



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA 2020 / 00310

LOCATION OF AFFECTED AREA

**58 CARTWRIGHT STREET,
BRIGHTON**

DESCRIPTION OF DEVELOPMENT PROPOSAL

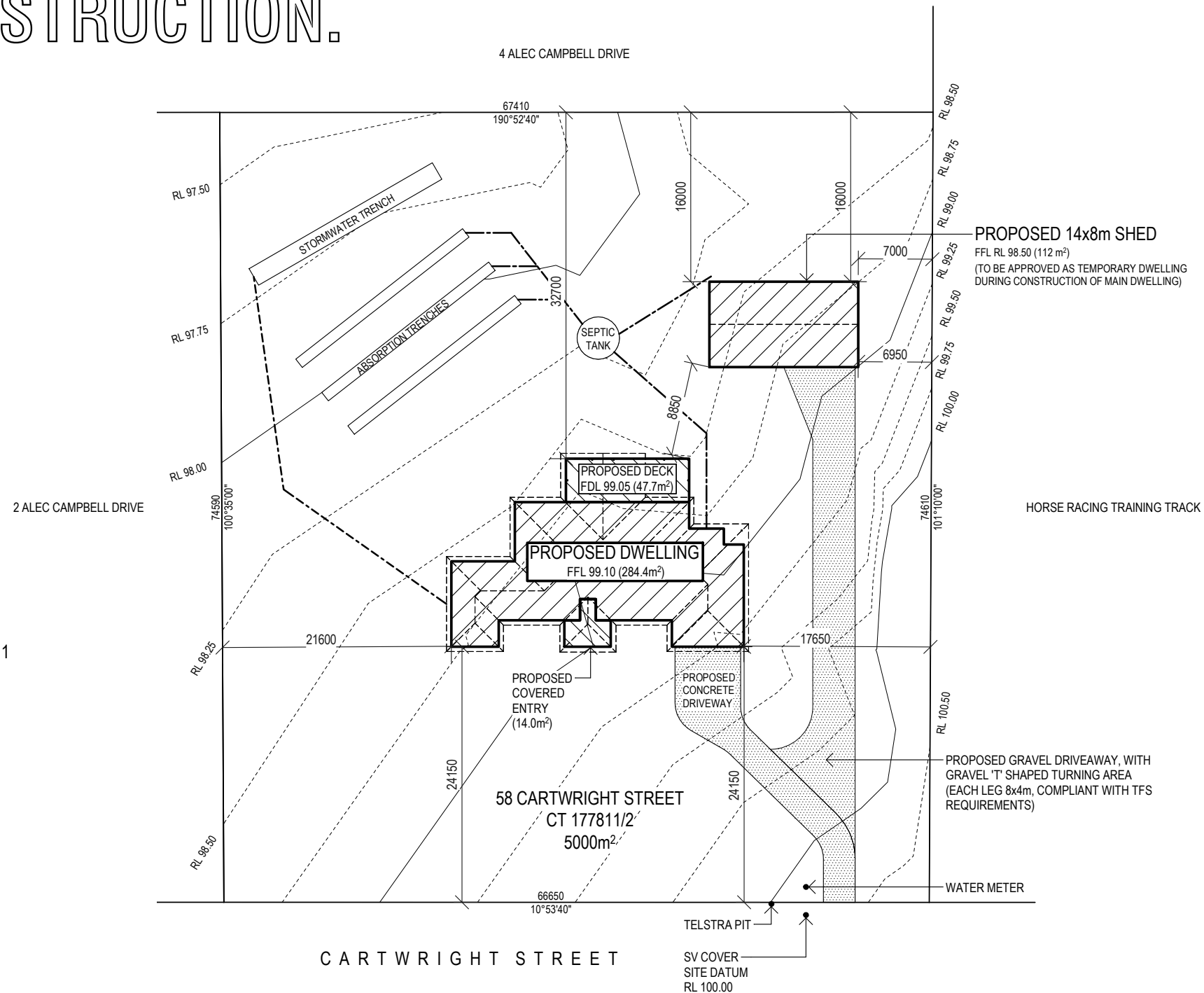
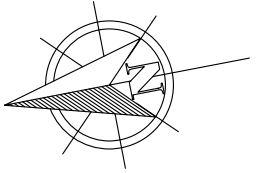
**OUTBUILDING (INCLUDING
TEMPORARY DWELLING)**

THE APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **28/09/2020** ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
GENERAL MANAGER

Brighton
going places

PRELIMINARY DRAWING FOR INFORMATION ONLY. NOT FOR CONSTRUCTION.



SITE DATA:

LAND TITLE REF. No. : LOT 2 ON SEALED PLAN 177811
 CLIMATE ZONE : ZONE 7
 DESIGN WIND SPEED : ASSUMED 'N3'
 SOIL CLASSIFICATION : ASSUMED 'H'
 BAL RATING : BAL 12.5 (TBA)
 PENDING ASSESSMENT AND REPORT BY SUITABLY QUALIFIED PERSON.

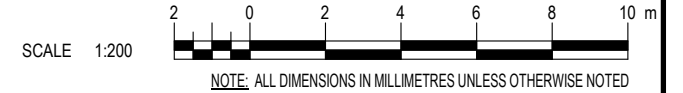
PROPOSED BUILDING AREAS:

GROUND FLOOR : 284.4 m²
 DECK : 47.7 m²
 COVERED ENTRY : 14.0 m²
 SHED : 112.0 m²

SITE COVERAGE:

LOT SIZE : 5000.0 m²
 TOTAL FOOTPRINT : 458.1 m²
 SITE COVERAGE : 9.2 %

SITE PLAN
SCALE 1 : 500 @ A3



REV.	DESCRIPTION
0	ISSUED FOR CLIENT REVIEW, 17-8-2020

REFERENCE	
SITE PLAN (NOT USED)	GUNTHER & POST-001
FLOOR PLAN	GUNTHER & POST-002
ELEVATIONS 1 OF 2	GUNTHER & POST-003
ELEVATIONS 2 OF 2	GUNTHER & POST-004

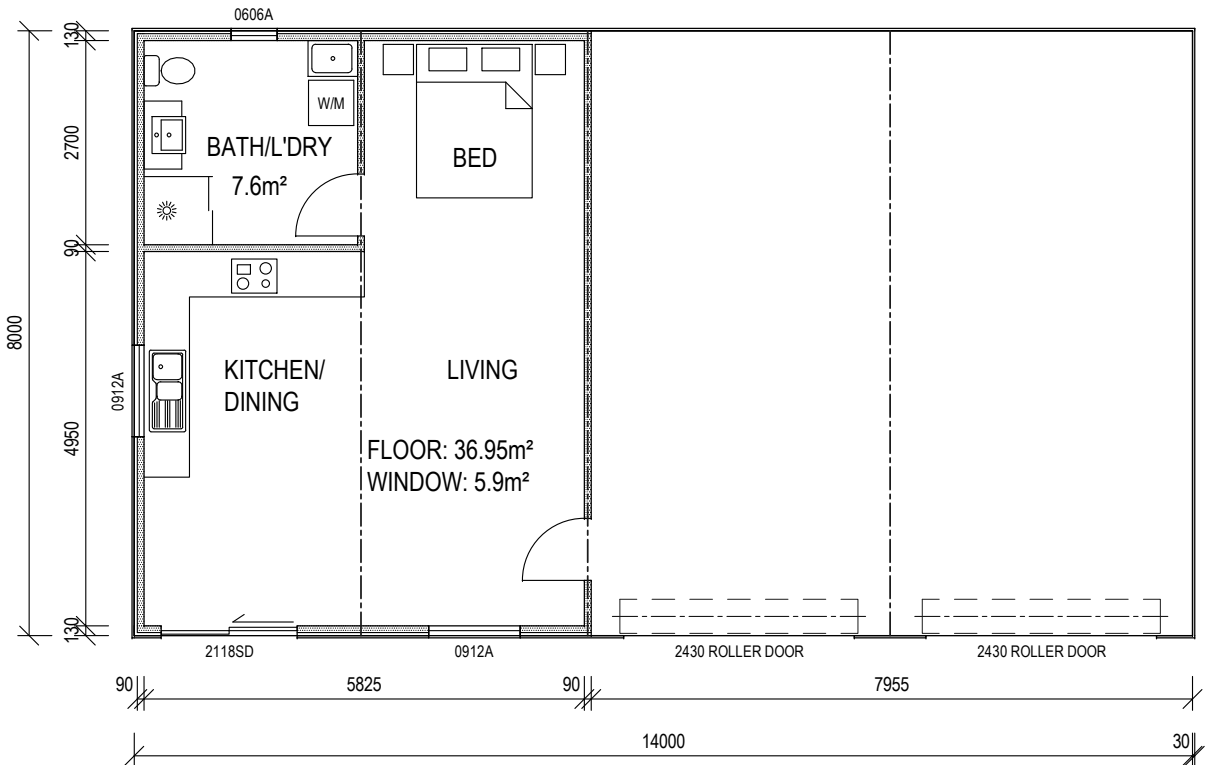
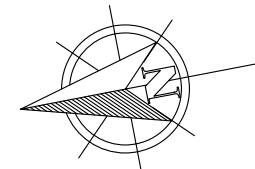
DESIGNED	P. BROWN
DRAWN	M. CLEARY
CHECKED	P. BROWN
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	

SMEEKES DRAFTING PTY LTD
 ABN 89 056 706 640
 12 Warwick Street, Hobart, TAS 7000
 Office Phone: (03) 6234 6185
 Email: admin@smeekesdrafting.com
 Website: www.smeekesdrafting.com

Building Designer Licence Nos. 723026951, 619068752 & CC6621

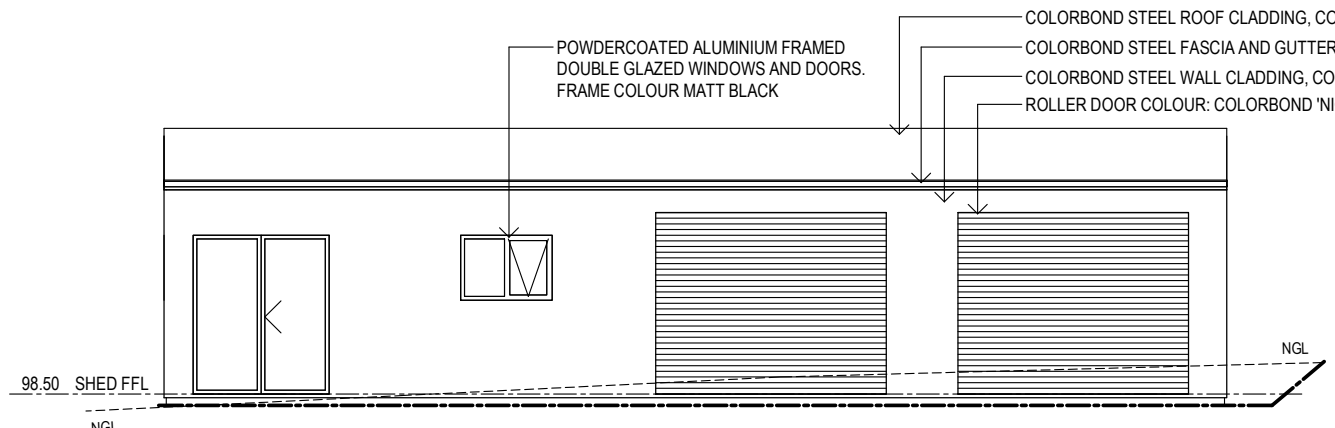
CLIENT J. J. GUNTHER & N. POST	
TITLE PROPOSED SINGLE STORY DWELLING 58 CARTWRIGHT STREET BRIGHTON, TAS, 7030	
SITE PLAN	
DRG No. GUNTHER & POST	SHT. 001
SCALE 1 : 500	A3

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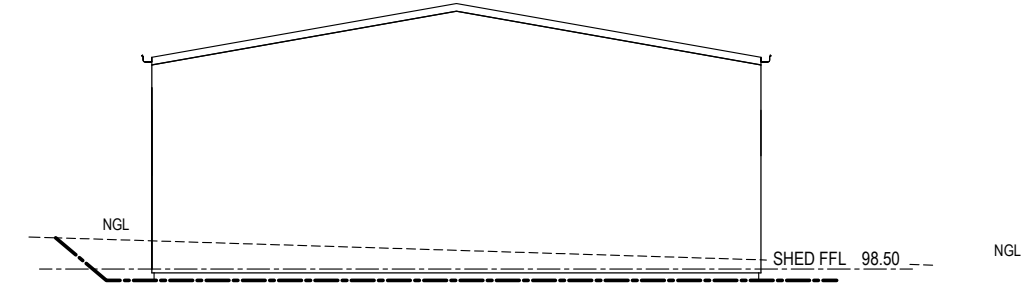


SHED/TEMPORARY DWELLING FLOOR PLAN
SCALE 1 : 100 @ A3

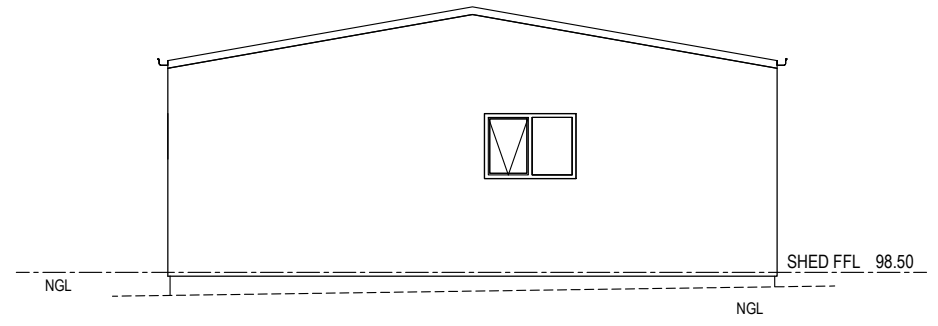
SHED AS PER STEELINE HOBART REF 274614,
INCLUDING ROLLER DOORS, WINDOWS AND
SLIDING DOOR BY OTHERS.



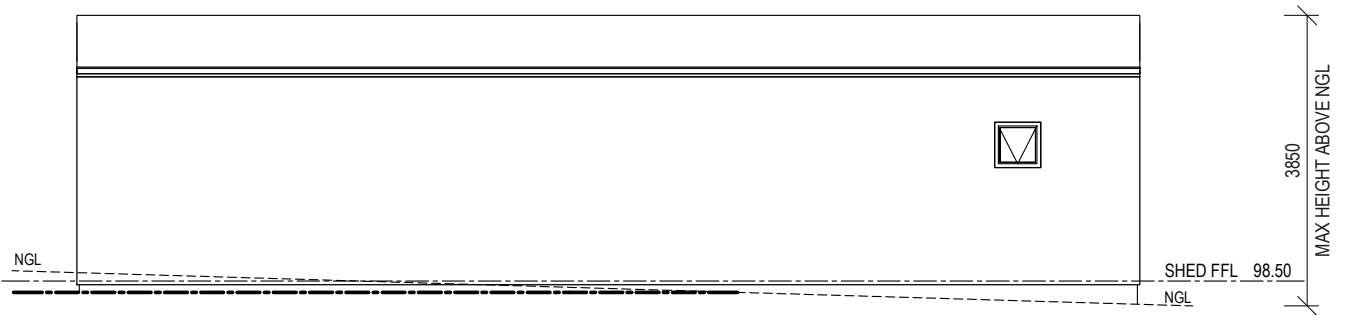
WEST ELEVATION - SHED
SCALE 1 : 100 @ A3



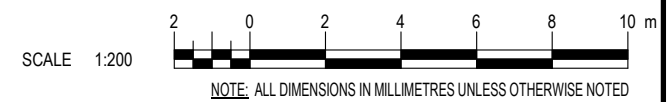
SOUTH ELEVATION - SHED
SCALE 1 : 100 @ A3



NORTH ELEVATION - NORTH
SCALE 1 : 100 @ A3



EAST ELEVATION - SHED
SCALE 1 : 100 @ A3



REV.	DESCRIPTION
0	ISSUED FOR CLIENT REVIEW. 14-8-2020

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CLIENT J. J. GUNTHER & N. POST	
TITLE PROPOSED SINGLE STORY DWELLING 58 CARTWRIGHT STREET BRIGHTON, TAS, 7030	
SHED PLAN AND ELEVATIONS	
DRG No GUNTHER & POST	SHT. 003S
SCALE 1 : 100	A3

A B C D



For office use only:

Ref. No:
Ref. No:

File Ref:
Property No:

Application for Planning Approval – Development/Use or Subdivision

Use this form to apply for planning approval in accordance with section 57 and 58 of the Land Use Planning and Approvals Act 1993 (the Act).

Tick if there has been a pre-application meeting with a Council officer:

Yes: No:

Officer's name: Date:

Applicant, Owner & Contact Details:

Provide details of the Applicant and Owner of the land. (Please print)

Applicant/Agent

Name:
Address:
 Postcode:
Email:

As applicant, do you consent to all correspondence being sent via email rather than post? Yes No

Owner

Name:
Address:
Email:

Land Details:

Provide details of the land, including street address, title details and the existing use.

Address:
 Volume:
Folio:
Existing Use: Please use definitions in planning scheme

Proposed Use and Development Details:

Provide details of the proposed use and of the proposed development and works.

Use: Please use definitions in planning scheme
Describe Development:

Existing Floor Area: m² Proposed floor area: m²

Materials: External walls: Colour:
Roof cladding: Colour:
Car parking Number existing: Proposed:

Is vegetation proposed to be removed? Yes No

Is the property on the Tasmanian Heritage Register? Yes No

Is Signage proposed: Yes No

Estimated cost of development value:

Declaration:

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that: -

- The information in this application is true and correct.
- In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
- I/we authorise Council to provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

Council will only use the information provided to consider and determine the application for planning approval. Information provided may be made available for public inspection in accordance with section 57 of the Act.

- I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the **Land Use Planning and Approvals Act 1993**.

Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Signature:

The Applicant must sign and date this form.

Date:

1/9/2020

Refer to application checklist on reverse for additional information requirements.

COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Brighton Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Brighton Council, or their delegate (as specified in Subsections 52 (1D-1G) of the Land Use Planning and Approvals Act 1993).

Please note: *If the application involves Crown land you will also need to provide a letter of consent.*

I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____

Signature:

The Minister, General Manager or other delegate responsible for the land must sign and date this form.

Date:

(This consent is for the making of the application only, and does not constitute landlord consent for the development to occur.)