



# Application for Planning Approval

*Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA 2019 / 00006**

LOCATION OF AFFECTED AREA

**20A BURROWS AVENUE, BRIGHTON**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**MULTIPLE DWELLINGS (2)**

THE APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **21/02/2019**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

RON SANDERSON  
GENERAL MANAGER

**Brighton**  
going places

**Project Details**

**Floor Areas: 80.79m<sup>2</sup> Unit 1, 105.90m<sup>2</sup> Unit 2**

**Wind Speed: N3**

**Soil Classification: Class N/A**

**Climate Zone: 7**

**Title Reference: Volume 174664 Folio 2**

**SHEET KEY**

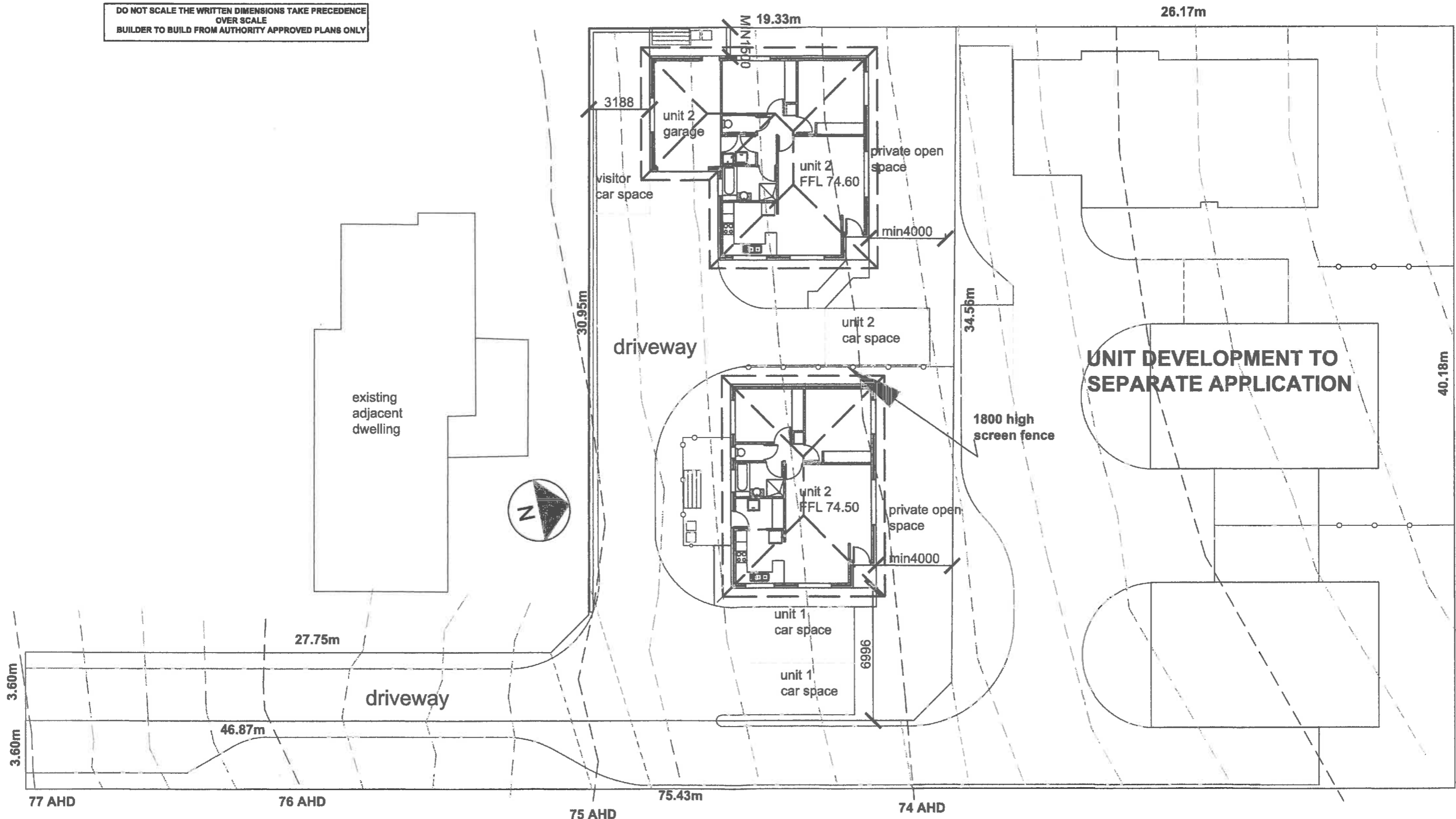
- 1of 8 Cover Sheet
- 2of 8 Site - Setout
- 3of 8 Unit 1- Floor Plan
- 4of 8 Unit 1- Elevations
- 5of 8 Unit 2- Floor Plan
- 6of 8 Unit 2- Elevations
- 7of 8 Site- Stormwater
- 8of 8 Site- Landscape

**D E V E L O P M E N T   A P P L I C A T I O N**

 <b>SKIZZE</b> building design drafting&design solutions 98 New Town Road New Town P 6228 7762 Accreditation Number CC645J	<small>COPYRIGHT THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF SKIZZE BUILDING DESIGN THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED.</small>	<b>Proposed: Dwellings</b>	<b>JOB:18030</b>	<b>Revisions:</b>
		<b>Client: Pontville Homes</b>	<b>Sheet : 1 of 8</b>	<b>Drawn :RV Date: Deember 2018 © Issue Date 11Dec18</b>
<b>A t : L o t 2 B u r r o w s S t r e e t , B r i g h t o n .</b>				

**C O V E R   S H E E T**

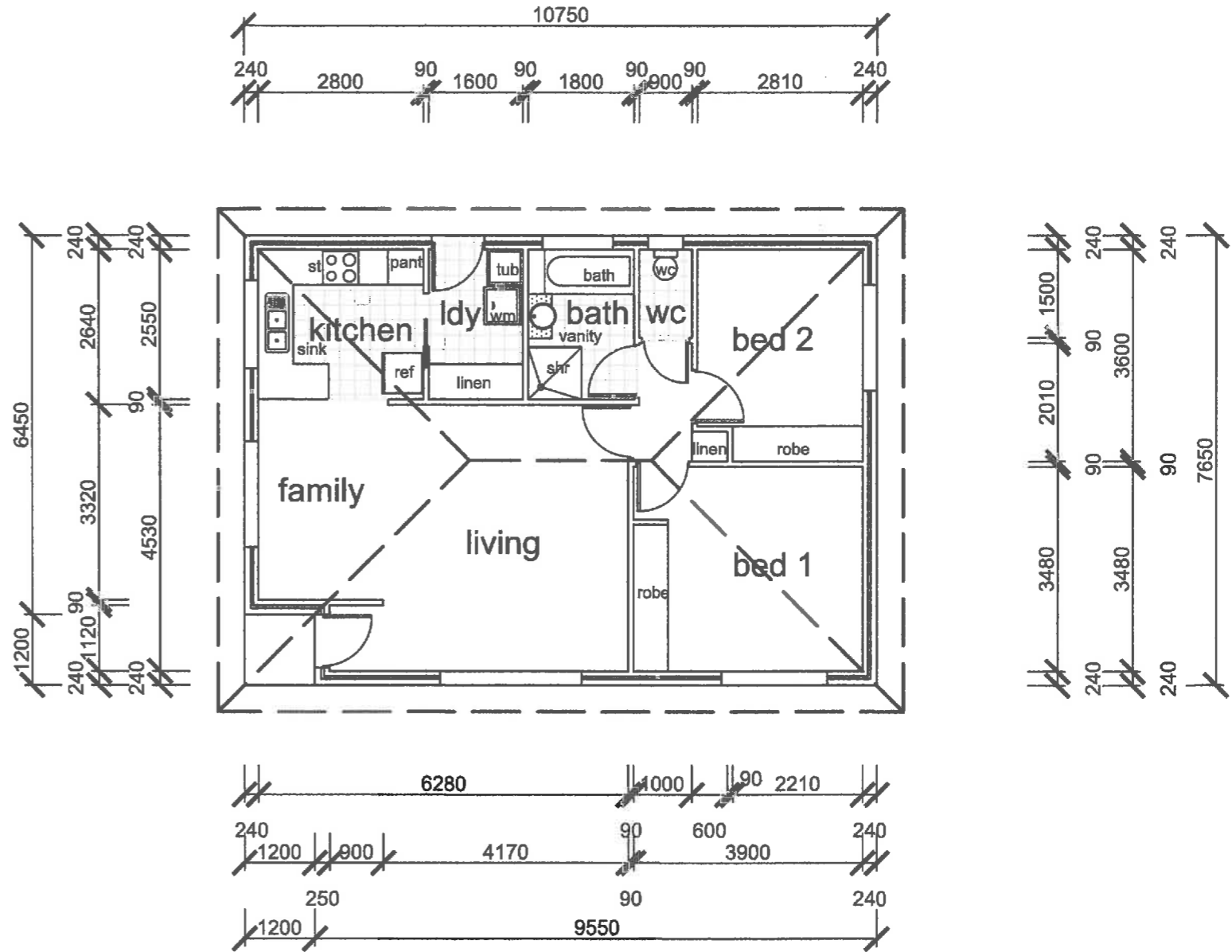
DO NOT SCALE THE WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE  
 BUILDER TO BUILD FROM AUTHORITY APPROVED PLANS ONLY



**SITE PLAN**  
 SCALE 1:200  
 S E T O U T  
 different back units

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	<p><b>Client: Pontville Homes</b></p>	<p><b>Sheet :2 of 8</b></p>	<p>Drawn :RV          Date: Deember 2018 ©          Issue Date 11Dec18</p>
<p>At: Lot 2 Burrows Street, Brighton.</p>			

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**FLOOR PLAN**  
 U N I T 1  
 8 0 . 7 9 m 2  
 S C A L E 1 : 1 0 0

INSULATION-  
 R4.0 ROOF  
 R2.5 WALLS  
 R0.8 FLOORS

**SKIZZE**  
 building design  
 98 New Town Road New Town P 6228 7762  
 Accreditation Number CC645J

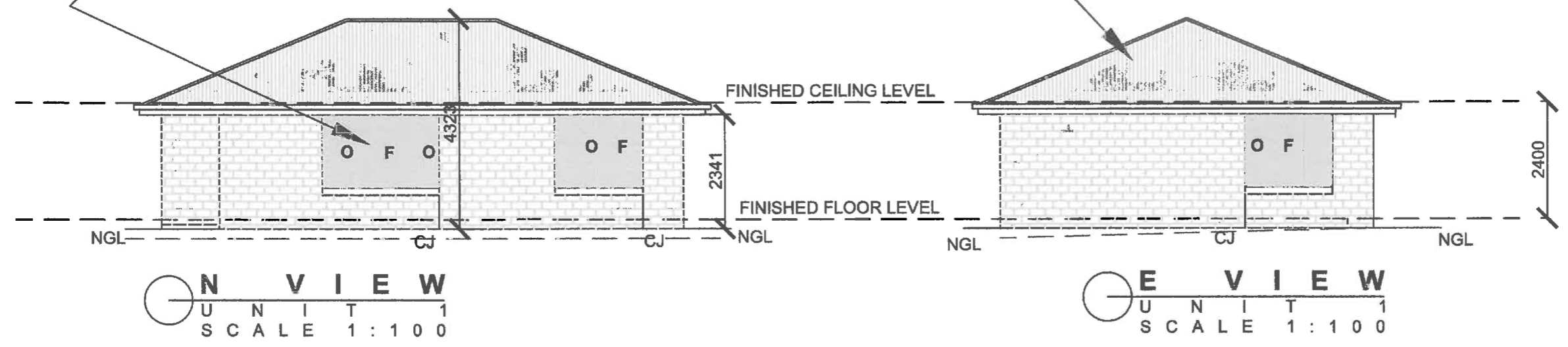
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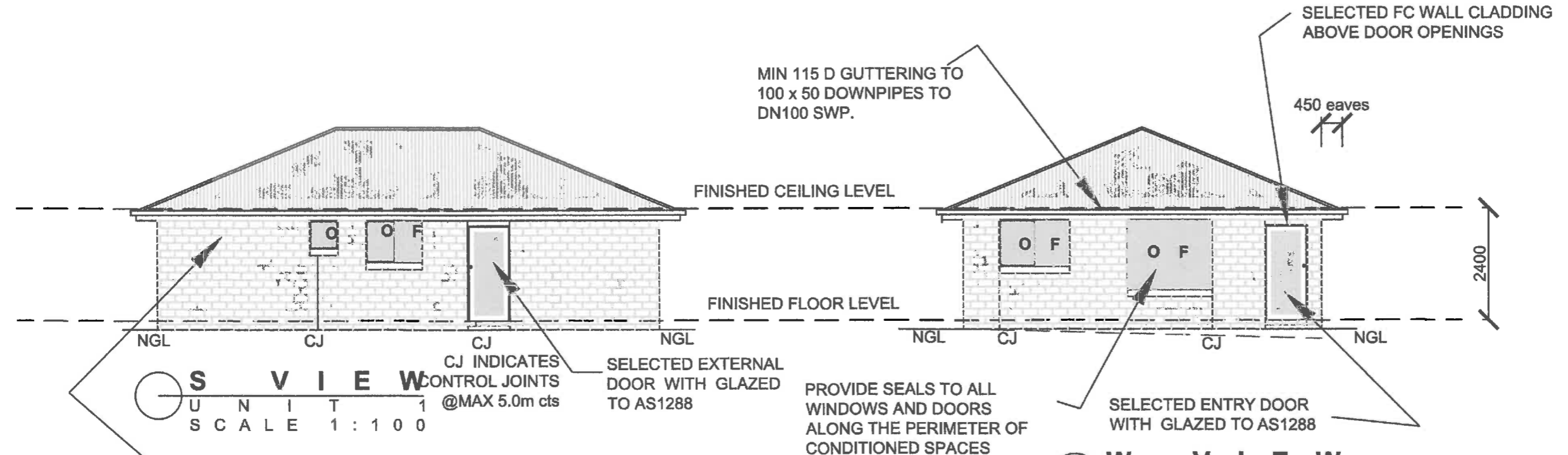
ALUMINIUM FRAMED WINDOWS AND DOORS TO AS1288 AND AS2047  
 OBSCURE GLASS TO WC & BATH. **GLAZING REQUIREMENTS FOR HUMAN IMPACT SAFETY SHALL COMPLY WITH PART 3.6.4 OF BCA AND IT'S OTHER REFERENCED CLAUSES**  
 INSTALLATION STRICTLY TO THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.  
 Glazing- SEE WINDOW SCHEDULE FOR DETAILS

COLORBOND CORRUGATED METAL ROOF SHEETING WITH VAPOR PERMIABLE SARKING TO AS/NZ 4200.2  
 INSTALLED TO AS1562 PART 3.5.1 OF BCA AND THE MANUFACTURER'S DETAILS WITH FIXINGS EVERY 2ND RIB END SPANS AND EVERY 3RD RIB ELSEWHERE. 45 X 70 F5 TRP OR SIMILAR ROOF BATTENS @900cts.  
**ROOF PITCH = 22.5°**



**N VIEW**  
 U N I T 1  
 SCALE 1 : 1 0 0

**E VIEW**  
 U N I T 1  
 SCALE 1 : 1 0 0



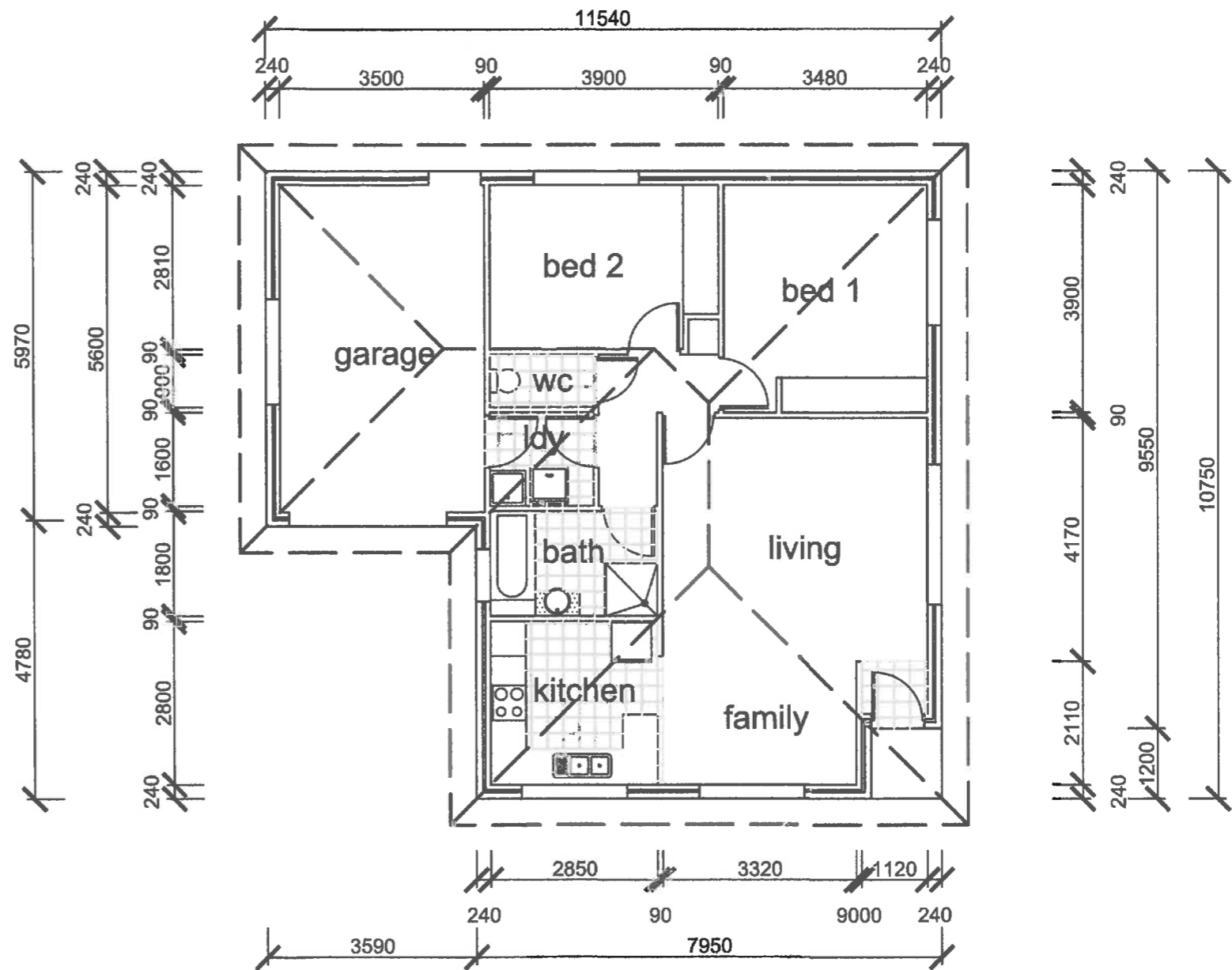
**S VIEW**  
 U N I T 1  
 SCALE 1 : 1 0 0

**W VIEW**  
 U N I T 1  
 SCALE 1 : 1 0 0

SELECTED MASONRY WALLS TO AS3700.  
 (Up to 110 thick masonry with stretcher bond and either raked or flush joint as selected by the Developer) MORTAR IN JOINTS TO AS3972 Mortar mix- Provide mortar mixes as follows: 1:1:6 cement, lime, sand for all general block work. Other mix proportions may be required for special purposes. Measure volumes accurately to achieve the specified proportions. Machine mix for six minutes minimum.

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OVER SCALE  
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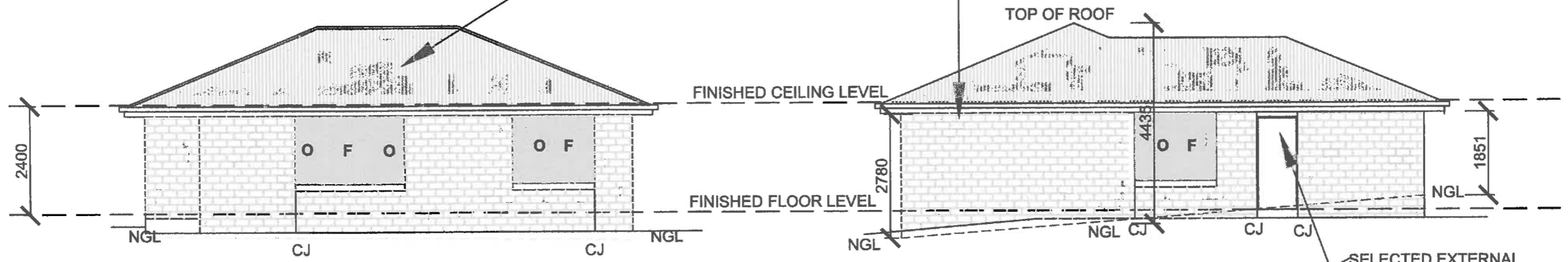
**FLOOR PLAN**  
 U N I T 2  
 1 0 5 . 9 0 m 2  
 S C A L E 1 : 1 0 0

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COLORBOND CORRUGATED METAL ROOF SHEETING WITH VAPOR PERMIABLE SARKING TO AS/NZ 4200.2 INSTALLED TO AS1562 PART 3.5.1 OF BCA AND THE MANUFACTURER'S DETAILS WITH FIXINGS EVERY 2ND RIB END SPANS AND EVERY 3RD RIB ELSEWHERE. 45 X 70 F5 TRP OR SIMILAR ROOF BATTENS @900cts.  
**ROOF PITCH = 22.5°**

SELECTED FC WALL CLADDING ABOVE DOOR OPENINGS



**S VIEW**  
 U N I T 1  
 SCALE 1 : 1 0 0

**E VIEW**  
 U N I T 1  
 SCALE 1 : 1 0 0

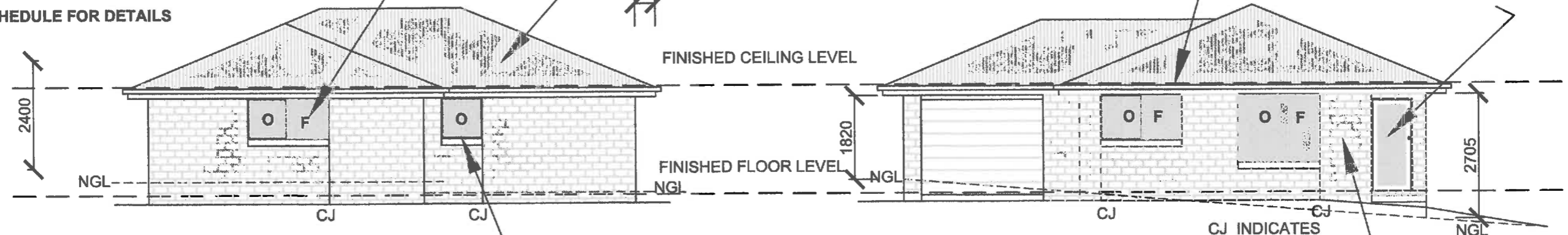
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 OBSCURE GLASS TO WC & BATH. **GLAZING REQUIREMENTS FOR HUMAN IMPACT SAFETY SHALL COMPLY WITH PART 3.6.4 OF BCA AND IT'S OTHER REFERENCED CLAUSES**  
 INSTALLATION STRICTLY TO THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.  
**Glazing- SEE WINDOW SCHEDULE FOR DETAILS**

MIN 115 D GUTTERING TO 100 x 50 DOWNPIPES TO DN100 SWP.

450 eaves

NOM D115 GUTTERING TO 100 X 50 DOWNPIPES CONNECTED TO D100SWP TO EXISTING CONNECTION POINT

SELECTED ENTRY DOOR WITH GLAZED TO AS1288



**N VIEW**  
 U N I T 1  
 SCALE 1 : 1 0 0

**W VIEW**  
 U N I T 1  
 SCALE 1 : 1 0 0

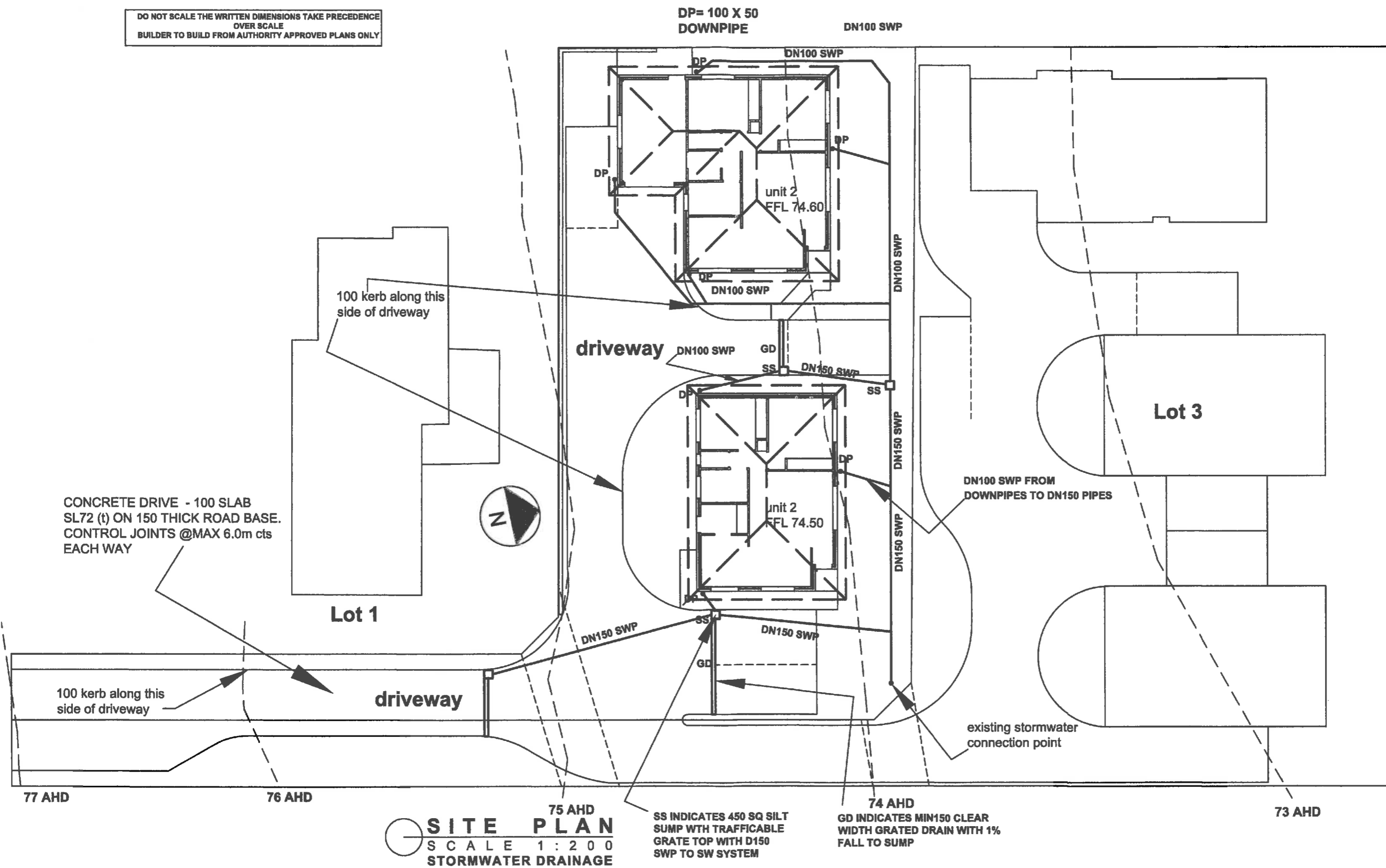
PROVIDE SEALS TO ALL WINDOWS AND DOORS ALONG THE PERIMETER OF CONDITIONED SPACES

CJ INDICATES CONTROL JOINTS @MAX 5.0m cts

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**SITE PLAN**  
SCALE 1:200  
STORMWATER DRAINAGE



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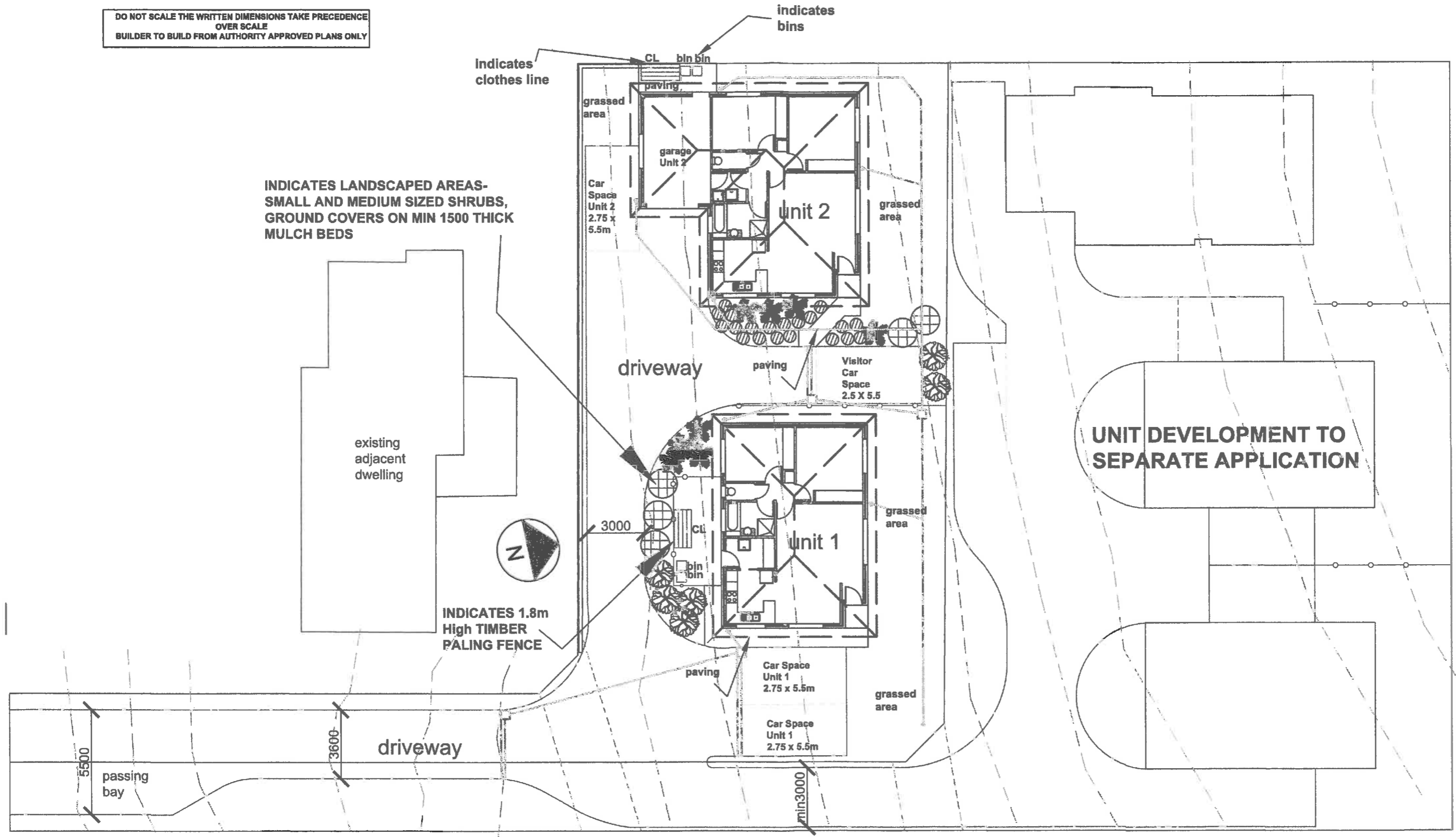
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INDICATES LANDSCAPED AREAS-  
 SMALL AND MEDIUM SIZED SHRUBS,  
 GROUND COVERS ON MIN 1500 THICK  
 MULCH BEDS



**SITE PLAN**  
 SCALE 1:200  
 S E T O U T

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