



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2020/251

LOCATION OF AFFECTED AREA

**UNIT 1, 10 RACHEL CRESCENT,
OLD BEACH**

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING

THE APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **21/9/2020**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
GENERAL MANAGER

Brighton
going places

Council Offices, Tivoli Road, OLD BEACH, Tas 7017
Phone: (03) 6268 7000 Fax: (03) 6268 7013
Email: development@brighton.tas.gov.au
www.brighton.tas.gov.au
ABN 12 505 460 421



**Brighton
Council**

Brighton
planning

For office use only:

Ref. No: DA
Ref. No: BA

File Ref: _____
Property No: _____

Application for Planning Approval – Development/Use or Subdivision

Use this form to apply for planning approval in accordance with section 57 and 58 of the Land Use Planning and Approvals Act 1993 (the Act).

Tick if there has been a pre-application meeting with a Council officer:

Yes: No:

Officer's name: _____

Date: _____

Applicant, Owner & Contact Details:

Provide details of the Applicant and Owner of the land. (Please print)

Applicant/Agent

Name: _____

Address: _____

Email: _____

As applicant, do you consent to all correspondence being sent via email rather than post? Yes No

Owner

Name: _____

Address: _____

Email: _____

Land Details:

Provide details of the land, including street address, title details and the existing use.

Address: 10 Rachel Crescent
Old Beach TAS 7017

Volume: 143193
Folio: 26

Existing Use: Residential

Please use definitions in planning scheme

Proposed Use and Development Details:

Provide details of the proposed use and of the proposed development and works.

Use: Garage / Shed

Please use definitions in planning scheme

Describe Development: Class 10 building

Existing Floor Area: _____ m²

Proposed floor area: 84 m²

Materials: External walls: Colorbond
Roof cladding: Colorbond

Colour: Evening Haze
Colour: Woodland Grey

Car parking Number existing: 3

Proposed: 2

Is vegetation proposed to be removed? Yes No

Is the property on the Tasmanian Heritage Register? Yes No

Is Signage proposed: Yes No

Estimated cost of development value: \$ 25,000-00

Declaration:

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that: -

- The information in this application is true and correct.
- In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
- I/we authorise Council to provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

Council will only use the information provided to consider and determine the application for planning approval. Information provided may be made available for public inspection in accordance with section 57 of the Act.

- I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Signature:

The Applicant must sign and date this form.

Date:

28/7/2020

Refer to application checklist on reverse for additional information requirements.

COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Brighton Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Brighton Council, or their delegate (as specified in Subsections 52 (1D-1G) of the Land Use Planning and Approvals Act 1993).

Please note: *If the application involves Crown land you will also need to provide a letter of consent.*

I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____

Signature:

The Minister, General Manager or other delegate responsible for the land must sign and date this form.

Date:

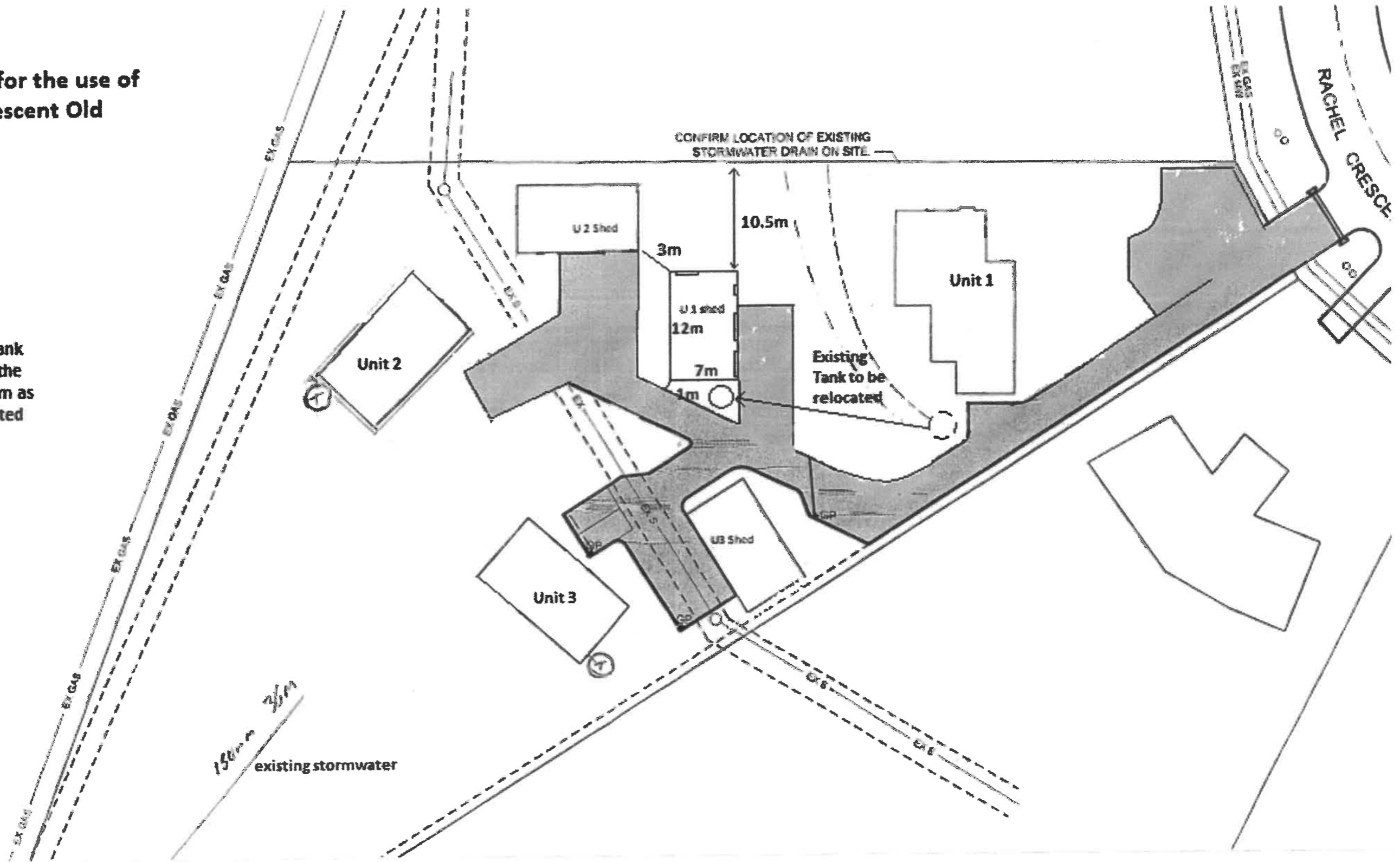
(This consent is for the making of the application only, and does not constitute landlord consent for the development to occur.)

Development

Proposed 3rd Shed for the use of Unit 1/10 Rachel Crescent Old Beach

Stormwater

Stormwater and relocated Tank overflow will be directed to the driveway storm water system as per engineered plans submitted to Council





Tassie Sheds

Address: 28 Gormanston Road
Moonah TAS 7009

Phone: 03 6165 0204

Fax: 0474 591 962

Email: ashleybarrett@tassiesheds.com.au

Web: tassiesheds.com.au

Quotation

No: **274566**

Date: 28/07/2020

Valid: 14 Days

I would like to submit the following quotation for your proposed new steel building.

Building Specifications

Building Length: 12.00m
Building Width: 7.00m
Wall Height: 2.70m
Roof Pitch: 5.0°
Roof Sheeting: Steelclad 0.42 BMT - Colour: Woodland Grey
Wall Sheeting: Steelclad 0.42 BMT - Colour: Evening Haze
Skylights: 2 Sheets
Roller-Doors: 3 x Series "A" Roller-Door (2400 x 2700) - Colour (Woodland Grey)
P/A Doors: 1 x Personal Access Door (2040 x 820) - Colour (Woodland Grey)

Additional Componentry

There are additional items included in the quoted amount that are not part of the engineered building.



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