



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA 2018 / 00325

LOCATION OF AFFECTED AREA

109 MENIN DRIVE, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING

THE APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **12/12/2018**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

RON SANDERSON
GENERAL MANAGER

Brighton
going places

NOTES
 BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DESIGN OF WORKING DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS AND SURVEYORS DRAWINGS AND NOTES, DO NOT SCALE DRAWINGS.
 DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.

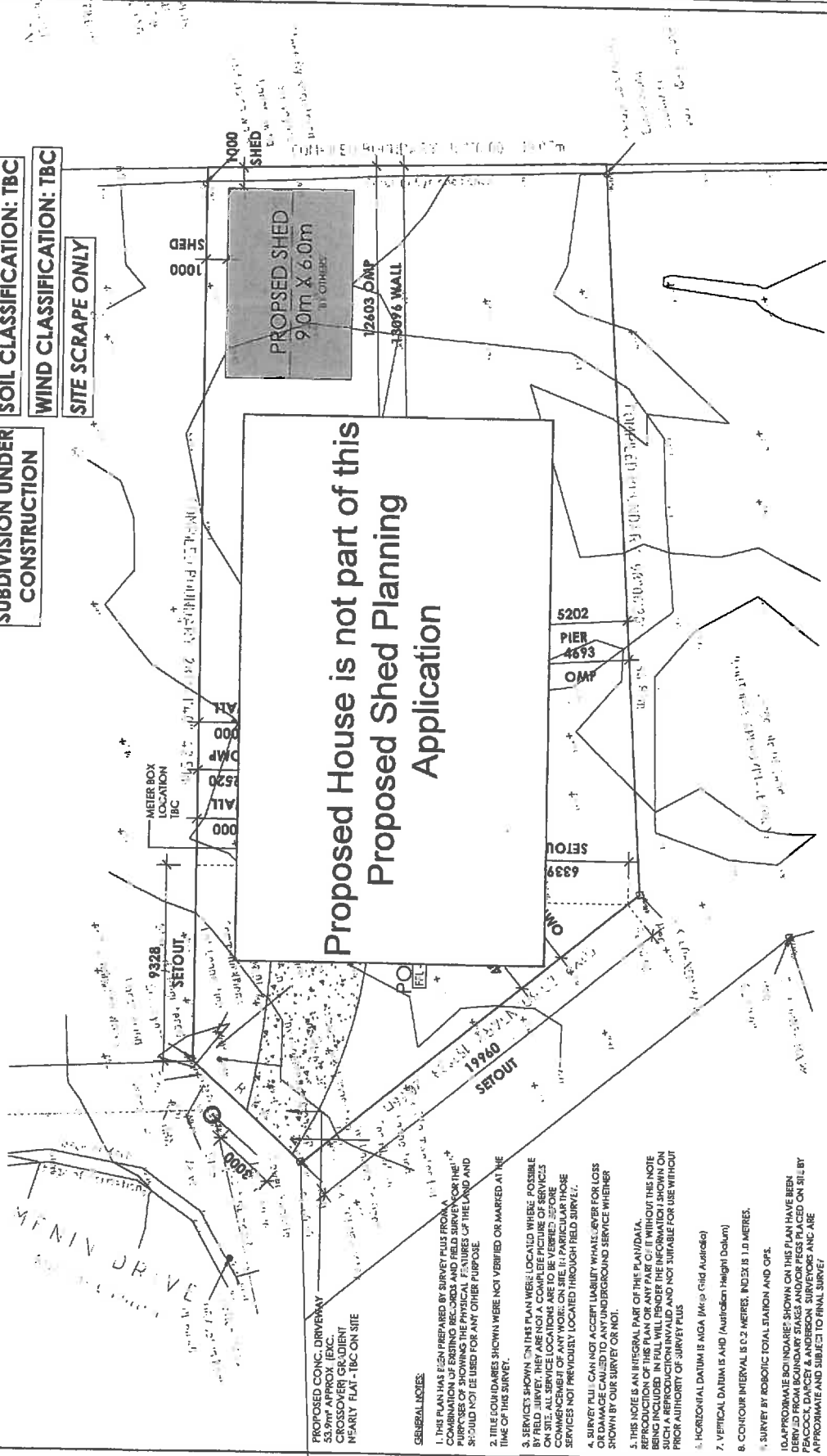
IMPORTANT NOTICE FOR ATTENTION OF OWNER
 THE OWNER'S ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE DETAILS REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. DETAILED FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18. THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
 BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STOP WATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE AS TO PREVENT GENERAL UNDERMINING OF ANY BUILDING OR DRAINAGE SYSTEM.
 - LOCATION OF ALL EXISTING ON-SITE SERVICES TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION

SOIL AND WATER MANAGEMENT NOTES:
 SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.
 SITE TO BE DESTABILISED AS MINIMAL AS POSSIBLE, (I.E. ONLY BUILDING, DRAINAGE AND IMMEDIATE ADJOINING AREAS).
 INSTALL ALL DRAINAGE LINES PRIOR TO PLACEMENT OF ROOF AND GUTTERING.
 CONNECT IMMEDIATELY ONCE DWELLING IS ROOFED.
 APPLY TEMPORARY COVERING (E.G. WATERPROOF BLANKETS, VEGETATION OR MULCH) TO ALL DISTURBED AREAS WHERE CONSTRUCTION IS ONLY PARTIALLY COMPLETED, WHICH WILL REMAIN EXPOSED FOR A PERIOD OF 14 DAYS OR MORE.
 PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM.
 LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/LIMIT FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.

SUBDIVISION UNDER CONSTRUCTION

SOIL CLASSIFICATION: TBC
WIND CLASSIFICATION: TBC
SITE SCRAPE ONLY



Proposed House is not part of this Proposed Shed Application

PROPOSED CONC. DRIVEWAY
 53.0m² APPROX. GROUND
 CROSSLAND EXISTENT
 NEARLY FLAT - TBC ON-SITE

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE DOCUMENTS SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY METHOD A COMPLETE PICTURE OF SERVICES ON-SITE. ALL SERVICES SHOULD BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON-SITE. THESE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THE PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON THIS PLAN INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (M@ Grid Australia)
7. VERTICAL DATUM IS AHD (Australian Height Datum)
8. CONTOUR INTERVAL IS 0.2 METRES. INDEX IS 1.0 METRES.
9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
10. APPROXIMATE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN DERIVED FROM AERIAL PHOTOGRAPHS AND SURVEY POINTS PLACED ON SITES BY PEACOCK, DARCEY & ANDERSON. SURVEY POINTS ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY.
11. 3D DATA TURNED OFF IN LAYER CONTROL.
 3D TIN AND CONTOUR 3D
 3D WIRE CONTOUR 3D

SITE PLAN
 SCALE
 1 : 200

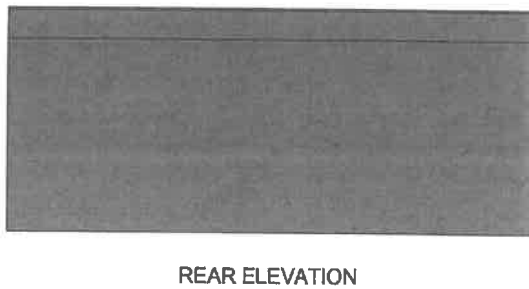
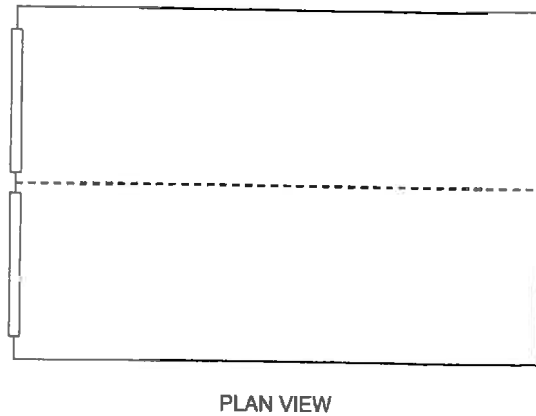
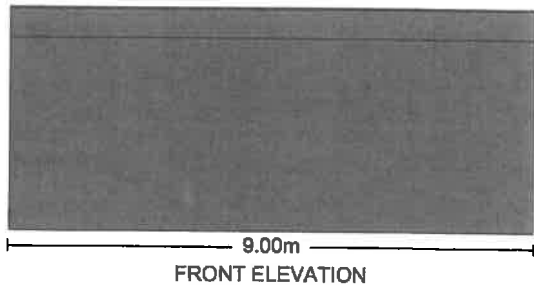
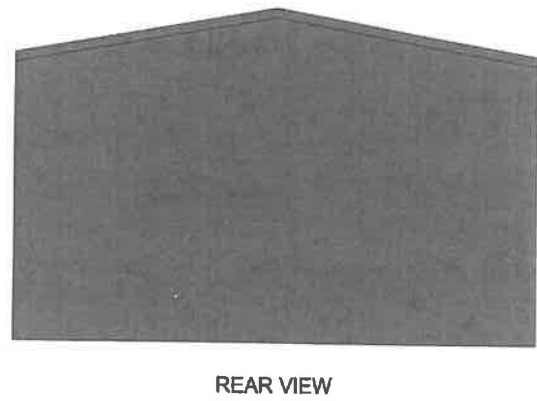
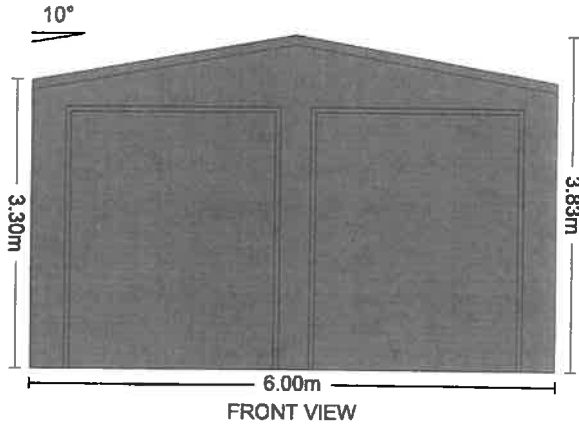
NOTE:
 FINAL FLS AND DRIVEWAY GRADIENT TBC BY BUILDER AND TO COMPLY WITH NCC AND AUSTRALIAN STANDARDS

SITE COVERAGE:
 LOT: 295
 SITE AREA: 855m²
 PROP. ROOF AREA: 229.2m²

DRAWINGS FOR	
LVL 10, 66 MILITARY ST, HOBART, TAS 7000 PHONE 03 6272 3000 FAX 03 6272 3001	
DRAWINGS BY	
WINK+CO need plans?.....think WINK P: 0466 27 27 97 Po box 12 Teaton 0 4031 projects@winkandco.com.au	
WINK AND CO PTY LTD WINK & CO PTY LTD HAS THE INTELLECTUAL COPYRIGHT & DESIGN RIGHTS IN THIS PLAN & ANY REPRODUCTION IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF WINK AND CO PTY LTD	
A WORKING DRAWING B NOT A CONTRACT DOCUMENT	DATE: 10/08/18 DRAWN BY: SM CHECKED BY: SM APPROVED BY: SM
PROPOSED RESIDENCE CLIENT: MCMASTER, BETT & STEPHANIE LOT DESCRIPTION: LOT 295 ON SP 18140 ADDRESS: No. TBA STREET: MENIN DRIVE SUBURB: BRIGHTON PLU CODE: 7030 STATE: TAS DRAWN: 31/10/18 SM DRAWING REFERENCE NO.	
PROJECT NORTH SHEET No. 2 / 6	



Steeline Hobart		Quotation
ABN: 75 009 543 506	Phone: 03 6249 4988	No: 204143
Address: 1 Whitestone Drive Austins Ferry TAS 7011	Fax: 03 6249 3838	Date: 28/08/2018
Email: tassiesheds@steeline.com.au		Valid: 30 Days
Web: www.steeline.com.au		





Steeline Hobart		Quotation	
ABN: 75 009 543 506	Phone: 03 6249 4988	No: 204143	
Address: 1 Whitestone Drive Austins Ferry TAS 7011	Fax: 03 6249 3838	Date: 28/08/2018	
Email: tassiesheds@steeline.com.au		Valid: 30 Days	
Web: www.steeline.com.au			

Specifications Summary

Wind Design Speed

Wind Region	Region: A, Terrain Category: 2, Importance Level: 2
Wind Multipliers	Md: 1.00, Mz: 0.91, Ms: 1.00, Mt: 1.00
Design Speed	41 m/s

Portal Frames

End Portal Frame	C15015
Internal Portal Frame	C15015
Knee Braces	No
Apex Braces	No

* End portal frames are upgraded to internal frames for unsheeted bays or where dominant openings cover 50% of the bay.

Roof Purlins

Purlin Type	TopHat 64mm 1.00 BMT
Purlin Spacing	974mm

Wall Girts

Wall Girt	TopHat 64mm 1.00 BMT
Girt Spacing	1425mm

Bays

Bay Count	3
Bay Sizes	3.00m, 3.00m, 3.00m

Rain Goods

Gutter	Quad 115 Gutter - Colour: To Be Advised
Barge Cap	Type 54 Barge Flashing 0.55 BMT - Colour: To Be Advised
Ridge Cap	Type 111 Ridge Cap 10 deg 0.55 - Colour: To Be Advised

* ShedTech and/or the consulting engineer reserve the right to alter any nominated engineering specification without further notice.