



# Application for Planning Approval

*Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA 2018 / 00322**

LOCATION OF AFFECTED AREA

**78 MENIN DRIVE, BRIGHTON**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**DWELLING**

THE APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **16/01/2019**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

RON SANDERSON  
GENERAL MANAGER

**Brighton**  
going places

**PROJECT ADDRESS: L279 BRIGHTON ESTATE, BRIGHTON, TAS**  
**CLIENT/S: DANIELLE BALCOMBE**  
**DESIGNER: WINK AND CO PTY LTD**

**DRAWINGS:** SITE PLAN  
 FLOOR PLAN  
 ELEVATIONS 1  
 ELEVATIONS 2  
 SECTION

**FLOOR AREAS:**

**LIVING: 159.96 m<sup>2</sup>**  
**GARAGE: 37.53 m<sup>2</sup>**  
**ALFRESCO: 12.96 m<sup>2</sup>**  
**PORCH 1.50 m<sup>2</sup>**  
**TOTAL AREA: 211.95 m<sup>2</sup>**

**SOIL CLASSIFICATION: TBC**

**WIND CLASSIFICATION: TBC**

**CLIMATE ZONE: TBC**

**BUSHFIRE ATTACK LEVEL: TBC**

**ALPHINE AREA: TBC**

**CORROSION ENVIRONMENT: TBC**

DRAWINGS FOR:



LVL 10, 65 MURRAY ST,  
 HOBART, TAS, 7000  
 PHONE. 03 6272 3000  
 FAX. 03 6272 3001

BUILDER JOB NUMBER: TBA

DRAWINGS BY:



need plans?.....think **WINK.**

**P: 0466 27 27 97**

Po box 22 Kedron Q 4031

**projects@winkandco.com.au**

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REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	27/08/18	SM	SW
B	WDS AMENDMENTS	12/11/18	SM	SW
C	WDS AMENDMENTS	14/11/18	SM	SW
D	WDS AMENDMENTS	14/12/18	SM	SW
E	WDS AMENDMENTS	17/12/18	SM	SW

PROJECT

PROPOSED RESIDENCE

CLIENT

DANIELLE BALCOMBE

LOT DESCRIPTION

LOT 279 ON SP 18054-01

ADDRESS

No.	TBA
STREET	MENIN DRIVE
SUBURB	BRIGHTON
P'CODE	7030
STATE	TAS

DRAWN	PLOT DATE
SM	17/12/18

DRAWING REFERENCE No.

**167 - 18**

PROJECT NORTH SHEET No.

<b>1</b>	<b>6</b>
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**COVER SHEET**

SCALE

**GENERAL NOTES:**

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS

6. HORIZONTAL DATUM IS MGA (Map Grid Australia)

7. VERTICAL DATUM IS AHD (Australian Height Datum)

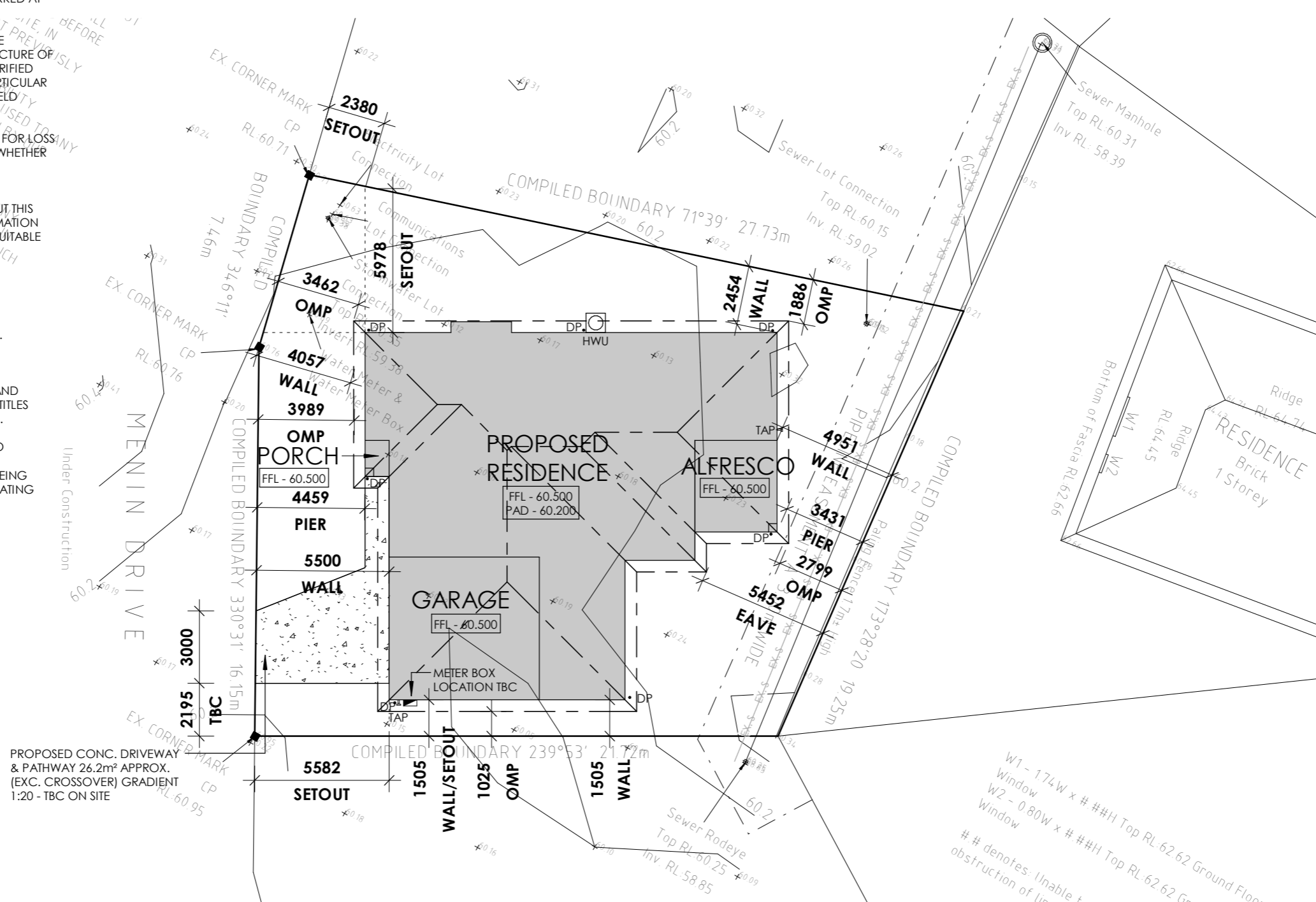
8. CONTOUR INTERVAL IS 0.1 METRES, INDEX IS 0.2 METRES.

9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. BOUNDARIES ARE COMPILED ONLY FROM SP175749 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

11. ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION. WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.

12. 3D DATA TURNED OFF IN LAYER CONTROL  
 3D TIN  
 MAJOR CONTOUR 3D  
 MINOR CONTOUR 3D



PROPOSED CONC. DRIVEWAY & PATHWAY 26.2m² APPROX. (EXC. CROSSOVER) GRADIENT 1:20 - TBC ON SITE

<b>SITE COVERAGE:</b>	
LOT:	279
SITE AREA:	530m²
PROP. ROOF AREA:	242.8m²


<b>SITE PLAN</b>	SCALE
	1 : 200

**SURVEY PLUS**

Address: 8 Amy Street, Moonah,  
 Tasmania, 7009  
 Phone: 6273 9831  
 Fax: 6273 8316  
 Email: admin@surveyplustas.com.au  
 Mail: PO Box 299, Moonah, Tas, 7009

- SITE SCRAPE ONLY**
- SOIL CLASSIFICATION: TBC**
- WIND CLASSIFICATION: TBC**

DRAWINGS FOR:



**CREATIVE HOMES  
HOBART**

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 HOBART, TAS, 7000  
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BUILDER JOB NUMBER: TBA

DRAWINGS BY:



**WINK+CO**  
 BUILDING DESIGN+DRAFTING

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DRAWING REFERENCE No.

**167 - 18**

PROJECT NORTH	SHEET No.
	2 / 6

NOTE:  
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ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE STATE BUILDING REGULATIONS, LOCAL COUNCIL BY-LAWS AND RELEVANT NCC AND AS CODES.

LEGEND:

DP	DOWNPIPE LOCATION
OHS	OVERHEAD SHELF/VES
OHC	OVERHEAD CUPBOARDS
SD	SLIDING DOOR
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
HP	HOT PLATE
DW	DISH WASHER
MH	MANHOLE
BO	BEAM OVER
AAW	ALUM. AWNING WINDOW

IMPORTANT NOTICE FOR ATTENTION OF OWNERS:  
 THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE IN ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

ENERGY EFFICIENCY  
 BULK INSULATION BETWEEN EXTERNAL STUDS TO BE INSULATED WITH MIN R2.0.  
 (ENSURE BATTS FIT WITHIN CAVITY WITHOUT COMPRESSION, MAKING SURE THAT THERE IS AT 25mm GAP FROM THE REFLECTIVE SURFACE.)

EXTERNAL WALLS TO BE CLAD WITH PERFORATED REFLECTIVE FOIL OVER THE OUTSIDE OF THE TIMBER FRAME.

CEILING TO BE INSULATED WITH R4.0 AND REFLECTIVE FOIL.

FLOOR TO BE INSULATED WITH R1.0 BATTS. SEAL EXHAUST FANS TO ENSUITE, BATHROOM, LAUNDRY AND KITCHEN. BUILDING TO BE SEALED IN ACCORDANCE WITH NCC PART 3.12.3

CONSTRUCTION OF THE EXTERNAL WALLS, FLOOR AND ROOF COMPLIANCE OF AIR LEAKAGE TO COMPLY WITH NCC PART 3.12.3.5

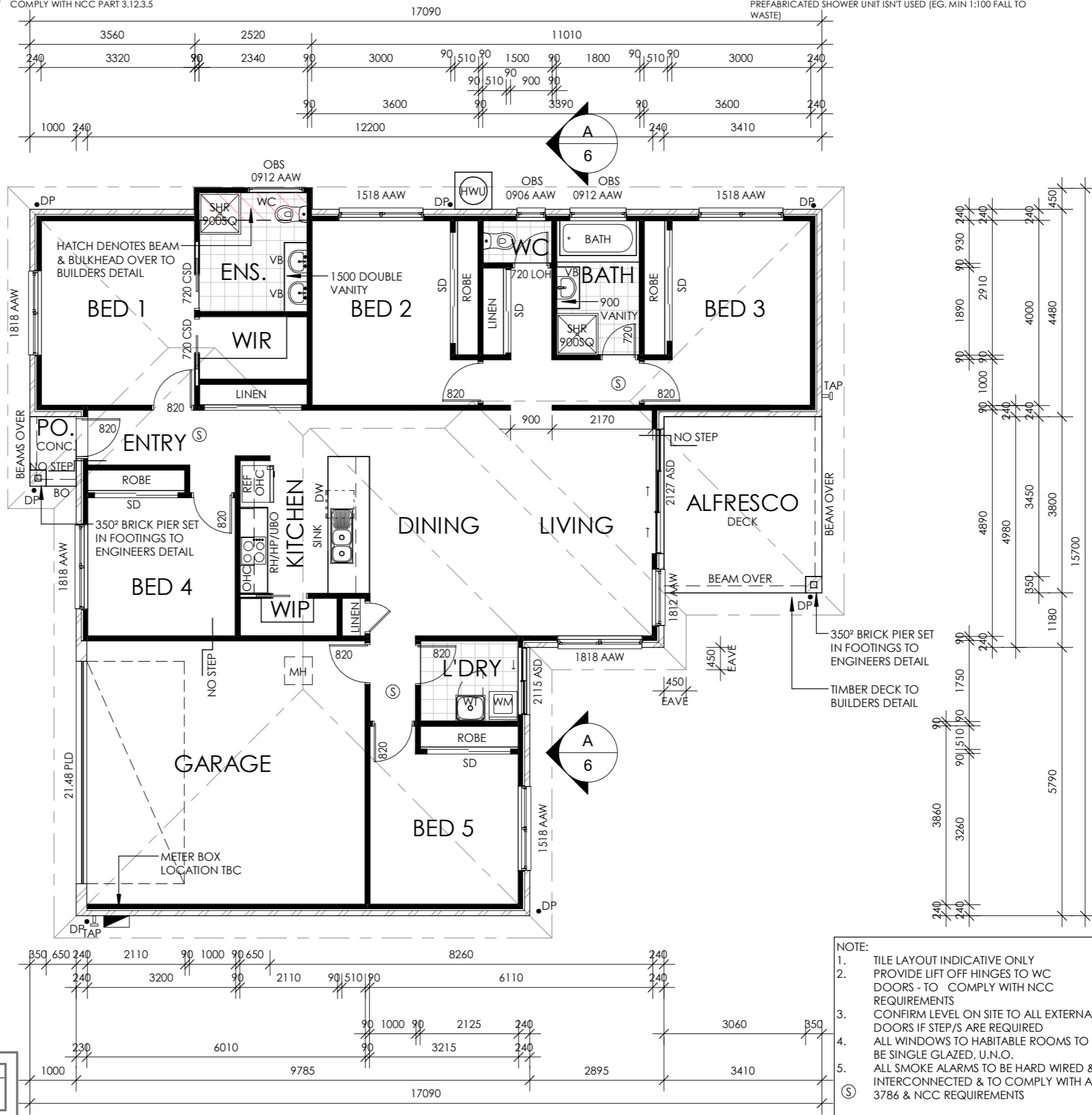
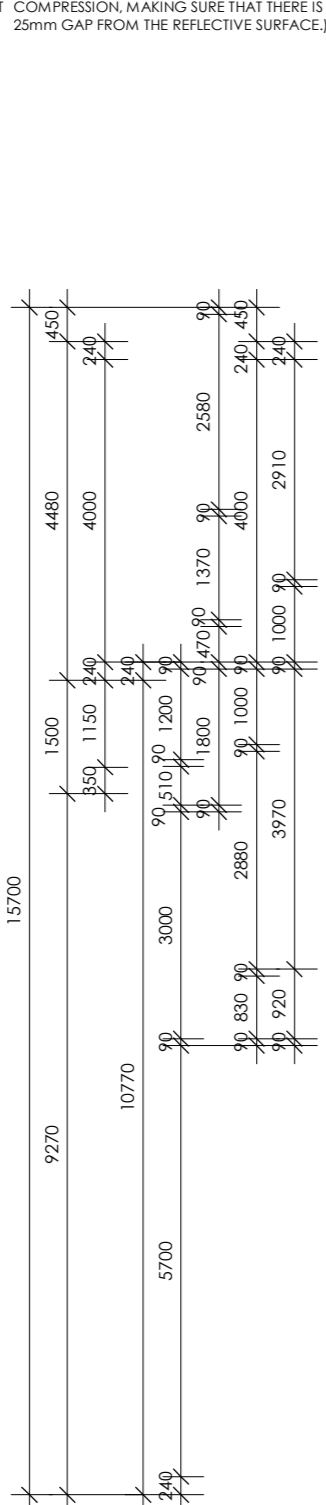
GENERAL:  
 ALL FLASHINGS TO BE IN ACCORDANCE WITH PART 3.3 OF THE NCC.  
 WEEP HOLES AND DAMP PROOF COURSING IN ACCORDANCE WITH 3.3.4.4 AND 3.3.4.5 OF THE NCC.  
 FIBRE CEMENT SHEET IN ACCORDANCE WITH 3.5.3.4 OF THE NCC.

BLOCK CONSTRUCTION IN ACCORDANCE WITH THE NCC REQUIREMENTS. PLASTERBOARD TO INTERNAL WALL LININGS AND CEILINGS WITH SELECTED CORNICE. (SEE BELOW FOR WET AREAS)

HEALTH & AMENITY PART 3.8 NCC:  
 SHOWERS, BATHS AND WALL FIXTURES TO ALL WET AREAS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES 3.8.1.1, 3.8.1.2, 3.8.1.3, 3.8.1.4, 3.8.1.5 AND 3.8.1.6. IN ALL WET AREAS PROVIDE SELECTED CERAMIC TILES TO CONCRETE FLOORS OR OVER 15mm CEMENT SHEETING WHERE TIMBER FRAMED FLOORS ARE PROPOSED.

PROVIDE WATERPROOF PLASTERBOARD SHEETING TO ALL WALLS AND CEILINGS. PROVIDE CERAMIC TILES, LAMIPANEL OR OTHER APPROVED WATER -

RESISTANT LINING TO A MINIMUM HEIGHT OF 1800mm TO SHOWER WALLS AND TO A HEIGHT OF 150mm BEHIND BATHS, BASINS, SINKS, TROUGHS, WASHING MACHINES AND WALL FIXTURES. FOR THE REQUIRED EXTENT OF AREA TO BE PROTECTED REFER TO FIGURES 3.8.1.1, 3.8.1.2 AND 3.8.1.1. FOR TYPICAL INSTALLATION REQUIREMENTS OF SHOWER RECESSES, TAP FLANGES, SHOWER TROUGHS, FLOORS & WATERPROOF MEMBRANES REFER TO FIGURES 3.8.1.5, 3.8.1.6, 3.8.1.7, 3.8.1.8 AND 3.8.1.9. FOR TYPICAL INSTALLATION REQUIREMENTS & SEALING OF WALL JUNCTIONS WITH BENCHTOPS, LAUNDRY SINKS & BATHS REFER TO FIGURES 3.8.1.10 AND 3.8.1.11. MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES 3.8.1.3, 3.8.1.4 AND 3.8.1.5. REFER TO AS 3740-2010 FOR WATERPROOFING OF DOMESTIC WET AREAS, AS WELL AS APPROPRIATE WALL & FLOOR TREATMENT WHEN A PREFABRICATED SHOWER UNIT ISNT USED (EG. MIN 1:100 FALL TO WASTE)



- NOTE:
1. TILE LAYOUT INDICATIVE ONLY
  2. PROVIDE LIFT OFF HINGES TO WC DOORS - TO COMPLY WITH NCC REQUIREMENTS
  3. CONFIRM LEVEL ON SITE TO ALL EXTERNAL DOORS IF STEP/S ARE REQUIRED
  4. ALL WINDOWS TO HABITABLE ROOMS TO BE SINGLE GLAZED, U.N.O.
  5. ALL SMOKE ALARMS TO BE HARD WIRED & INTERCONNECTED & TO COMPLY WITH AS 3786 & NCC REQUIREMENTS

<b>AREAS</b>	
LIVING:	159.96 m <sup>2</sup>
GARAGE:	37.53 m <sup>2</sup>
ALFRESCO:	12.96 m <sup>2</sup>
PORCH:	1.50 m <sup>2</sup>
<b>TOTAL:</b>	<b>211.95 m<sup>2</sup></b>

**FLOOR PLAN** SCALE 1 : 100

**DRAWINGS FOR:**



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 HOBART, TAS, 7000  
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 FAX. 03 6272 3001

BUILDER JOB NUMBER: **TBA**

DRAWINGS BY:



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PROPOSED RESIDENCE

CLIENT

**DANIELLE BALCOMBE**

LOT DESCRIPTION

**LOT 279 ON SP 18054-01**

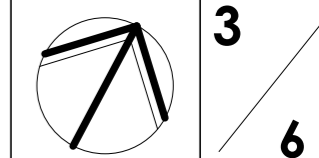
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IMPORTANT NOTICE FOR ATTENTION OF OWNERS:  
 THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE IN ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

PROVIDE STRUCTURAL PLYWOOD BRACING IN ACCORDANCE WITH AS 1684 AND IN SECTION 9.4 OF TIMBER FRAMING MANUAL.

VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH NCC VOLUM 2 CL. 3.3.1.8

**FRAMING PART 3.4 NCC**

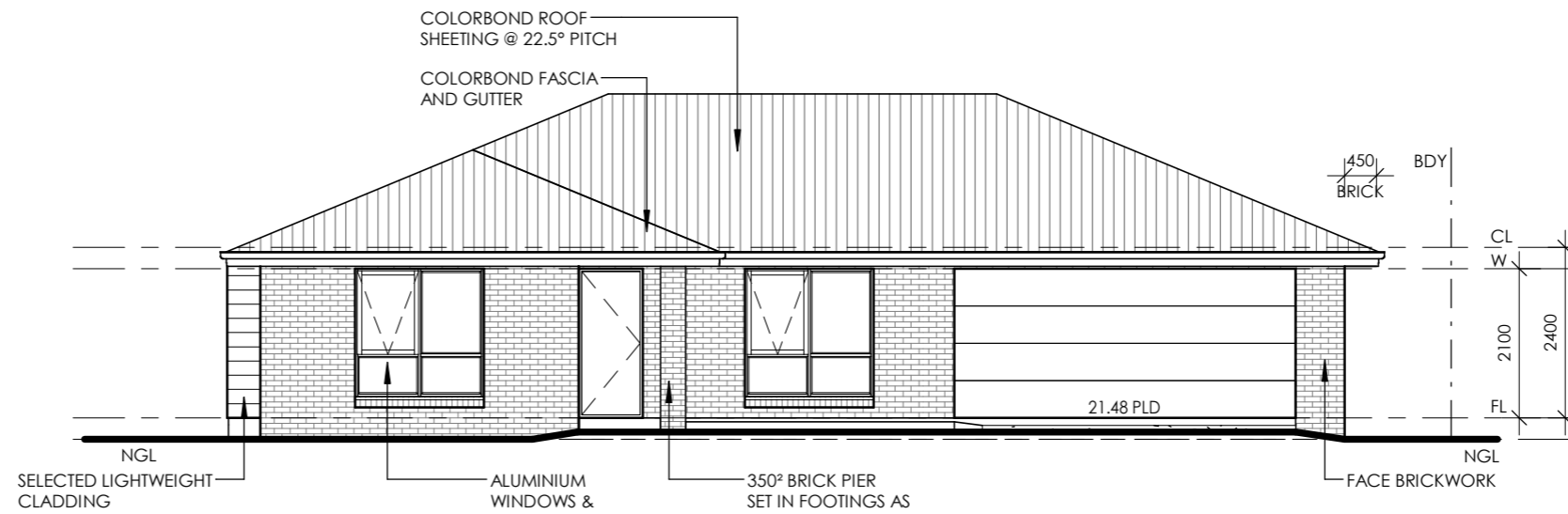
ALL TIMBER FRAMING, FIXING AND BRACING SHALL COMPLY WITH AS 1684 AND THE REQUIREMENTS OF NCC PART 3.4.3 MANUFACTURED SIZES MUST NOT BE UNDERSIZED TO THOSE SPECIFIED, FOR ALL TIMBER SIZES, STRESS GRADES, SPACING AND WALL BRACING REFER TO ENGINEERS DETAILS. TIE-DOWN DETAILS SHALL COMPLY WITH THE REQUIREMENTS OF TABLES 3.4.3.8 AND 3.4.3.9

STRUCTURAL STEEL MEMBERS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES IN PART 3.4.4. REFER TO ENGINEERS DETAILS WHERE PROVIDED

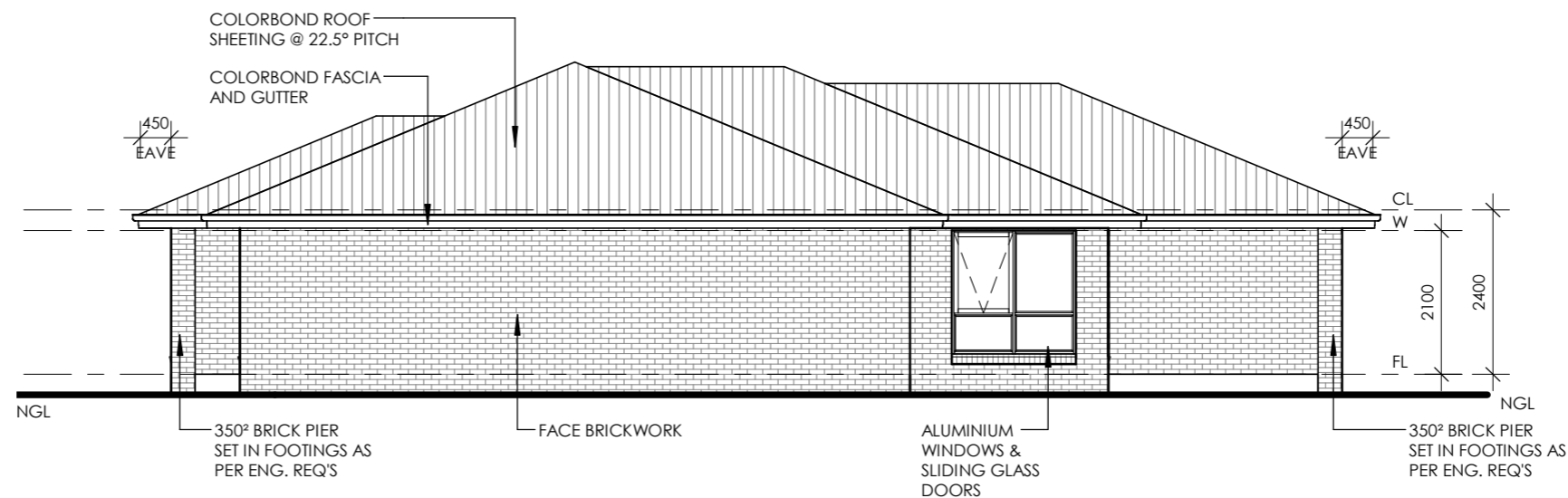
**GLAZING PART 3.6 NCC**

ALL WINDOWS TO BE ALUMINIUM SLIDING STYLE, DOUBLE GLAZED. (WHITE TRANSLUCENT TO BATHROOMS)  
 ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF AS 2047-AS 1288 AND NCC CLAUSES IN PART 3.6

HUMAN IMPACT SAFETY REQUIREMENTS SHALL COMPLY WITH NCC CLAUSES 3.6.4 PANE WITHIN 500mm FROM FINISHED FLOOR LEVEL & GLAZED FULL HEIGHT



**1 | FRONT ELEVATION**



**2 | SIDE ELEVATION**

DRAWINGS FOR:



LVL 10, 65 MURRAY ST,  
 HOBART, TAS, 7000  
 PHONE. 03 6272 3000  
 FAX. 03 6272 3001

BUILDER JOB NUMBER: TBA

DRAWINGS BY:



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**PROJECT**

**PROPOSED RESIDENCE**

CLIENT

**DANIELLE BALCOMBE**

LOT DESCRIPTION

**LOT 279 ON SP 18054-01**

ADDRESS

No. **TBA**

STREET **MENIN DRIVE**

SUBURB **BRIGHTON**

P'CODE **7030** STATE **TAS**

DRAWN **SM** PLOT DATE **17/12/18**

DRAWING REFERENCE No.

**167 - 18**

PROJECT NORTH SHEET No.

**4**  
 /  
**6**

**ELEVATIONS 1**

SCALE  
**1 : 100**

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**FRAMING PART 3.4 NCC**

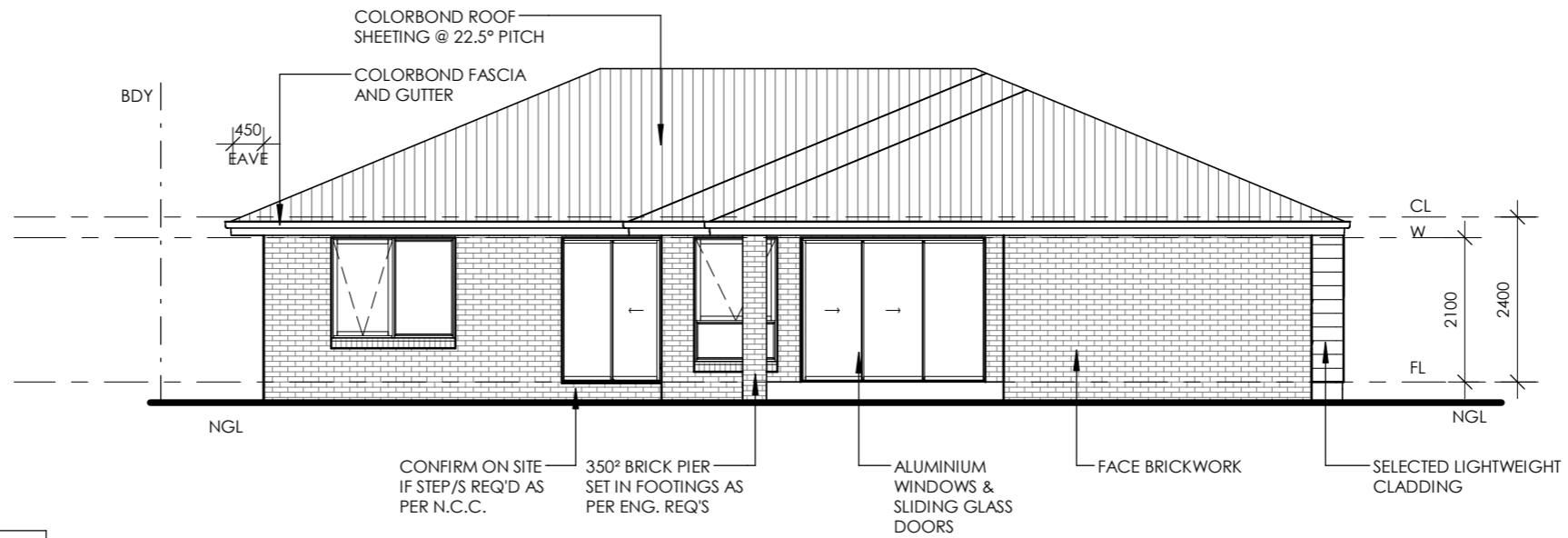
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**3 REAR ELEVATION**



**4 SIDE ELEVATION**

**ELEVATIONS 2**

SCALE  
 1 : 100

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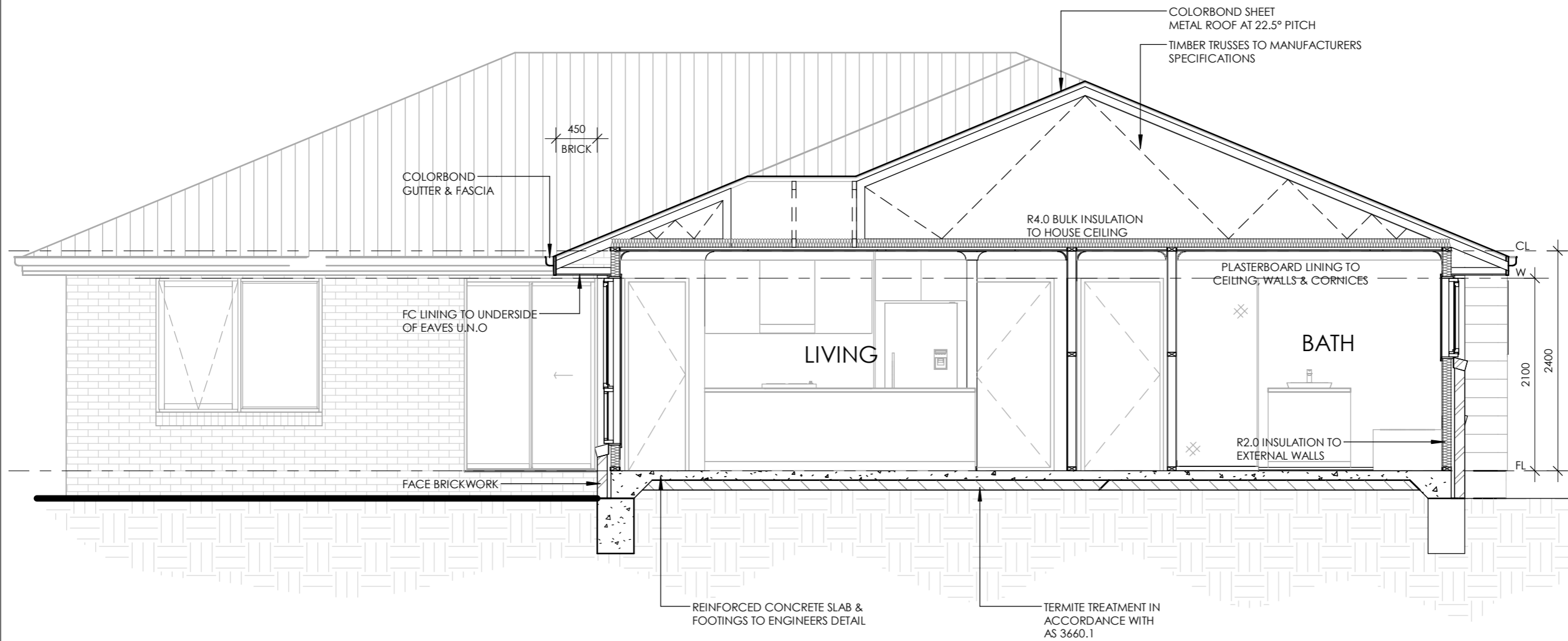
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5  
 /  
 6

NOTE: WATER RESISTANT SHEETING TO WET AREAS



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SECTION A-A

SCALE  
1 : 50