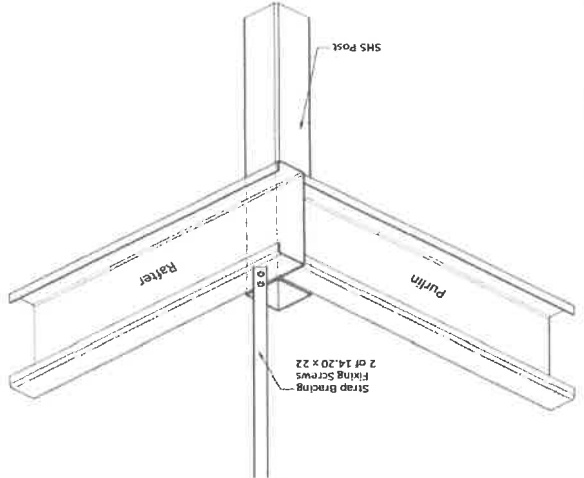


COLUMN BASE PLATE - CARPORT

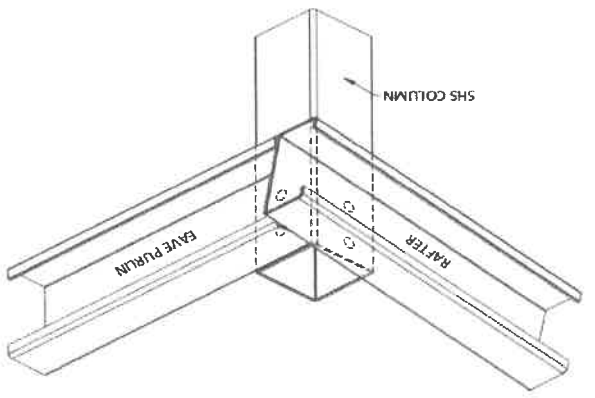




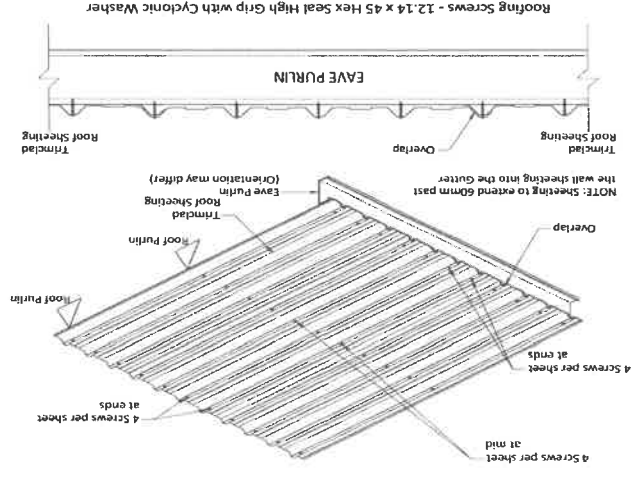
**BRACING CONNECTION DETAIL**



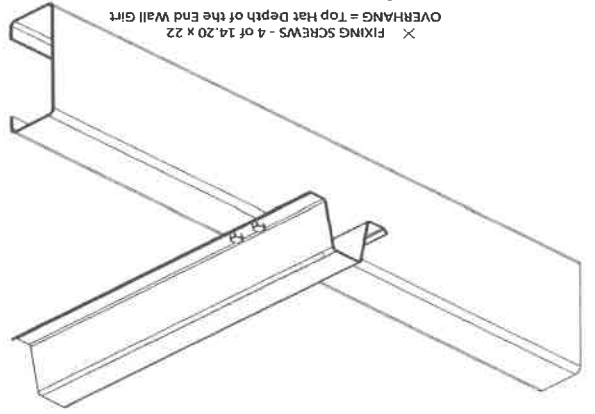
**COLUMN RAFTER/EAVE CONNECTION**  
 C150 - 6"  
 FIXING BOLTS - 4 of M12 x 30



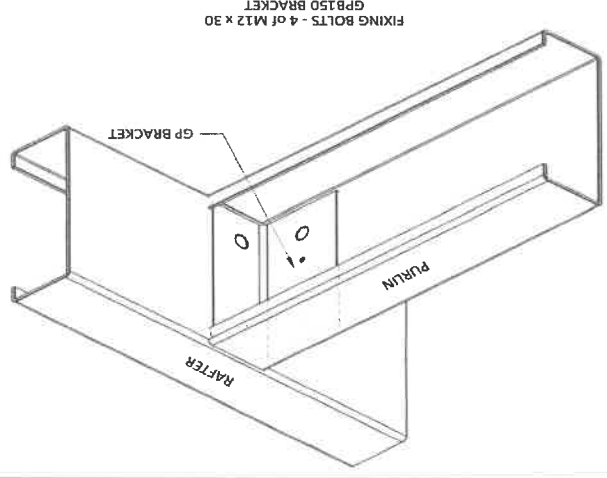
**TRIMCLAD ROOF SHEET FIXING**



**TOP HAT - SINGLE COLUMN OR RAFTER**  
 PURLIN & SIDE GIRT END WALL FIXING



**PURLIN RAFTER CONNECTION - C150**









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