



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA 2019 / 00029

LOCATION OF AFFECTED AREA

114 MCGANN DRIVE, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

**ALTERATIONS AND ADDITIONS
(OUTBUILDINGS X3)**

THE APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **25/02/2019** ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**RON SANDERSON
GENERAL MANAGER**

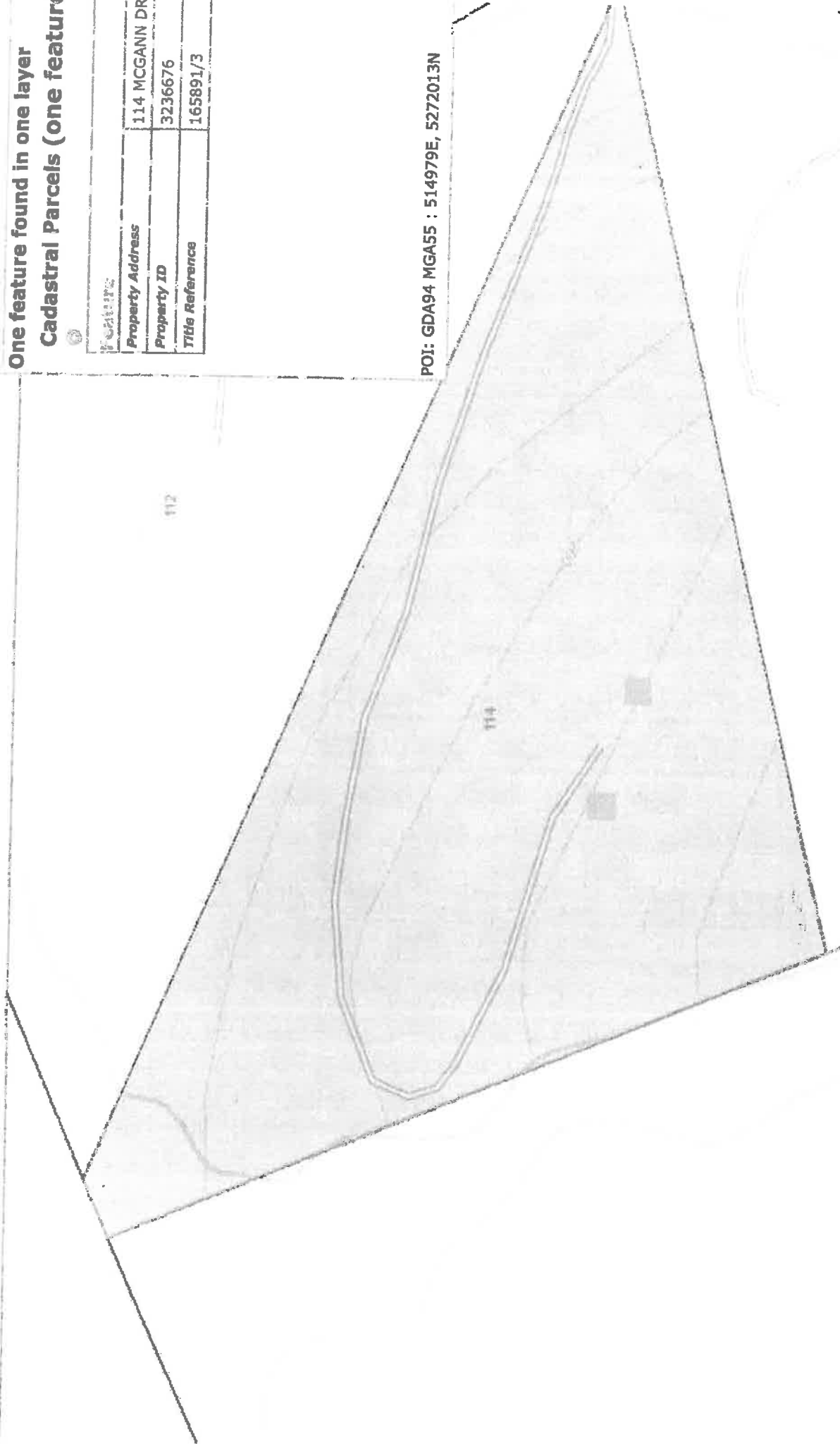
Brighton
going places

Identify Results

One feature found in one layer
Cadastral Parcels (one feature)

| Feature | |
|------------------|---------------|
| Property Address | 114 MCGANN DR |
| Property ID | 3236676 |
| Title Reference | 165891/3 |

POI: GDA94 MGA55 : 514979E, 5272013N



Past Sales & Property Information

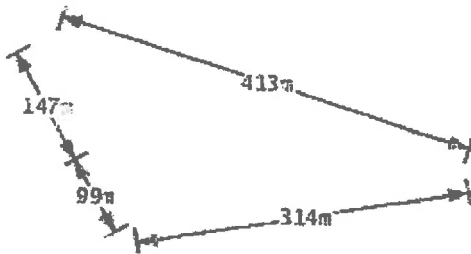
| | |
|----------------|-------------------------|
| Property Info: | <u>114 Mcgann Drive</u> |
| Street Info: | <u>Mcgann Drive</u> |
| Suburb Info: | <u>Brighton</u> |
| Postcode Info: | <u>7030</u> |

NOTE

Always verify block details with the agent or vendor. These maps are generated by cross referencing with our spatial information database, but this does not mean they will always correspond with the listed property. Measurements are estimates only.

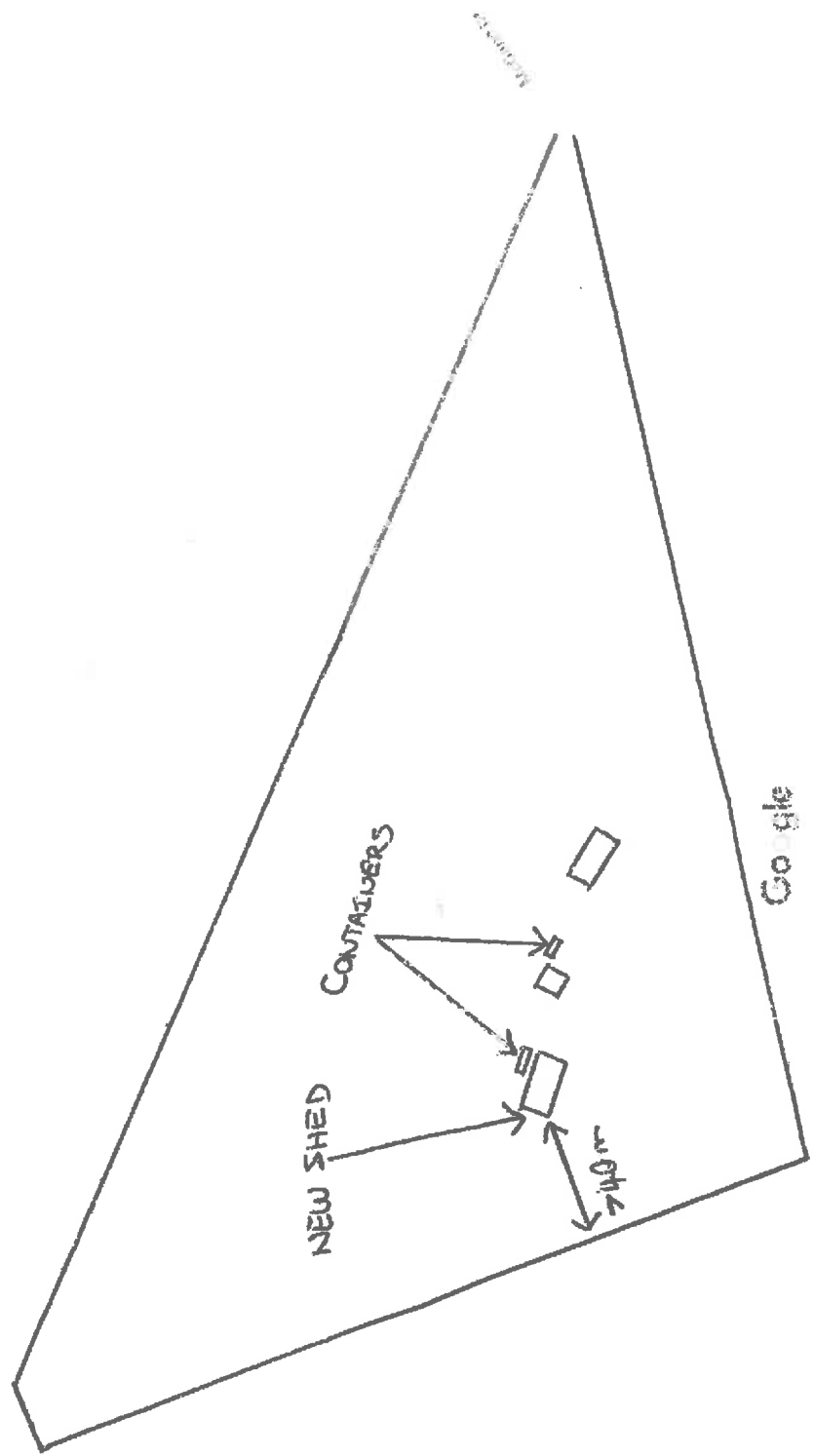
Based on data provided under licence from PSMA Australia Limited (www.psama.com.au). © PSMA Australia 2016.

Block Map



Vital Statistics

| | |
|-------------|-----------------------------|
| Volume: | 3 |
| Folio: | 165891 |
| Block Size: | 3.95 Hectares (approx) |
| House Size: | 125 m ² (approx) |
| Stamp Duty: | \$11,895 |



Map data ©2019 Google 50 m

Google Maps

CONTAINER
(6 X 2 m)

CONTAINER
(6 X 2 m)

NEW SHED
(15 X 6 m)

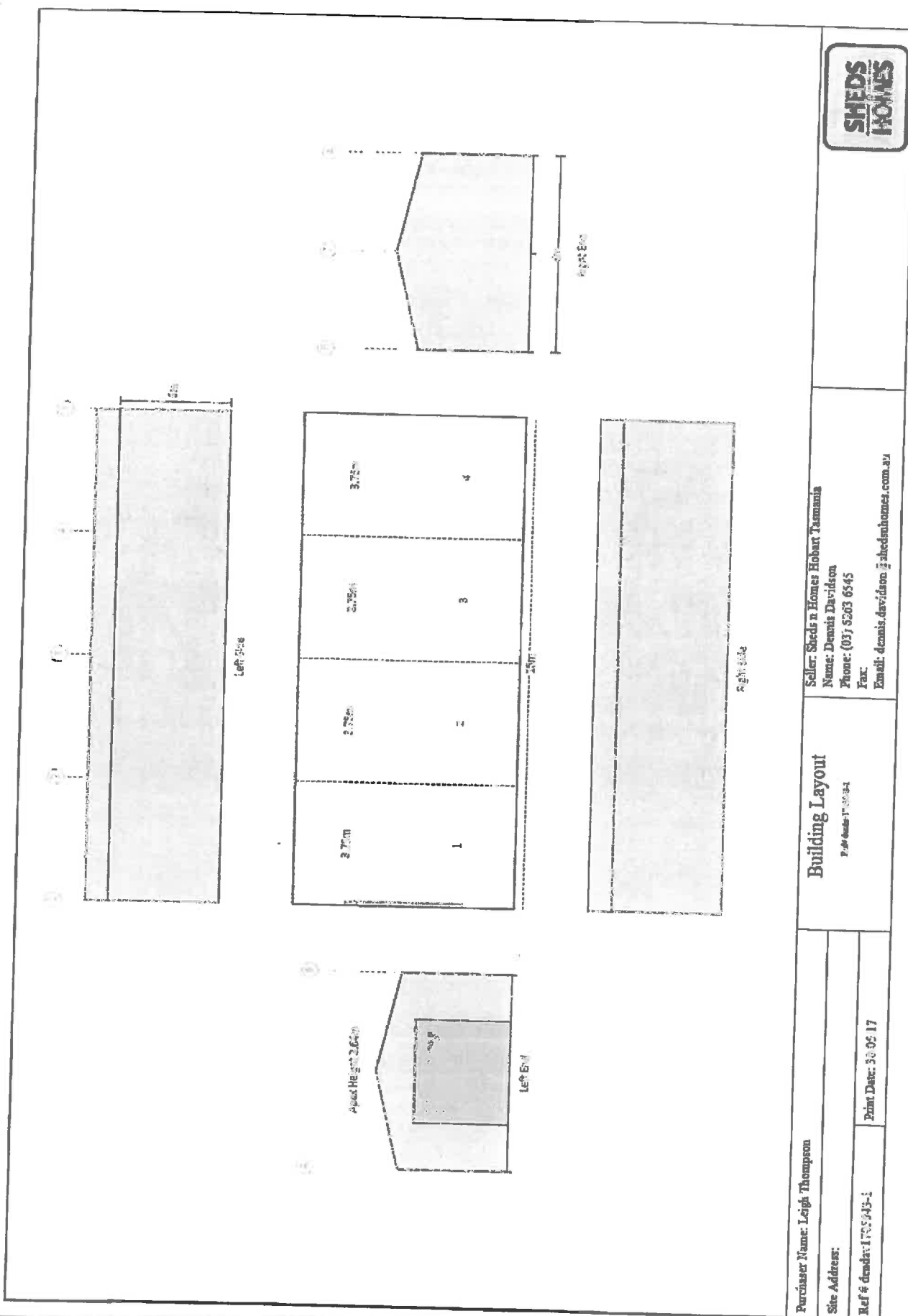


Imagery ©2019 Google, Map data ©2019 Google 10 m



SHED SAFE

www.shedsnhomes.com.au



Purchaser Name: Leigh Thompson

Site Address:

Ref # 670441705343-1

Print Date: 30-05-17

Building Layout

17/05/2017 10:34

Seller: Sheds n Homes Hobart Tasmania
 Name: Dennis Davidson
 Phone: (03) 5283 6545
 Fax:
 Email: dennis.davidson@shedsnhomes.com.au



Biodiversity Code

I understand the property is a high priority biodiversity area as it has *Eucalyptus amygdalina* forest and woodland on sandstone but the development will be exempt under the Biodiversity code as the clearance and conversion or disturbance of the area is less than 750m² and thus a natural values assessment will not be required.



Peter Thompson

31/1/19