



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA 2019 / 00005

LOCATION OF AFFECTED AREA

4 BETTS CLOSE, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

DWELLING

THE APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **25/02/2019** ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

RON SANDERSON
GENERAL MANAGER

Brighton
going places

PROJECT ADDRESS: L275 BRIGHTON ESTATE, BRIGHTON, TASMANIA
CLIENT: JESSICA LEEK & JOSHUA HARDY
DESIGNER: WINK AND CO PTY LTD

DRAWINGS: SITE PLAN
 FLOOR PLAN
 ELEVATIONS 1
 ELEVATIONS 2
 SECTION

FLOOR AREAS:

GARAGE: 38.88 m²
PORCH: 4.19 m²
LIVING: 141.36 m²
ALFRESCO: 9.95 m²
TOTAL AREA: 194.38 m²

SOIL CLASSIFICATION: TBC

WIND CLASSIFICATION: TBC

CLIMATE ZONE: TBC

BUSHFIRE ATTACK LEVEL: TBC

ALPINE AREA: TBC

CORROSION ENVIRONMENT: TBC

DRAWINGS FOR:



BUILDER JOB NUMBER: TBA

DRAWINGS BY:

WINK+CO

need plans?.....think **WINK.**
 P: 0466 27 27 97
 Po box 22 Kedron Q 4031
projects@winkandco.com.au

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REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	17/10/18	SM	SW
B	WDS AMENDMENTS	21/01/19	SM	SW
C	WDS AMENDMENTS	04/02/19	SM	SW

PROJECT

PROPOSED RESIDENCE

CLIENT

J. LEEK & J. HARDY

LOT DESCRIPTION

LOT 275 ON SP 18090

ADDRESS

No. TBA

STREET BRIGHTON ESTATE

SUBURB BRIGHTON

P'CODE 7030 STATE TAS

DRAWN PLOT DATE

SM 26/10/18

DRAWING REFERENCE No.

221-18

PROJECT NORTH SHEET No.

1 / 6

COVER SHEET

SCALE

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE. IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (Map Grid Australia).

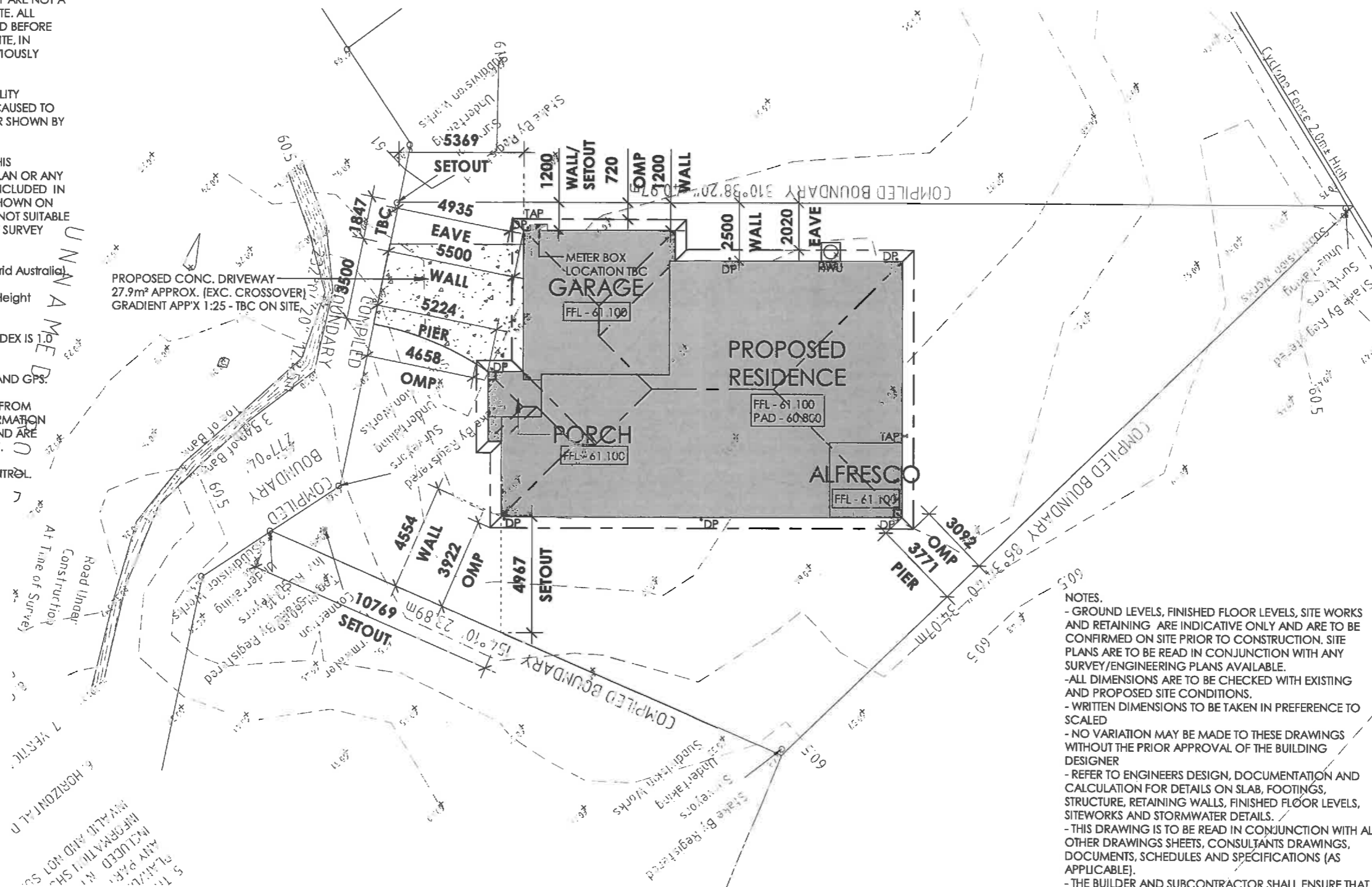
7. VERTICAL DATUM IS AHD (Australian Height Datum).

8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1 METRES.

9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. BOUNDARIES ARE COMPILED ONLY FROM SP169793 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

11. 3D DATA TURNED OFF IN LAYER CONTROL.
 3D TIN
 MAJOR CONTOUR 3D
 MINOR CONTOUR 3D



NOTES:
 - GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS AND RETAINING ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE.
 - ALL DIMENSIONS ARE TO BE CHECKED WITH EXISTING AND PROPOSED SITE CONDITIONS.
 - WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED
 - NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DESIGNER
 - REFER TO ENGINEERS DESIGN, DOCUMENTATION AND CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE, RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS AND STORMWATER DETAILS.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
 - THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
 - LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

LOT SERVICES UNABLE TO BE LOCATED:
 - NO ELECTRICITY LOT CONNECTION
 - NO COMMUNICATIONS LOT CONNECTION
 - NO SEWER LOT CONNECTION
 - NO WATER METER OR METER BOX

SURVEY PLUS
 Address: 8 Amy Street, Moonah, Tasmania, 7009
 Phone: 6273 9831
 Fax: 6273 8316
 Email: admin@surveyplus.com.au
 Mail: PO Box 299, Moonah, Tas, 7009

SITE COVERAGE:
 LOT: 275
 SITE AREA: 640m²
 PROP. ROOF AREA: 224.0m²

SITE SCRAPE ONLY
SOIL CLASSIFICATION: TBC
WIND CLASSIFICATION: TBC

SITE PLAN
 SCALE: 1:200

DRAWINGS FOR:



BUILDER JOB NUMBER: TBA

DRAWINGS BY:

WINK + CO

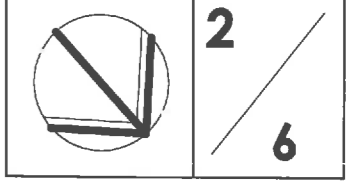
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SUBURB	BRIGHTON
P'CODE	7030
STATE	TAS
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SM	26/10/18
DRAWING REFERENCE No.	
221-18	
PROJECT NORTH:	SHEET No.



NOTE:
 BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSION AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24HRS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DESIGN OF WORKING DRAWINGS.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS AND SURVEYORS DRAWINGS AND NOTES. DO NOT SCALE DRAWINGS.

DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.

ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE STATE BUILDING REGULATIONS, LOCAL COUNCIL BY-LAWS AND RELEVANT NCC AND AS CODES.

IMPORTANT NOTICE FOR ATTENTION OF OWNERS:
 THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE IN ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

ENERGY EFFICIENCY BULK INSULATION BETWEEN EXTERNAL STUDS TO BE INSULATED WITH MIN R2.0. (ENSURE BATTS FIT WITHIN CAVITY WITHOUT COMPRESSION, MAKING SURE THAT THERE IS AT LEAST 25mm GAP FROM THE REFLECTIVE SURFACE.)

EXTERNAL WALLS TO BE CLAD WITH PERFORATED REFLECTIVE FOIL OVER THE OUTSIDE OF THE TIMBER FRAME.
 CEILING TO BE INSULATED WITH R4.0 AND REFLECTIVE FOIL.

FLOOR TO BE INSULATED WITH R1.0 BATTS.

SEAL EXHAUST FANS TO ENSUITE, BATHROOM, LAUNDRY AND KITCHEN.
 BUILDING TO BE SEALED IN ACCORDANCE WITH NCC PART 3.12.3.

CONSTRUCTION OF THE EXTERNAL WALLS, FLOOR AND ROOF COMPLIANCE OF AIR LEAKAGE TO COMPLY WITH NCC PART 3.12.3.5.

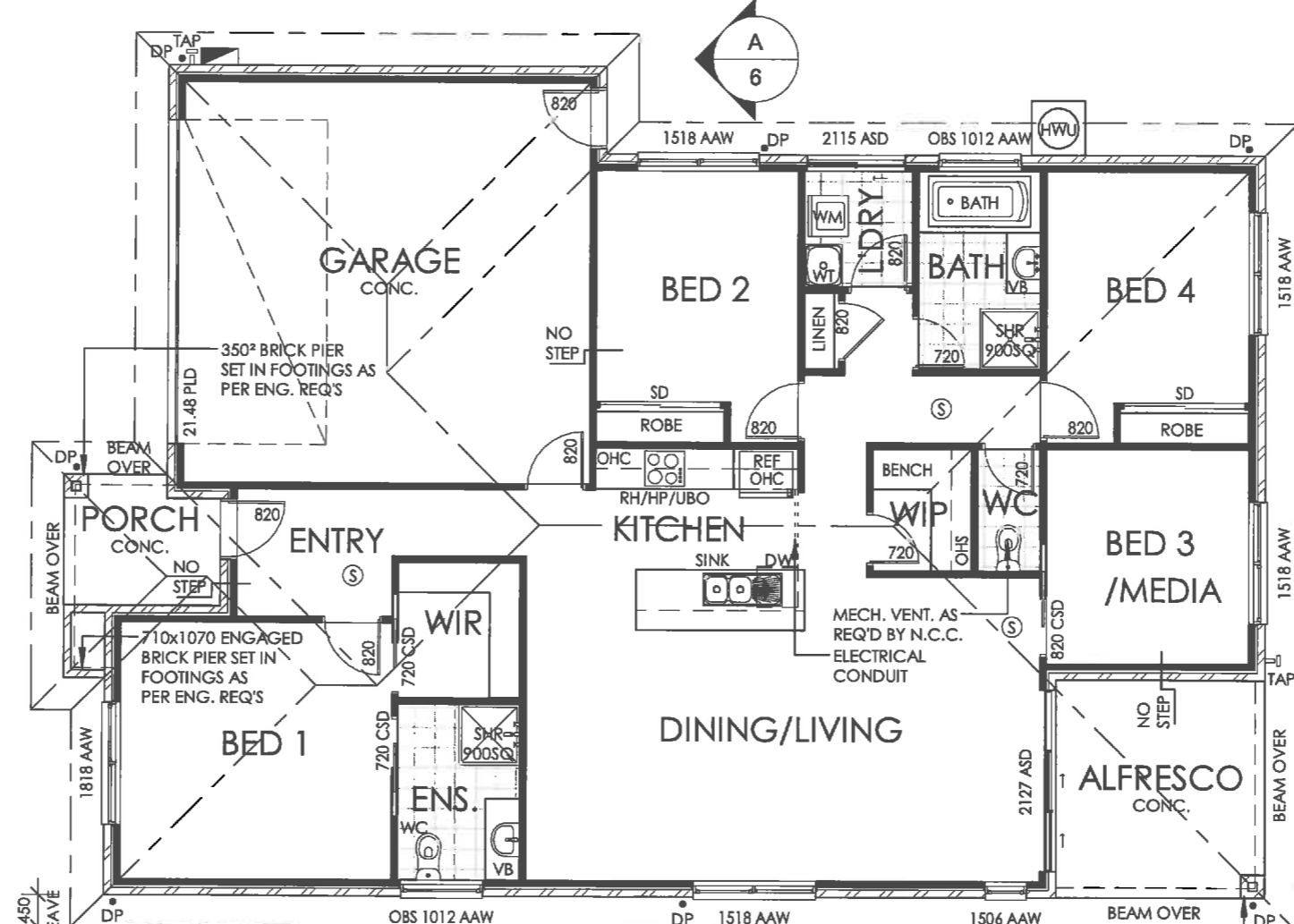
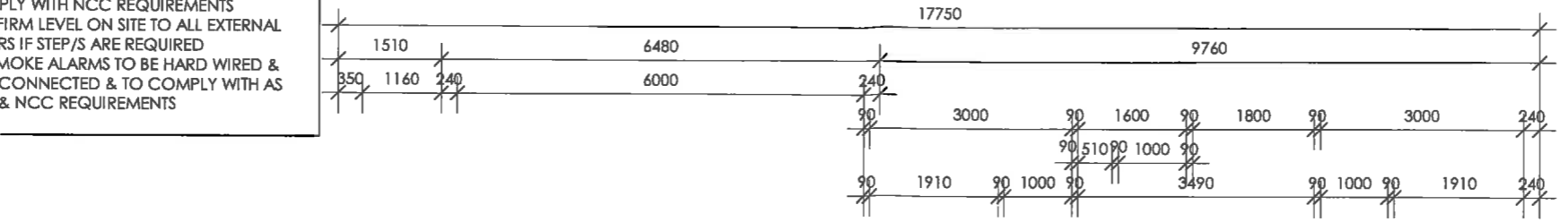
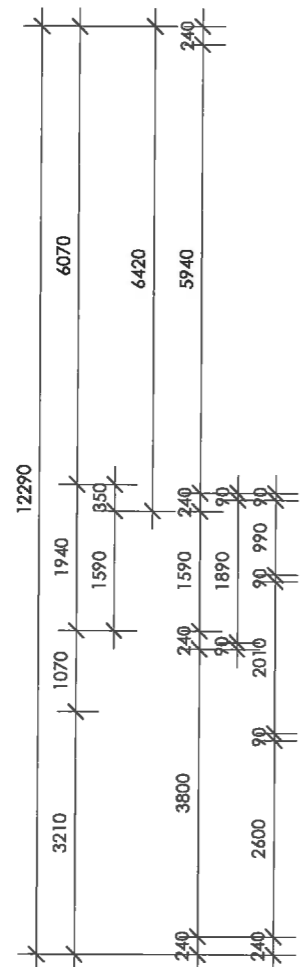
GENERAL:
 ALL FLASHINGS TO BE IN ACCORDANCE WITH PART 3.3 OF THE NCC.
 WEEP HOLES AND DAMP PROOF COURSING IN ACCORDANCE WITH 3.3.4.4 AND 3.3.4.5 OF THE NCC.
 FIBRE CEMENT SHEET IN ACCORDANCE WITH 3.5.3.4 OF THE NCC.

BLOCK CONSTRUCTION IN ACCORDANCE WITH THE NCC REQUIREMENTS.
 PLASTERBOARD TO INTERNAL WALL LININGS AND CEILINGS WITH SELECTED CORNICE. (SEE BELOW FOR WET AREAS)

HEALTH & AMENITY PART 3.8 NCC:
 SHOWERS, BATHS AND WALL FIXTURES TO ALL WET AREAS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES, 3.8.1.1, 3.8.1.2, 3.8.1.3, 3.8.1.4, 3.8.1.5 AND 3.8.1.6. IN ALL WET AREAS PROVIDE SELECTED CERAMIC TILES TO CONCRETE FLOORS OR OVER 15mm CEMENT SHEETING WHERE TIMBER FRAMED FLOORS ARE PROPOSED.

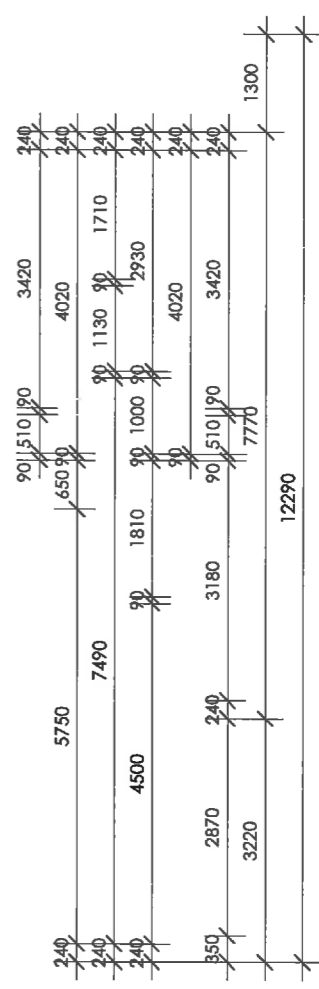
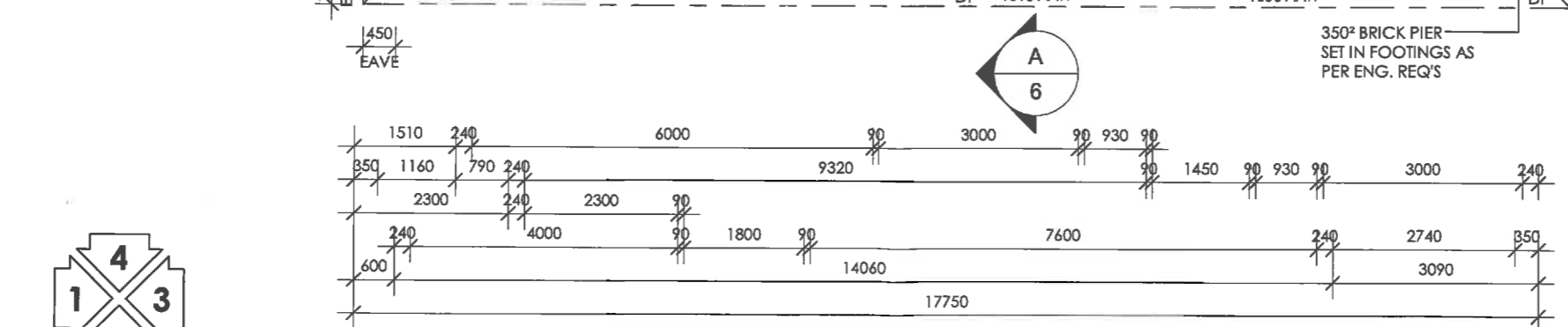
PROVIDE WATERPROOF PLASTERBOARD SHEETING TO ALL WALLS AND CEILINGS. PROVIDE CERAMIC TILES, LAMIPANEL OR OTHER APPROVED WATER-RESISTANT LINING TO A MINIMUM HEIGHT OF 1800mm TO SHOWER WALLS AND TO A HEIGHT OF 150mm BEHIND BATHS, BASINS, SINKS, TROUGHS, WASHING MACHINES AND WALL FIXTURES. FOR THE REQUIRED EXTENT OF AREA TO BE PROTECTED REFER TO FIGURES 3.8.1.1, 3.8.1.2 AND 3.8.1.1. FOR TYPICAL INSTALLATION REQUIREMENTS OF SHOWER RECESSES, TAP FLANGES, SHOWER TROUGHS, FLOORS & WATERPROOF MEMBRANES REFER TO FIGURES 3.8.1.5, 3.8.1.6, 3.8.1.7, 3.8.1.8 AND 3.8.1.9. FOR TYPICAL INSTALLATION REQUIREMENTS & SEALING OF WALL JUNCTIONS WITH BENCHTOPS, LAUNDRY SINKS & BATHS REFER TO FIGURES 3.8.1.10 AND 3.8.1.11. MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES 3.8.1.3, 3.8.1.4 AND 3.8.1.5. REFER TO AS 3740-2010 FOR WATERPROOFING OF DOMESTIC WET AREAS, AS WELL AS APPROPRIATE WALL & FLOOR TREATMENT WHEN A PREFABRICATED SHOWER UNIT ISN'T USED (EG. MIN 1:100 FALL TO WASTE)

- NOTE:**
1. TILE LAYOUT INDICATIVE ONLY
 2. PROVIDE LIFT OFF HINGES TO WC DOORS - TO COMPLY WITH NCC REQUIREMENTS
 3. CONFIRM LEVEL ON SITE TO ALL EXTERNAL DOORS IF STEP/S ARE REQUIRED
 4. ALL SMOKE ALARMS TO BE HARD WIRED & INTERCONNECTED & TO COMPLY WITH AS 3786 & NCC REQUIREMENTS



AREAS

GARAGE:	38.88 m²
PORCH:	4.19 m²
LIVING:	141.36 m²
ALFRESCO:	9.95 m²
TOTAL:	194.38 m²



LEGEND:

DP	DOWNPIPE LOCATION
OHS	OVERHEAD SHELF/VES
OHC	OVERHEAD CUPBOARDS
SD	SLIDING DOOR
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
HP	HOT PLATE
DW	DISH WASHER
MH	MANHOLE
AAW	ALUM. AWNING WINDOW
ASW	ALUM. SLIDING WINDOW
ASD	ALUM. SLIDING DOOR

DRAWINGS FOR:

HOBART

LVL 10, 65 MURRAY ST,
 HOBART, TAS, 7000
 PHONE. 03 6272 3000
 FAX. 03 6272 3001

BUILDER JOB NUMBER: TBA

DRAWINGS BY:



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 P: 0466 27 27 97
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PROJECT

PROPOSED RESIDENCE

CLIENT

J. LEEK & J. HARDY

LOT DESCRIPTION

LOT 275 ON SP 18090

ADDRESS

No. TBA

STREET BRIGHTON ESTATE

SUBURB BRIGHTON

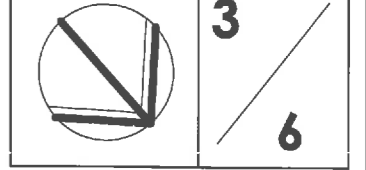
P'CODE 7030 STATE TAS

DRAWN SM PLOT DATE 26/10/18

DRAWING REFERENCE No.

221-18

PROJECT NORTH SHEET No.



FLOOR PLAN

SCALE
 1 : 100

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PROVIDE STRUCTURAL PLYWOOD BRACING IN ACCORDANCE WITH AS 1684 AND IN SECTION 9.4 OF TIMBER FRAMING MANUAL.

VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH NCC VOLUM 2 CL. 3.3.1.8

FRAMING PART 3.4 NCC

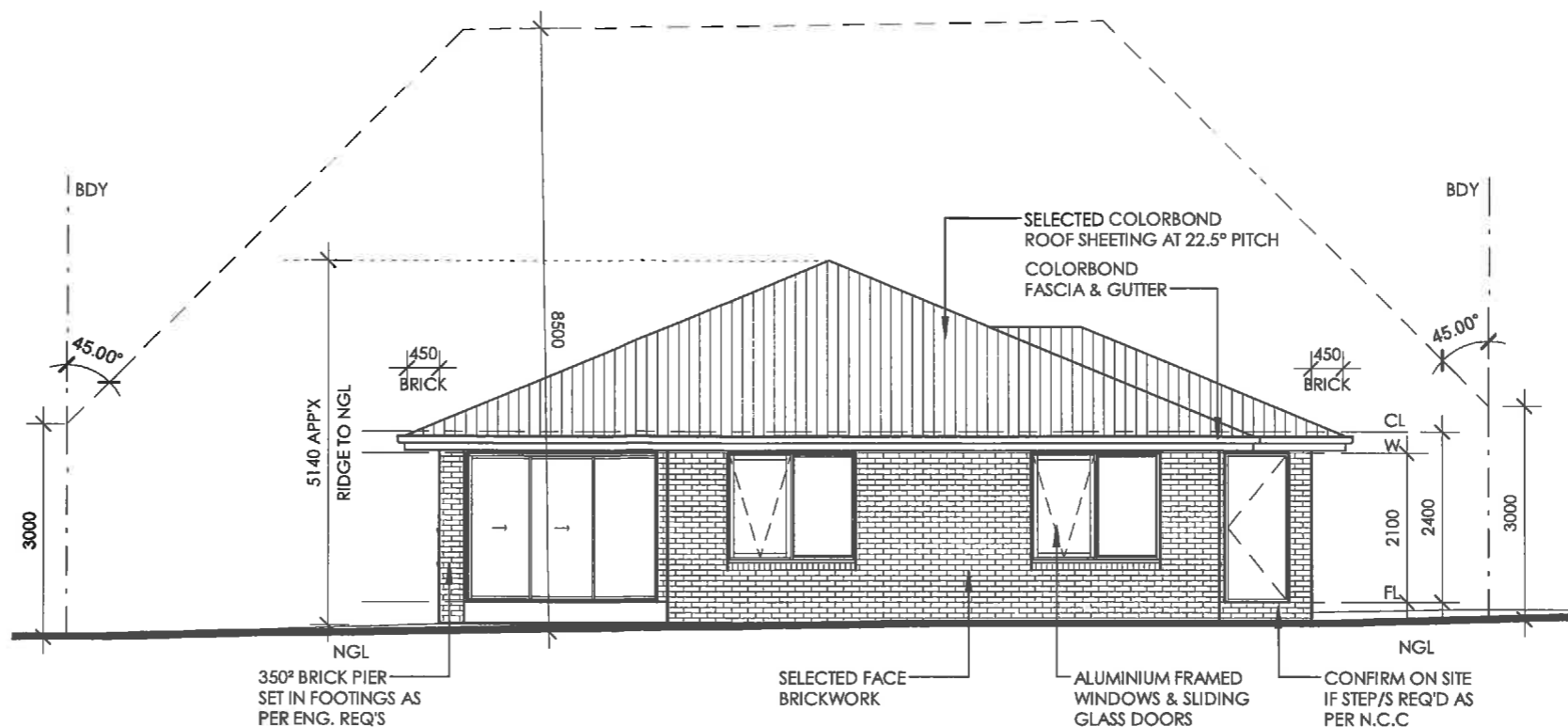
ALL TIMBER FRAMING, FIXING AND BRACING SHALL COMPLY WITH AS 1684 AND THE REQUIREMENTS OF NCC PART 3.4.3 MANUFACTURED SIZES MUST NOT BE UNDERSIZED TO THOSE SPECIFIED, FOR ALL TIMBER SIZES, STRESS GRADES, SPACING AND WALL BRACING REFER TO ENGINEERS DETAILS. TIE-DOWN DETAILS SHALL COMPLY WITH THE REQUIREMENTS OF TABLES 3.4.3.8 AND 3.4.3.9

STRUCTURAL STEEL MEMBERS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES IN PART 3.4.4. REFER TO ENGINEERS DETAILS WHERE PROVIDED

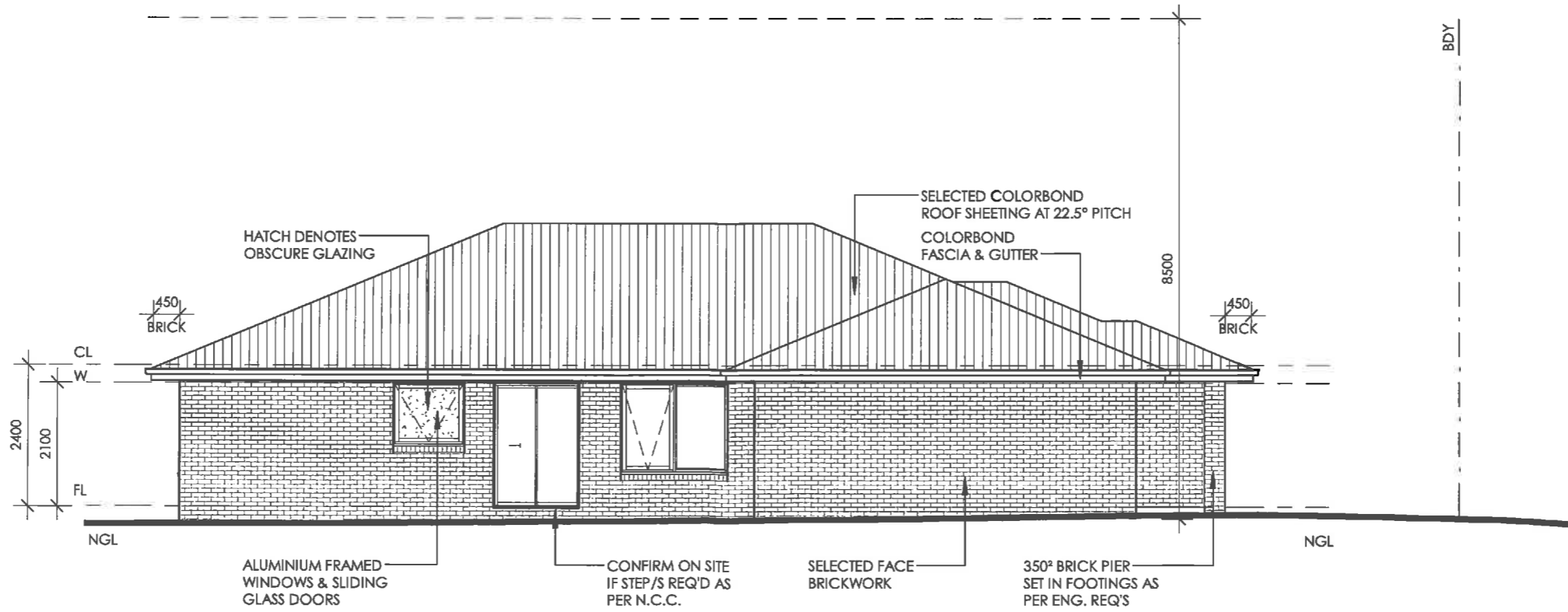
GLAZING PART 3.6 NCC

ALL WINDOWS TO BE ALUMINIUM SLIDING STYLE, DOUBLE GLAZED. (WHITE TRANSLUCENT TO BATHROOMS)
 ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF AS 2047-AS 1288 AND NCC CLAUSES IN PART 3.6

HUMAN IMPACT SAFETY REQUIREMENTS SHALL COMPLY WITH NCC CLAUSES 3.6.4 PANE WITHIN 500mm FROM FINISHED FLOOR LEVEL & GLAZED FULL HEIGHT



3 | REAR ELEVATION



4 | SIDE ELEVATION

ELEVATIONS SCALE 1 : 100

DRAWINGS FOR:

HOBART
 LVL 10, 85 MURRAY ST,
 HOBART, TAS, 7000
 PHONE. 03 6272 3000
 FAX. 03 6272 3001

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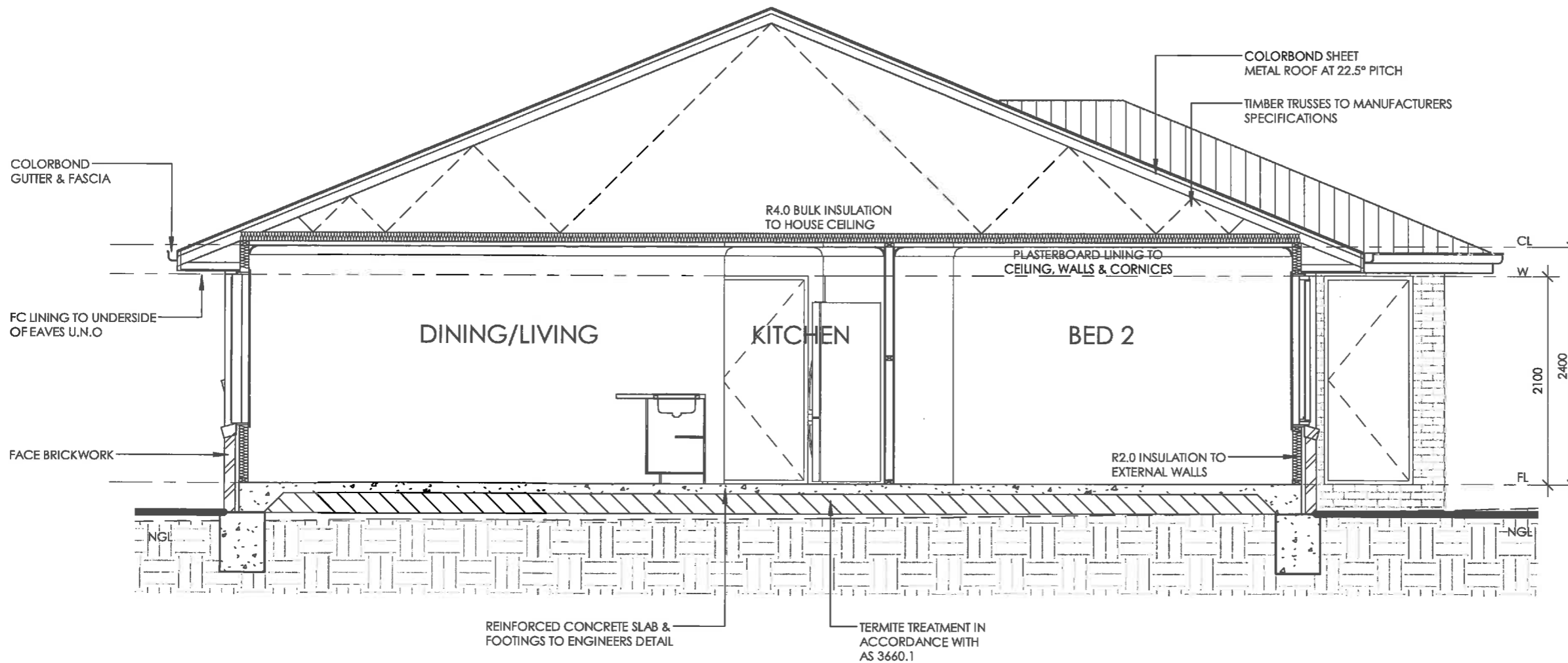
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PROJECT NORTH SHEET No.

5 / 6

NOTE: WATER RESISTANT SHEETING TO WET AREAS



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6 / 6

SECTION A-A

SCALE
1 : 50